

Official Plan and Zoning By-law Application and Info

For Office Use Only:

File Number	<u>OPNPL2021103/</u>	Public Notice Sign	_____
Related File Number	<u>ZNPL2021104</u>	Application Fee	<u>Paid</u>
Pre-consultation Meeting	<u>August 25, 2020</u>	Conservation Authority Fee	_____
Application Submitted	<u>March 24, 2021</u>	Well & Septic Info Provided	_____
Complete Application	<u>April 27, 2021</u>	Planner	<u>N. Goodbrand</u>

Check the type of planning application(s) you are submitting.

- Official Plan Amendment
- Zoning By-Law Amendment
- Temporary Use By-law
- Draft Plan of Subdivision/Vacant Land Condominium
- Condominium Exemption
- Site Plan Application
- Consent/Severance
- Minor Variance
- Easement/Right-of-Way
- Extension of a Temporary Use By-law
- Part Lot Control
- Cash-in-Lieu of Parking
- Renewable Energy Project or Radio Communication Tower

Please explain the desired end result of this application (for example: a special zoning provision on the subject lands, changing the zone and/or official plan designation of the subject lands, creating a certain number of lots, or similar)

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

- Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

4. Please describe all existing buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any existing easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? Yes No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? Yes No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
 Yes No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information

Existing

Proposed

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? Yes No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m ²
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool): _____

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? Yes No

If yes, describe: _____

Indicate the gross floor area by the type of use (for example: office, retail, storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: Yes No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

Yes No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Architectural Plan
- Buildings Elevation Plan
- Cut and Fill Plan
- Erosion and Sediment Control Plan
- Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- Landscape Plan
- Photometric (Lighting) Plan
- Plan and Profile Drawings
- Site Servicing Plan
- Storm water Management Plan
- Street Sign and Traffic Plan
- Street Tree Planting Plan
- Tree Preservation Plan
- Archaeological Assessment
- Environmental Impact Study

J. Transfers, Easements and Postponement of Interest

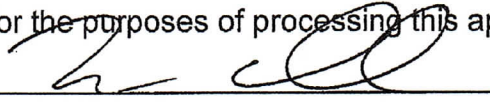
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant Signature

FEB. 25 / 21

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We CANADIAN COMMERCIAL (SUNCO) INC. C/O LEE GREENWOOD am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize G. DOUGLAS VAUGHN LTD. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

FEB. 25 / 21

Date

Owner

Date

N. Declaration

I, LEE GREENWOOD of LONDON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

THE REGIONAL MUNICIPALITY
OF NIAGARA

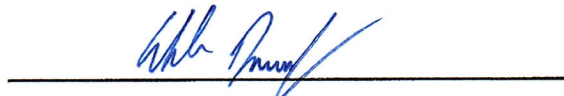


Owner/Applicant Signature

In CITY OF NIAGARA FALLS

This 25th day of FEBRUARY

A.D., 2021



A Commissioner, etc.

ELDON FRASER DARBYSON, a commissioner, etc.,
Province of Ontario, for G. Douglas Vallee Limited.
Expires March 28, 2022



vallee

*Consulting Engineers,
Architects & Planners*

March 10, 2021

County of Norfolk
Robinson Administration Building
185 Robinson Street, Suite 200
Simcoe, ON N3Y 5L6

Attention: Mohammad Alam, Senior Planner

**Reference: Planning Justification Report
Application for Official Plan/Zoning By-law Amendment I-Z-2014
G. Douglas Vallee Limited on behalf of Canadian Commercial (Simcoe) Inc.
17 Queensway West, Simcoe, Norfolk County
Our Project 20-084**

Introduction:

G. Douglas Vallee Limited has been retained by Canadian Commercial (Simcoe) Inc. (c/o Lee Greenwood) to make application for an Official Plan Amendment and Zoning By-law Amendment to permit further development of the existing commercial site at the intersection of highways 3 & 24 in Simcoe, Norfolk County. The existing commercial site currently contains Shoppers Drug Mart, Staples, Boston Pizza, and the Bulk Barn. Two additional commercial buildings are proposed. One building will contain a restaurant, and the other building will contain a restaurant and a commercial unit. In total 3 new units are proposed. The new buildings will be located along the south-west and westerly property boundaries.

The 2 restaurants will include drive through pick up windows and stacking lanes in accordance with the permitted uses of the Service Commercial Zone.

The lands are designated Commercial and Hazard Lands in accordance with the Official Plan. It is proposed to amend the Official Plan to remove the Hazard Lands designation and to amend the zoning by-law Service Commercial Zone (CS) to reduce the rear yard setback from 9 metres to 5 metres to facilitate the development.

This application:

- Complies with the Norfolk County Official Plan.
- Is supported by the revisions to the Conservation Authority's revised floodplain mapping.
- Is consistent with the general intent and purpose of the Provincial Policy Statement 2020.
- Represents good planning.

Purpose:

The purpose of this Planning Justification Report is to provide planning support and information to the County to consider when reviewing the proposed applications for an Official Plan and Zoning By-law amendment.

Site Description:

The subject site is located within the urban settlement boundary at the northwest corner of Queensway West and Norfolk Street North, on the south side of Riverside Road in Simcoe. The lands are approximately 24,900 sqm in area. There are four existing commercial buildings located closest to the property lines with parking located centrally.



Figure 1: Location of Subject Lands in Simcoe

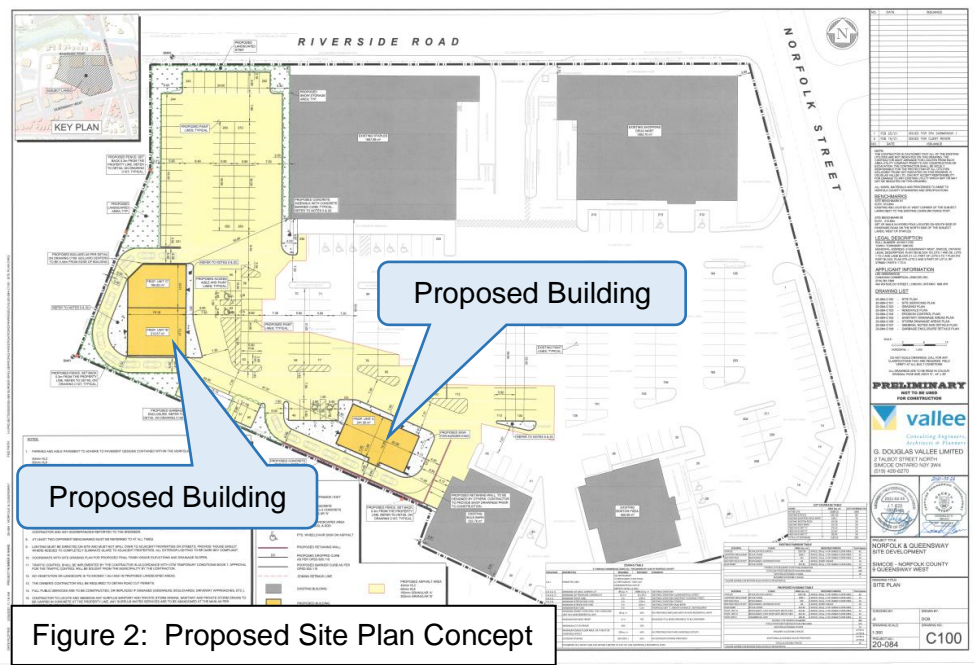


Figure 2: Proposed Site Plan Concept

G. DOUGLAS VALLEE LIMITED
 Consulting Engineers, Architects & Planners

Surrounding Land Uses

Commercial lands surround the property on the west, south and east sides. Residential development exists to the north.

Appendices

Appendices to this report include the following:

Appendix A - Draft Site Plan

Appendix B – Norfolk County Official Plan Policy Compliance

This application was submitted to include the information and material required under Section 34 (10.1) and 22 (4) of the *Planning Act* as part of a complete application.

Planning Review:

The proposed Official Plan and Zoning By-law amendments were prepared in light of several planning documents including the *Planning Act*, the Provincial Policy Statement, the County Official Plan and Zoning By-law.

Planning Act

Section 2 of the *Planning Act* outlines matters of provincial interest.

Section 3 of the *Planning Act* requires that, in exercising any authority that affects a planning matter, planning authorities “shall be consistent with the policy statements” issued under the Act and “shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be”.

Section 22 of the *Planning Act* outlines the requirements for considering an Official Plan Amendment.

Section 34 of the *Planning Act* allows for the consideration of amendments to the zoning by-law.

Provincial Policy Statement (2020)

The Provincial Policy Statement was recently updated and took effect on May 1, 2020. The subject land is identified as being within a Settlement Area according to the Provincial Policy Statement, 2020 (PPS).

The PPS provides policy direction for appropriate land use planning and development patterns to achieve healthy, liveable, and resilient communities that will protect resources of provincial interest, public health and safety, the quality of the natural and built environment, and will facilitate economic growth.

It is encouraged that planning authorities consider infilling, redevelopment and intensification in a compact form in areas that support active transportation and can take advantage of existing infrastructure. Development should be designed to improve accessibility for persons with disabilities and older persons.

G. DOUGLAS VALLEE LIMITED
Consulting Engineers, Architects & Planners

Policy 3.0 discusses natural and human-made hazardous lands, where development is prohibited or permitted subject to conditions addressing flooding and erosion.

The Long Point Region Conservation Authority has recently released new mapping which demonstrates that the lands are no longer within the floodplain. Therefore, LPRCA will support the removal of these lands from the Hazard Land Designation. This provides the clear justification to amend the Official Plan to remove the Hazard Land designation to permit development and intensification of the subject lands.

A decision by Council to approve the Official Plan and Zoning By-law amendment will be consistent with PPS, 2020.

Norfolk County Official Plan

The lands are designated Commercial and Hazard Lands in accordance with the Official Plan. As discussed, the Hazardous Land Designation is to be removed, and the underlying Commercial Designation is to remain. The amendment is necessary at this time as the County has not completed an Official Plan update to reflect the updated mapping.

Several sections of the Official Plan apply when considering zoning by-law amendments and are discussed in detail under Appendix B. On a high level, details of the Official Plan policies are captured by the overarching Goals and Objectives. Section 2.2 of the Official Plan set out six “Goals and Objectives” to which the following 5 are applicable to the proposed residential development:

- Strong and Diversified Economy
- Protecting and Enhancing the Natural Environment;
- Maintaining and Enhancing the Rural and Small-Town Character;
- Upgrading and Expanding Infrastructure; and
- A Well Governed, Well Planned and Sustainable County.

The proposed zoning by-law amendment achieves the applicable ‘Goals and Objectives’ of the Official Plan as discussed in Appendix B.

Provincially Significant Wetland

This site is within the “adjacent lands” are of a Provincially Significant Wetland (PSW) that lies to the north. This site will not have any impact on the PSW since:

1. There is significant existing development between the subject lands and the Provincially Significant Wetland (PSW)
2. Norfolk County’s Riverside Road and several residential dwellings are located between the subject lands and the PSW.

For these reasons, the Long Point Region Conservation Authority has advised that an Environmental Impact Study (EIS) is not required.

Site Servicing

Through the site plan application process, stormwater management design approvals and land use permits from the Conservation Authority will be required prior to building permit issuance.

The development intends to make efficient use of this existing infrastructure. Through the site plan application process, proposed infrastructure will be designed and constructed in accordance with Norfolk County’s requirements, and will be subject to Norfolk County’s approval. Details related to servicing do not impact the proposed Official Plan or Zoning By-law amendment application.

Summary of Official Plan review

The proposed Official Plan and zoning by-law amendment meets the policies of the Official Plan. The development concept represents an appropriate land use considering the size of the property, proximity to existing residential and commercial uses, avoidance of Conservation Authority regulated floodplains, and the provision of buffering and/or landscaping through the site plan process. Accordingly, the proposed applications meet the intent and purpose of the Official Plan and represent good planning.

Norfolk County Comprehensive Zoning By-law 1-Z-2018

The lands are currently zoned Service Commercial Zone (CS). This zone permits a multitude of commercial uses. Special Provision 14.646 was passed to permit a limit the size of specific uses. The uses proposed are permitted in accordance with the Service Commercial Zone. The application to amend the zoning by-law is necessary to address setbacks and are captured in the following table.

Zoning Table for	Service Commercial Zone (CS)	Notes:
Section 6.3		
6.3.1 - PERMITTED USES		
	Various Service Commercial uses including restaurants and site-specific retail and bulk food store.	
6.3.2 ZONE PROVISIONS FOR NON-RESIDENTIAL USES		
Minimum Lot Area		
i) Interior	450m ²	23,089.26 m ²
ii) Corner	495m ²	
Minimum Lot Frontage		
i) Interior	15m	111.30 m
ii) Corner	16.5m	
c) Front Yard Setback	3m	3.89m
d) Exterior Side Setback	3m	2.94m (Existing Condition)
e) Interior Side Yard Setback	3m	0.81 m (Existing Condition)
f) Rear Yard Setback	9m	5m (Proposed)
h) Maximum Building Height	11m	<11m
i) Lot Coverage	35%	22%
4.9 Parking Space Requirements (Non-Residential)		See chart below

**G. DOUGLAS VALLEE LIMITED
 Consulting Engineers, Architects & Planners**



Authorized by the Association of Professional Engineers of Ontario
 to offer professional engineering services.



EXISTING PARKING TABLE				
BUILDING	USAGE	AREA (sq. m)	REQUIRED PARKING	Total Spaces
STAPLES	RETAIL (OFFICE SUPPLY)	1857.99	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	62
SHOPPERS DRUG MART	RETAIL STORE	1582.7	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	53
BOSTON PIZZA	RESTAURANT	555	1 SPACE / 10 sq. m OF USABLE FLOOR AREA	56
BOSTON PIZZA PATIO*	RESTAURANT, OUTDOOR PATIO	64	1 SPACE / EVERY 4 SEATS	16
BULK BARN	RETAIL STORE	437.82	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	15
OVERALL SITE REQUIRED IN EXISTING CONDITION				202
TOTAL EXISTING PARKING SPACES PROVIDED				249
EXISTING ACCESSIBLE SPACES				12
REQUIRED ACCESSIBLE SPACES				7
* LIQUOR LICENSE FOR BOSTON PIZZA PATIO IS FOR 64 PEOPLE.				
PROPOSED PARKING TABLE				
BUILDING	USAGE	AREA (sq. m)	REQUIRED PARKING	Total Spaces
STAPLES	RETAIL (OFFICE SUPPLY)	1857.99	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	62
SHOPPERS DRUG MART	RETAIL STORE	1582.7	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	53
BOSTON PIZZA	RESTAURANT	555	1 SPACE / 10 sq. m OF USABLE FLOOR AREA	56
BOSTON PIZZA PATIO*	RESTAURANT, OUTDOOR PATIO	64	1 SPACE / EVERY 4 SEATS	16
BULK BARN	RETAIL STORE	437.82	1 SPACE / 30 sq. m OF USABLE FLOOR AREA	15
PROP. UNIT B	RESTAURANT, FAST FOOD WITH DRIVE-THRU	213.67	1 SPACE / 10 sq. m OF USABLE FLOOR AREA	22
PROP. UNIT A	RESTAURANT, FAST FOOD WITH DRIVE-THRU	241.55	1 SPACE / 10 sq. m OF USABLE FLOOR AREA	25
PROP UNIT C	COMMERCIAL UNIT	185.82	1 SPACE / 10 sq. m OF USABLE FLOOR AREA	19
OVERALL SITE PARKING REQUIRED				268
TOTAL PROPOSED PARKING SPACES PROVIDED				272
EXISTING ACCESSIBLE SPACES				12
REQUIRED ACCESSIBLE SPACES				4 TYPE A 4 TYPE B
ADDITIONAL ACCESSIBLE SPACES PROPOSED				2 TYPE A 2 TYPE B
TOTAL ACCESSIBLE SPACES				16
* LIQUOR LICENSE FOR BOSTON PIZZA PATIO IS FOR 64 PEOPLE.				

At this time, it has not been determined how the commercial unit will be used. Accordingly, a review of the permitted uses and parking requirements has been completed. For the purposes of ensuring compliance with the County parking requirements, a restaurant use has been reviewed considering the more significant requirements to provide parking at a ratio of 1 space for every 10m² of usable floor area. This analysis reveals that the property will continue to be in compliance with the requirements of the zoning by-law. There total of all uses comply with the parking requirements of the by-law.

Summary of Zoning By-law review

It is proposed to reduce the rear yard setback from 9 metres to 5 metres to permit the restaurant and commercial unit without impacting the flow of internal traffic and ensuring compliance with the parking requirements of the zoning by-law. Impacts are not anticipated by reducing the setback as the adjacent lands are commercial in nature. Fencing is proposed in this area to improve buffering. As such it is our opinion that the proposed amendment to reduce the rear yard setback is appropriate.

G. DOUGLAS VALLEE LIMITED
 Consulting Engineers, Architects & Planners



Authorized by the Association of Professional Engineers of Ontario to offer professional engineering services.



Planning Analysis:

The proposed Official Plan and Zoning By-law Amendment are in keeping with the general purpose and intent of the Provincial Policy Statement (PPS).

This report demonstrates that the removal of the Hazard Lands overlay designation from the lands can be supported as the Long Point Region Conservation Authority's updated floodplain mapping reveals that this property is no longer within the floodplain. A development permit is required by the Conservation Authority as the Conservation Authority GIS mapping indicates that the lands are within Regulated Area O. Reg. 178/06. This also ensures that the construction plans of the building meet Conservation Authority standards. Accordingly, the Official Plan Hazard designation can be removed.

The proposed zoning by-law amendment to reduce the rear yard setback, is appropriate for the subject lands, does not impact the adjacent commercial property and complies with the general intent and purpose of the Official Plan and Zoning By-law. Through the site plan process, buffering in the form of a fence can be considered.

Conclusion:

The proposed Official Plan and Zoning By-law Amendment implement the policies of the PPS and the Norfolk County Official Plan. The Hazard Lands designation can be removed as supported by revised Conservation Authority floodplain mapping. There are no impacts generated from the reduction of the rear yard setback. The analysis of this application is supportive. Accordingly, it is our opinion that the applications:

- model good planning;
- are not subject to natural and human made hazards; and
- ensures efficiency and compatibility with the surrounding land uses.

It is our recommendation that Norfolk County approve the application to amend the Official Plan and Zoning By-law to permit remove the Hazard Land designation and a reduced rear yard setback to facilitate the construction of 2 additional commercial buildings on the existing property.

Yours truly,



Eldon Darbyson, BES, MCIP, RPP
Director of Planning

G. DOUGLAS VALLEE LIMITED

Consulting Engineers, Architects & Planners

H:\Projects\2020\20-084 Burger King Servicing Investigation\Agency\PJR\Burger King PJR\2021.03.10 - Planning Justification Report.docx

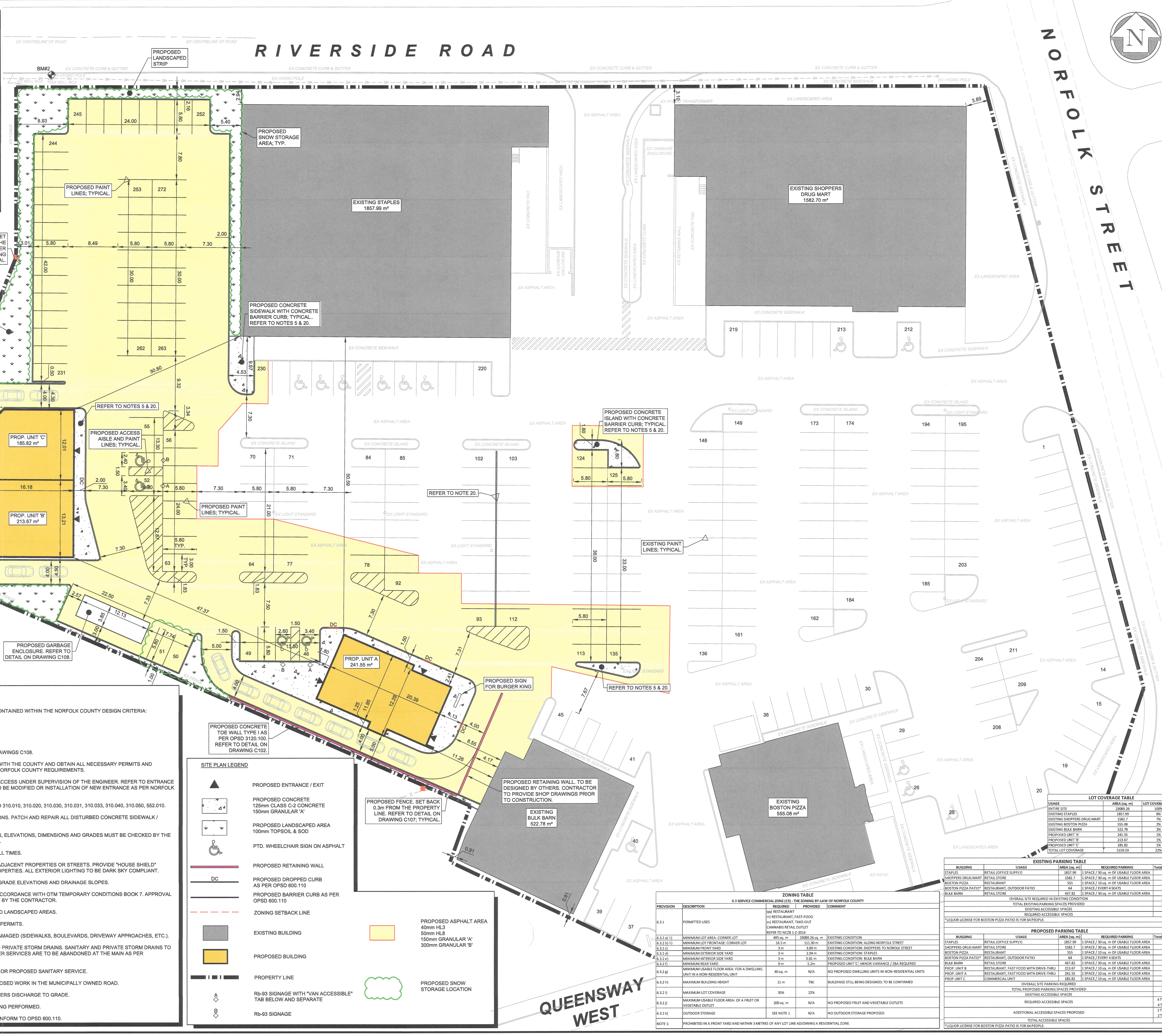
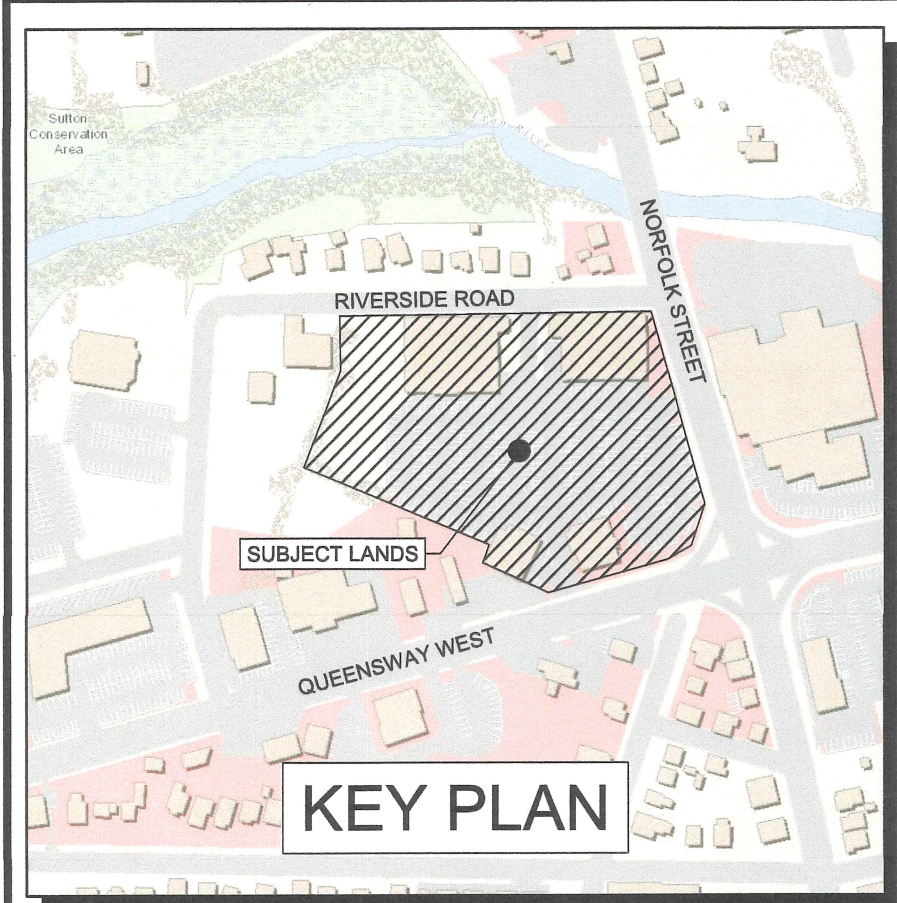
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FILE PATH: H:\PROJECTS\2020\20-084 BURSER KING SERVICES INVESTIGATION\DRAWINGS\C100-084-C100 - SITE PLAN.DWG
PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY
DATE PLOTTED: 2/25/2023 11:15:41 AM



NO.	DATE	ISSUANCE
1	FEB 25/21	ISSUED FOR SPA SUBMISSION 1
0	FEB 19/21	ISSUED FOR CLIENT REVIEW
NO.	DATE	ISSUANCE

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ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS
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EXISTING RB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.
SITE BENCHMARK #2
ELEV: 212.69m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION
ROLL NUMBER: 4010117700
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 1 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 LO, PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 37862 PARTS 1 TO 6.

APPLICANT INFORMATION
LEE GREENWOOD
CANADIAN COMMERCIAL (SIMCOE) INC.
(519) 281-7808
484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

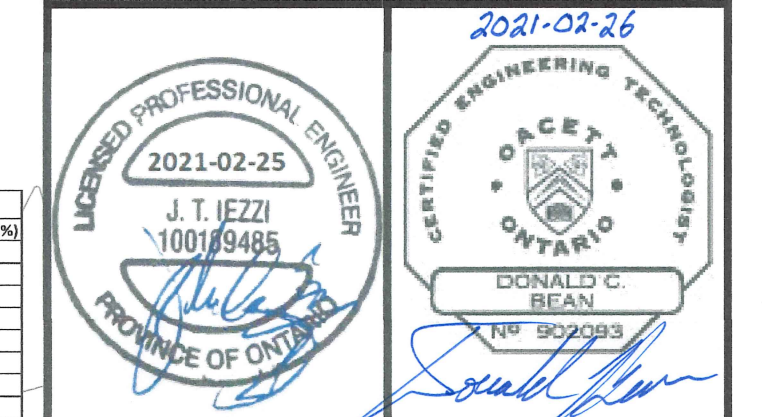
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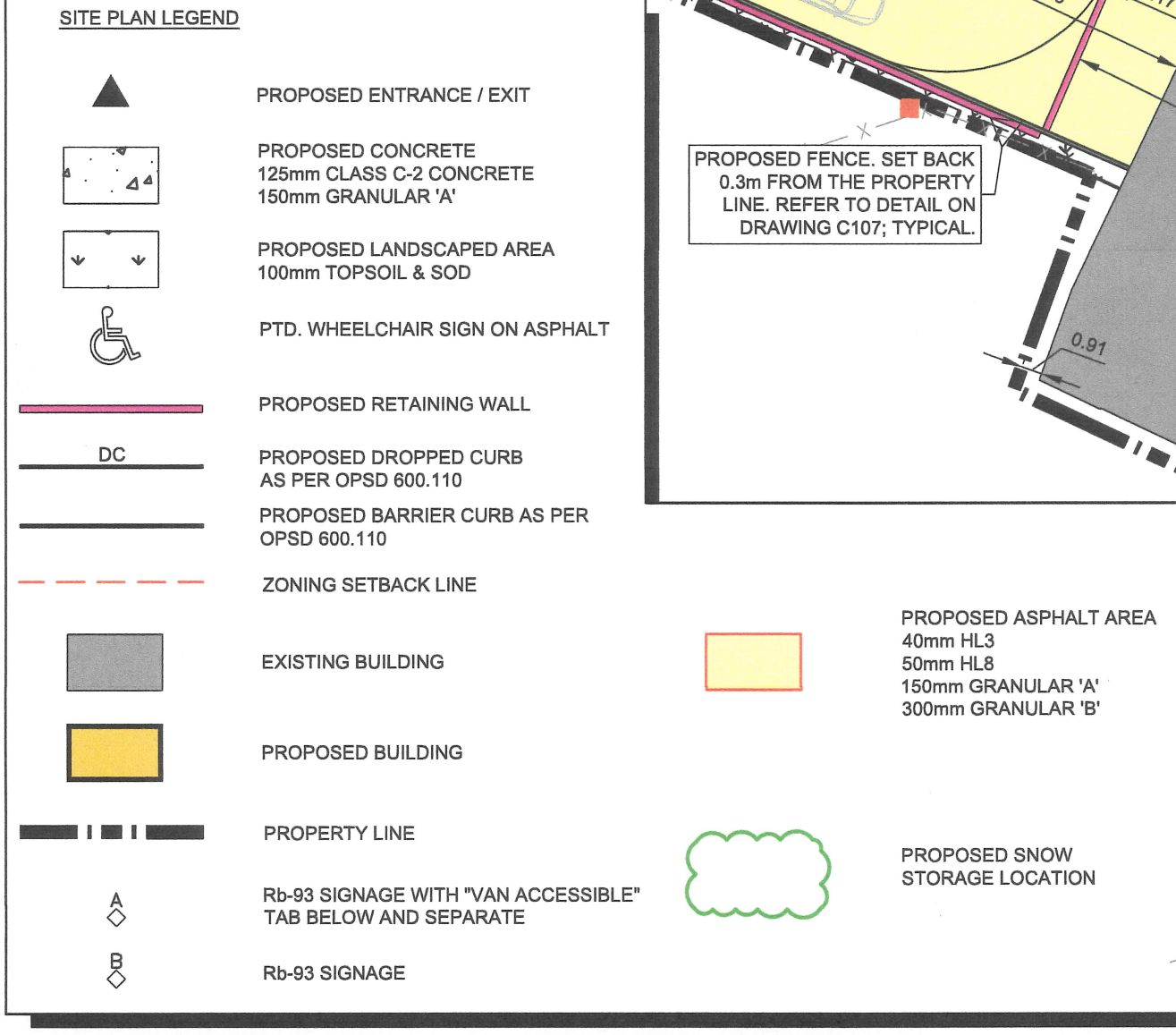
PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY 9 QUEENSWAY WEST

DRAWING TITLE:
SITE PLAN

CHECKED BY:	JI	DRAWN BY:	DCB
DRAWING SCALE:	1:300	DRAWING NO.:	C100
PROJECT NO.:	20-084		

- NOTES:**
- PARKING AND AISLE PAVEMENT TO ADHERE TO PAVEMENT DESIGNS CONTAINED WITHIN THE NORFOLK COUNTY DESIGN CRITERIA:
40mm HL3
50mm HL5
150mm GRANULAR A 100% CRUSHED LIMESTONE
300mm GRANULAR B 100% CRUSHED LIMESTONE
 - GARBAGE AND RECYCLING STORAGE FINISHES AS PER DETAILS ON DRAWINGS C108.
 - GENERAL CONTRACTOR TO COORDINATE ALL WORK WITHIN THE SITE WITH THE COUNTY AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES. EXECUTE ALL WORK AS PER NORFOLK COUNTY REQUIREMENTS.
 - GENERAL CONTRACTOR TO EXECUTE WORK TO CONSTRUCTION SITE ACCESS UNDER SUPERVISION OF THE ENGINEER. REFER TO ENTRANCE PERMIT REQUIREMENTS WHERE APPLICABLE. DRIVEWAY ENTRANCE TO BE MODIFIED OR INSTALLATION OF NEW ENTRANCE AS PER NORFOLK COUNTY REQUIREMENTS.
 - CONCRETE ISLAND / SIDEWALK WORK TO BE COORDINATED WITH OPSD 310.010, 310.020, 310.030, 310.031, 310.033, 310.040, 310.050, 552.010.
 - RESTORATION OF CONCRETE SIDEWALK TO MATCH EXISTING CONDITIONS. PATCH AND REPAIR ALL DISTURBED CONCRETE SIDEWALK / ISLANDS.
 - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ALL BENCHMARKS, ELEVATIONS, DIMENSIONS AND GRADES MUST BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
 - AT LEAST TWO DIFFERENT BENCHMARKS MUST BE REFERRED TO AT ALL TIMES.
 - LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS. PROVIDE "HOUSE SHIELD" WHERE NEEDED TO COMPLETELY ELIMINATE GLARE TO ADJACENT PROPERTIES. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT.
 - COORDINATE WITH SITE GRADING PLAN FOR PROPOSED FINAL FINISH GRADE ELEVATIONS AND DRAINAGE SLOPES.
 - TRAFFIC CONTROL SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ACCORDANCE WITH OTM TEMPORARY CONDITIONS BOOK 7. APPROVAL FOR THE TRAFFIC CONTROL WILL BE SOUGHT FROM THE MUNICIPALITY BY THE CONTRACTOR.
 - NO VEGETATION OR LANDSCAPE IS TO EXCEED 1.0m HIGH IN PROPOSED LANDSCAPED AREAS.
 - THE OWNER'S CONTRACTOR WILL BE REQUIRED TO OBTAIN ROAD CUT PERMITS.
 - FULL PUBLIC SERVICES ARE TO BE CONSTRUCTED, OR REPLACED IF DAMAGED (SIDEWALKS, BOULEVARDS, DRIVEWAY APPROACHES, ETC.).
 - CONTRACTOR TO LOCATE AND ABANDON ANY SURPLUS SANITARY AND PRIVATE STORM DRAINS. SANITARY AND PRIVATE STORM DRAINS TO BE CAPPED IN CONCRETE AT THE PROPERTY LINE. ANY SURPLUS WATER SERVICES ARE TO BE ABANDONED AT THE MAIN AS PER MUNICIPALITY STANDARDS.
 - CONTRACTOR TO OBTAIN A SANITARY LATERAL CONNECTION PERMIT FOR PROPOSED SANITARY SERVICE.
 - CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT FOR ANY PROPOSED WORK IN THE MUNICIPALLY OWNED ROAD.
 - CONCRETE SPLASH PADS TO BE PROVIDED WHERE ROOF WATER LEADERS DISCHARGE TO GRADE.
 - OWNER TO OBTAIN SITE ALTERATION PERMIT PRIOR TO ANY WORK BEING PERFORMED.
 - ALL PROPOSED CONCRETE CURBS WITHIN THE SUBJECT LANDS TO CONFORM TO OPSD 600.110.



ZONING TABLE
4.3 SERVICE COMMERCIAL ZONE (CS) - THE ZONING BY-LAW OF NORFOLK COUNTY

PROVISION	DESCRIPTION	REQUIRED	PROVIDED	COMMENT
4.3.1	PERMITTED USES	(R) RESTAURANT (F) RESTAURANT, FAST FOOD (R) RESTAURANT, TAKE-OUT (C) CANNIBAS RETAIL OUTLET REFER TO NC28 12-2014		
4.3.2 (i)	MINIMUM LOT AREA - CORNER LOT	495 sq. m	2308.26 sq. m	EXISTING CONDITION
4.3.2 (ii)	MINIMUM LOT FRONTAGE - CORNER LOT	16.5 m	111.90 m	EXISTING CONDITION ALONG NORFOLK STREET
4.3.2 (iii)	MINIMUM FRONT YARD	3 m	3.85 m	EXISTING CONDITION SHOPPERS TO NORFOLK STREET
4.3.2 (iv)	MINIMUM EXTERIOR SIDE YARD	3 m	2.94 m	EXISTING CONDITION - STAPLES
4.3.2 (v)	MINIMUM INTERIOR SIDE YARD	3 m	0.81 m	EXISTING CONDITION - BULK BARN
4.3.2 (vi)	MINIMUM REAR YARD	3 m	5.2m	PROPOSED UNIT 'C' - VARIANCE / ZBA REQUIRED
4.3.2 (vii)	MINIMUM USABLE FLOOR AREA FOR A DWELLING UNIT IN A NON-RESIDENTIAL UNIT	40 sq. m	N/A	NO PROPOSED DWELLING UNITS IN NON-RESIDENTIAL UNITS
4.3.2 (viii)	MAXIMUM BUILDING HEIGHT	11 m	TBC	BUILDINGS STILL BEING DESIGNED TO BE CONFIRMED
4.3.2 (ix)	MAXIMUM LOT COVERAGE	30%	22%	
4.3.2 (x)	MAXIMUM USABLE FLOOR AREA OF A FRUIT OR VEGETABLE OUTLET	200 sq. m	N/A	NO PROPOSED FRUIT AND VEGETABLE OUTLETS
4.3.2 (xi)	OUTDOOR STORAGE	SEE NOTE 1	N/A	NO OUTDOOR STORAGE PROPOSED
NOTE 1	PROHIBITED IN A FRONT YARD AND WITHIN 3 METRES OF ANY LOT LINE ADJOINING A RESIDENTIAL ZONE.			

LOT COVERAGE TABLE

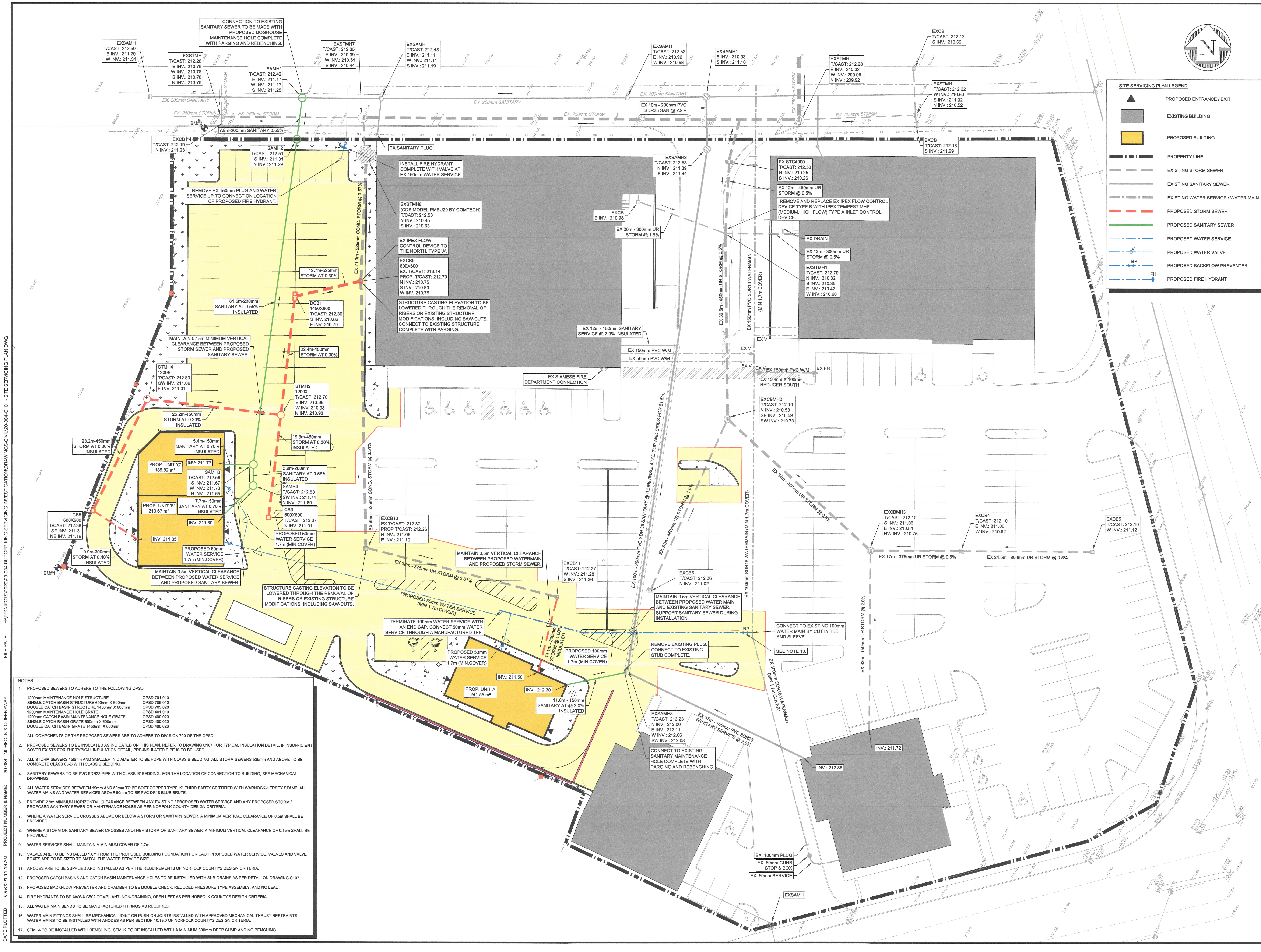
USAGE	AREA (sq. m)	LOT COVERAGE (%)
ENTIRE SITE	2308.26	100%
EXISTING STAPLES	1857.99	80%
EXISTING SHOPPERS DRUG MART	1582.7	7%
EXISTING BOSTON PIZZA	555.08	2%
EXISTING BULK BARN	522.78	2%
PROPOSED UNIT 'A'	241.55	1%
PROPOSED UNIT 'B'	213.67	1%
PROPOSED UNIT 'C'	185.82	1%
TOTAL LOT COVERAGE	5159.59	22%

EXISTING PARKING TABLE

BUILDING	USAGE	AREA (sq. m)	REQUIRED PARKING	Total Spaces
STAPLES	RETAIL (OFFICE SUPPLY)	1857.99	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	92
SHOPPERS DRUG MART	RETAIL STORE	1582.7	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	51
BOSTON PIZZA	RESTAURANT	555	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	56
BOSTON PIZZA PATIO	RESTAURANT - OUTDOOR PATIO	64	1 SPACE / EVERY 4 SEATS	16
BULK BARN	RETAIL STORE	487.82	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	15
PROP. UNIT A	RESTAURANT - FAST FOOD WITH DRIVE-THRU	241.55	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	12
PROP. UNIT B	RESTAURANT - FAST FOOD WITH DRIVE-THRU	213.67	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	11
PROP. UNIT C	COMMERCIAL UNIT	185.82	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	10
OVERALL SITE REQUIRED IN EXISTING CONDITION				202
TOTAL EXISTING PARKING SPACES PROVIDED				208
EXISTING ACCESSIBLE SPACES				10
REQUIRED ACCESSIBLE SPACES				7

PROPOSED PARKING TABLE

BUILDING	USAGE	AREA (sq. m)	REQUIRED PARKING	Total Spaces
STAPLES	RETAIL (OFFICE SUPPLY)	1857.99	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	92
SHOPPERS DRUG MART	RETAIL STORE	1582.7	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	51
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PROP. UNIT C	COMMERCIAL UNIT	185.82	1 SPACE / 20 sq. m OF USABLE FLOOR AREA	10
OVERALL SITE PARKING REQUIRED				272
TOTAL PROPOSED PARKING SPACES PROVIDED				272
EXISTING ACCESSIBLE SPACES				12
REQUIRED ACCESSIBLE SPACES				4 TYPE A 4 TYPE B
ADDITIONAL ACCESSIBLE SPACES PROPOSED				2 TYPE A 2 TYPE B
TOTAL ACCESSIBLE SPACES				15



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SITE BENCHMARK #2
ELEV: 212.69m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STABLES.

LEGAL DESCRIPTION
ROLL NUMBER: 401011700
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 18 LOTS 1 AND 2B, LOTS 1 TO 4 AND LANE BLOCK 21 LO, PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP STREET PARTS 1 TO 4.

APPLICANT INFORMATION
LEE GREENWOOD
CANADIAN COMMERCIAL (SIMCOE) INC.
(519) 281-7808
484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

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SCALE:
HORIZONTAL: 1:300

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Consulting Engineers, Architects & Planners

G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

2021-02-26
LICENSED PROFESSIONAL ENGINEER
2021-02-25
J. T. JEZJI
10019485
DONALD C. BEVAN
DONALD C. BEVAN
P. ENG. 000903

PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

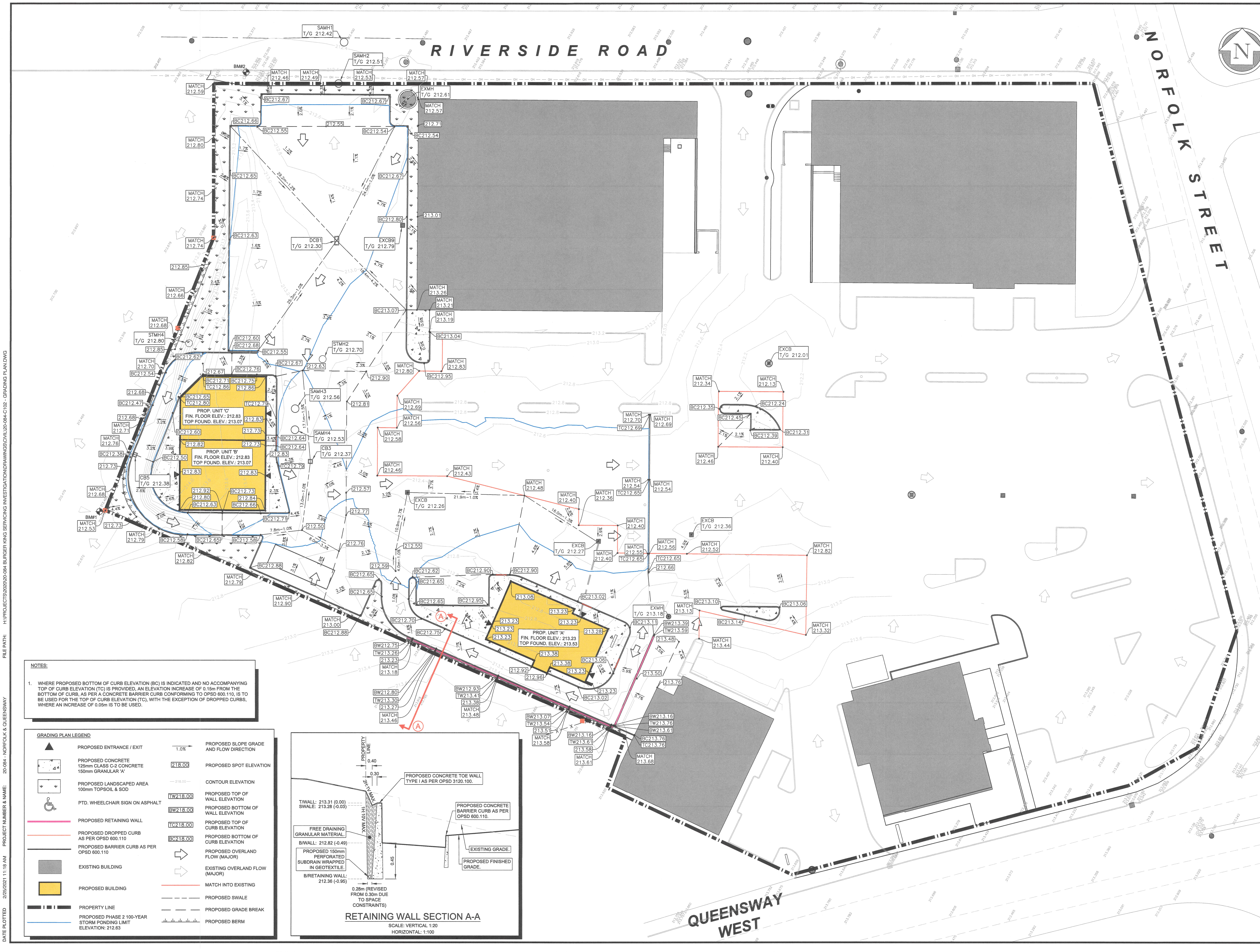
DRAWING TITLE:
SITE SERVICING PLAN

CHECKED BY: JI	DRAWN BY: DCB
DRAWING SCALE: 1:300	DRAWING NO.:
PROJECT NO.:	C101

FILE PATH: H:\PROJECTS\2020\20-084 BURGER KING SERVICING INVESTIGATION\DRAWINGS\CIVIL\20-084-C101 - SITE SERVICING PLAN.DWG
PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY
DATE PLOTTED: 2/25/2021 11:18 AM

- NOTES:**
- PROPOSED SEWERS TO ADHERE TO THE FOLLOWING OPSD:

1200mm MAINTENANCE HOLE STRUCTURE	OPSD 701.010
SINGLE CATCH BASIN STRUCTURE 600mm X 600mm	OPSD 705.010
DOUBLE CATCH BASIN STRUCTURE 1450mm X 600mm	OPSD 705.020
1200mm MAINTENANCE HOLE GRATE	OPSD 401.010
1200mm CATCH BASIN MAINTENANCE HOLE GRATE	OPSD 400.020
SINGLE CATCH BASIN GRATE 600mm X 600mm	OPSD 400.020
DOUBLE CATCH BASIN GRATE 1450mm X 600mm	OPSD 400.020
 - ALL COMPONENTS OF THE PROPOSED SEWERS ARE TO ADHERE TO DIVISION 700 OF THE OPSD.
 - PROPOSED SEWERS TO BE INSULATED AS INDICATED ON THIS PLAN. REFER TO DRAWING C107 FOR TYPICAL INSULATION DETAIL. IF INSUFFICIENT COVER EXISTS FOR THE TYPICAL INSULATION DETAIL, PRE-INSULATED PIPE IS TO BE USED.
 - ALL STORM SEWERS 450mm AND SMALLER IN DIAMETER TO BE HOPE WITH CLASS B BEDDING. ALL STORM SEWERS 525mm AND ABOVE TO BE CONCRETE CLASS 65-D WITH CLASS B BEDDING.
 - SANITARY SEWERS TO BE PVC SDR28 PIPE WITH CLASS 'B' BEDDING. FOR THE LOCATION OF CONNECTION TO BUILDING, SEE MECHANICAL DRAWINGS.
 - ALL WATER SERVICES BETWEEN 10mm AND 50mm TO BE SOFT COPPER TYPE 'K', THIRD PARTY CERTIFIED WITH WARNOCK-HERSEY STAMP. ALL WATER MAINS AND WATER SERVICES ABOVE 50mm TO BE PVC DR18 BLUE BRUTE.
 - PROVIDE 2.5m MINIMUM HORIZONTAL CLEARANCE BETWEEN ANY EXISTING / PROPOSED WATER SERVICE AND ANY PROPOSED STORM / PROPOSED SANITARY SEWER OR MAINTENANCE HOLES AS PER NORFOLK COUNTY DESIGN CRITERIA.
 - WHERE A WATER SERVICE CROSSES ABOVE OR BELOW A STORM OR SANITARY SEWER, A MINIMUM VERTICAL CLEARANCE OF 0.5m SHALL BE PROVIDED.
 - WHERE A STORM OR SANITARY SEWER CROSSES ANOTHER STORM OR SANITARY SEWER, A MINIMUM VERTICAL CLEARANCE OF 0.15m SHALL BE PROVIDED.
 - WATER SERVICES SHALL MAINTAIN A MINIMUM COVER OF 1.7m.
 - VALVES ARE TO BE INSTALLED 1.0m FROM THE PROPOSED BUILDING FOUNDATION FOR EACH PROPOSED WATER SERVICE. VALVES AND VALVE BOXES ARE TO BE SIZED TO MATCH THE WATER SERVICE SIZE.
 - ANODES ARE TO BE SUPPLIED AND INSTALLED AS PER THE REQUIREMENTS OF NORFOLK COUNTY'S DESIGN CRITERIA.
 - PROPOSED CATCH BASINS AND CATCH BASIN MAINTENANCE HOLES TO BE INSTALLED WITH SUB-DRAINS AS PER DETAIL ON DRAWING C107.
 - PROPOSED BACKFLOW PREVENTER AND CHAMBER TO BE DOUBLE CHECK REDUCED PRESSURE TYPE ASSEMBLY, AND NO LEAD.
 - FIRE HYDRANTS TO BE AWWA C502 COMPLIANT, NON-DRAINING, OPEN LEFT AS PER NORFOLK COUNTY'S DESIGN CRITERIA.
 - ALL WATER MAIN BENDS TO BE MANUFACTURED FITTINGS AS REQUIRED.
 - WATER MAIN FITTINGS SHALL BE MECHANICAL JOINT OR PUSH-ON JOINTS INSTALLED WITH APPROVED MECHANICAL THRUST RESTRAINTS. WATER MAINS TO BE INSTALLED WITH ANODES AS PER SECTION 10.13.0 OF NORFOLK COUNTY'S DESIGN CRITERIA.
 - STM#4 TO BE INSTALLED WITH BENCHING. STM#2 TO BE INSTALLED WITH A MINIMUM 300mm DEEP SUMP AND NO BENCHING.



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TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
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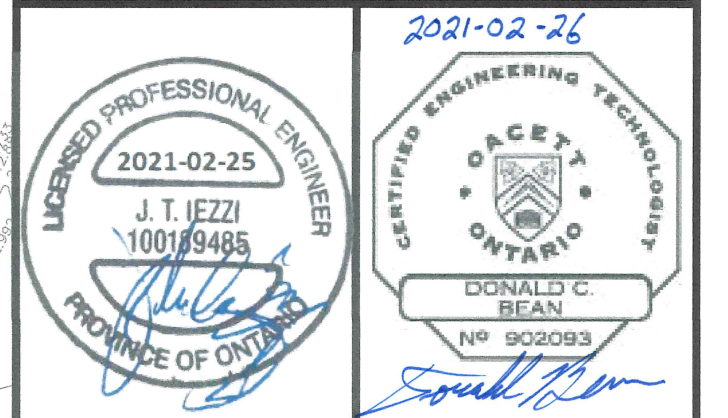
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PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

DRAWING TITLE:
GRADING PLAN

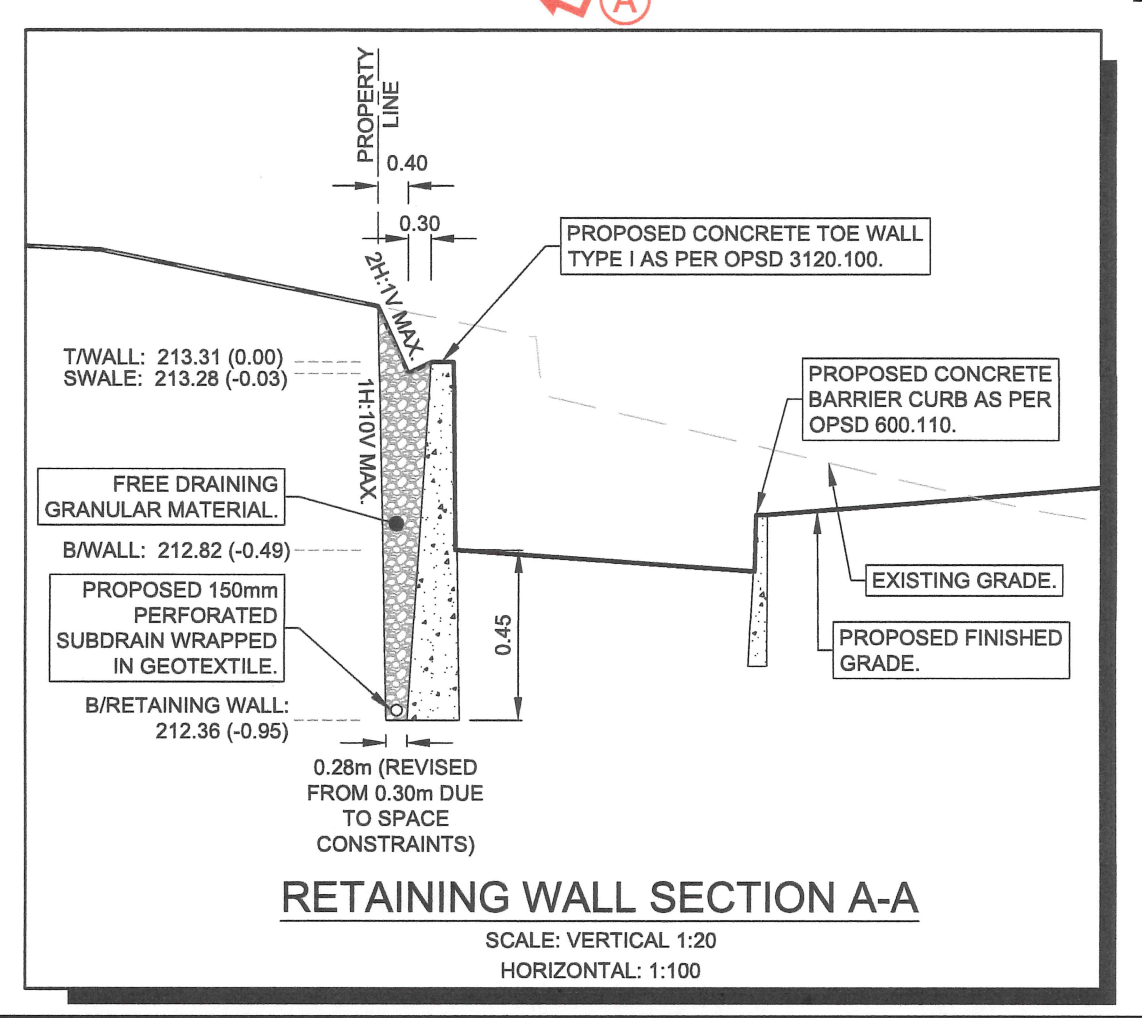
CHECKED BY: JI	DRAWN BY: DCB
DRAWING SCALE: 1:300	DRAWING NO.:
PROJECT NO.:	C102

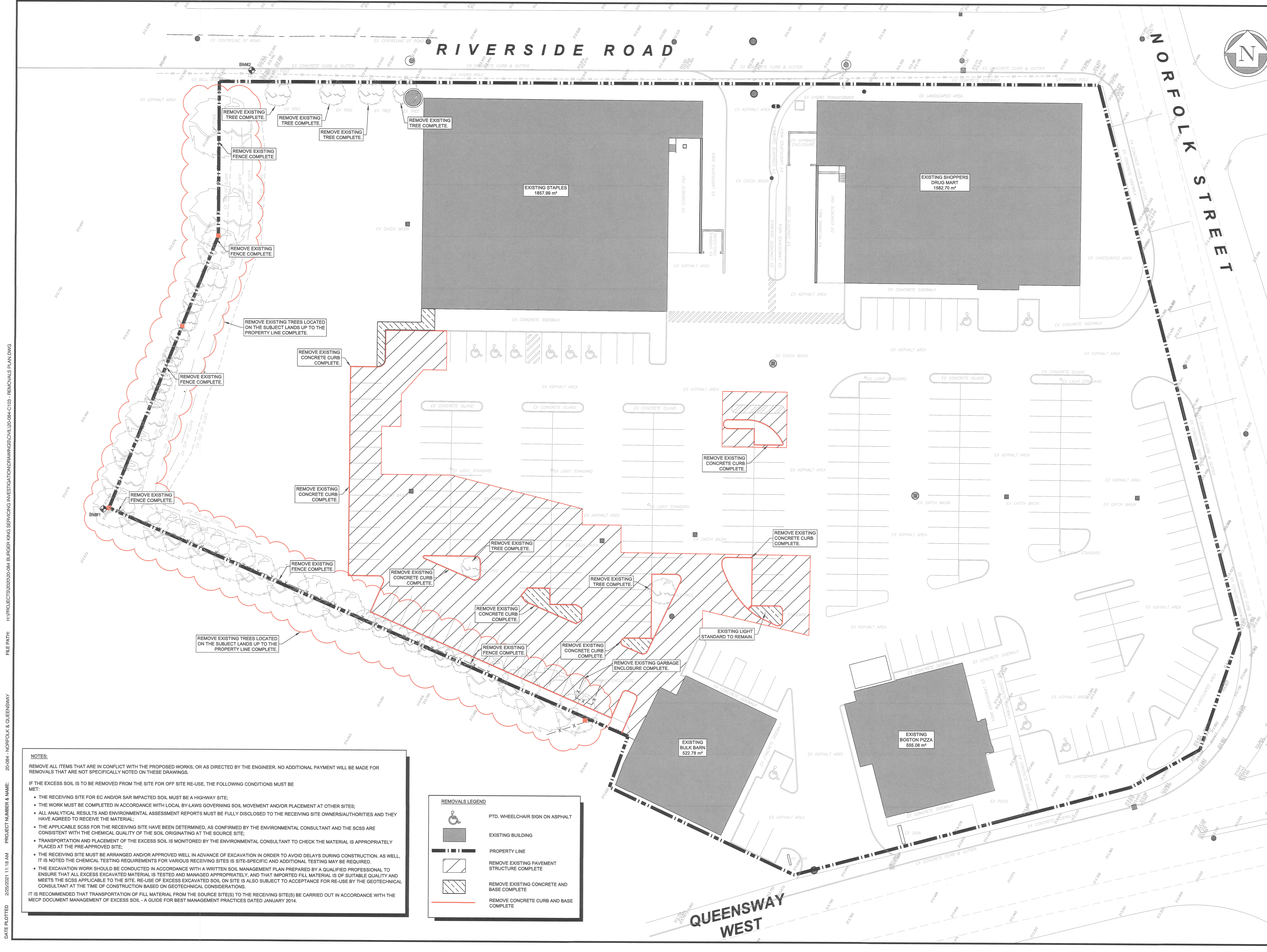
NOTES:

- WHERE PROPOSED BOTTOM OF CURB ELEVATION (BC) IS INDICATED AND NO ACCOMPANYING TOP OF CURB ELEVATION (TC) IS PROVIDED, AN ELEVATION INCREASE OF 0.15m FROM THE BOTTOM OF CURB, AS PER A CONCRETE BARRIER CURB CONFORMING TO OPSD 600.110, IS TO BE USED FOR THE TOP OF CURB ELEVATION (TC), WITH THE EXCEPTION OF DROPPED CURBS, WHERE AN INCREASE OF 0.05m IS TO BE USED.

GRADING PLAN LEGEND

	PROPOSED ENTRANCE / EXIT		PROPOSED SLOPE GRADE AND FLOW DIRECTION
	PROPOSED CONCRETE 125mm CLASS C-2 CONCRETE 150mm GRANULAR 'A'		PROPOSED SPOT ELEVATION
	PROPOSED LANDSCAPED AREA 100mm TOPSOIL & SOD		CONTOUR ELEVATION
	PTD, WHEELCHAIR SIGN ON ASPHALT		PROPOSED TOP OF WALL ELEVATION
	PROPOSED RETAINING WALL		PROPOSED BOTTOM OF WALL ELEVATION
	PROPOSED DROPPED CURB AS PER OPSD 600.110		PROPOSED TOP OF CURB ELEVATION
	PROPOSED BARRIER CURB AS PER OPSD 600.110		PROPOSED BOTTOM OF CURB ELEVATION
	EXISTING BUILDING		PROPOSED OVERLAND FLOW (MAJOR)
	PROPOSED BUILDING		MATCH INTO EXISTING
	PROPERTY LINE		PROPOSED SWALE
	PROPOSED PHASE 2 100-YEAR STORM PONDING LIMIT ELEVATION: 212.63		PROPOSED GRADE BREAK
			PROPOSED BERM





NO.	DATE	ISSUANCE
1	FEB 25/21	ISSUED FOR SPA SUBMISSION 1
0	FEB 19/21	ISSUED FOR CLIENT REVIEW

NOTE:
 THE CONTRACTOR IS CAUTIONED THAT ALL OF THE EXISTING UTILITIES ARE NOT INDICATED ON THIS DRAWING. THE CONTRACTOR MUST ARRANGE FOR LOCATES FROM EACH AREA UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES INCLUDING THOSE NOT INDICATED ON THIS DRAWING. G. DOUGLAS VALLEE LTD. CAN NOT ACCEPT RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITY WHICH MAY OR MAY NOT BE INDICATED ON THIS DRAWING.

BENCHMARKS
 SITE BENCHMARK #1
 ELEV: 212.60m
 EXISTING RIB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.
 SITE BENCHMARK #2
 ELEV: 212.60m
 SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION
 ROLL NUMBER: 4010011700
 TOWN/TOWNSHIP: SIMCOE
 MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
 LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 29, LOTS 1 TO 4 AND LANE BLOCK 21 LD PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 379821 PARTS 1 TO 6.

APPLICANT INFORMATION
 LEE GREENWOOD
 CANADIAN COMMERCIAL (SIMCOE) INC.
 (519) 281-7808
 484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

DRAWING LIST

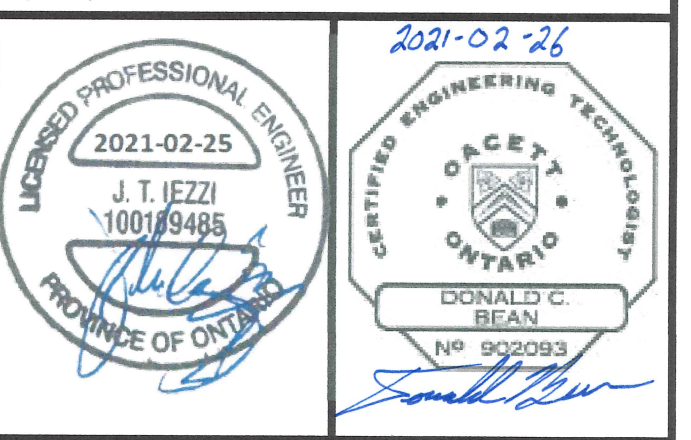
20-084-C100	- SITE PLAN
20-084-C101	- SITE SERVICING PLAN
20-084-C102	- GRADING PLAN
20-084-C103	- REMOVALS PLAN
20-084-C104	- EROSION CONTROL PLAN
20-084-C105	- SANITARY DRAINAGE AREAS PLAN
20-084-C106	- STORM DRAINAGE AREAS PLAN
20-084-C107	- GENERAL NOTES AND DETAILS PLAN
20-084-C108	- GARBAGE ENCLOSURE DETAILS PLAN

SCALE: 3 9 15
 HORIZONTAL : 1:300
 DO NOT SCALE DRAWINGS. CALL FOR ANY CLARIFICATIONS THAT ARE REQUIRED. FIELD VERIFY AT ALL BUILT CONDITIONS.
 ALL DRAWINGS ARE TO BE READ IN COLOUR ORIGINAL PAGE SIZE ARCH 'D' - 24" x 36"

PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION



G. DOUGLAS VALLEE LIMITED
 2 TALBOT STREET NORTH
 SIMCOE ONTARIO N3Y 3W4
 (519) 426-6270



NOTES:
 REMOVE ALL ITEMS THAT ARE IN CONFLICT WITH THE PROPOSED WORKS, OR AS DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT WILL BE MADE FOR REMOVALS THAT ARE NOT SPECIFICALLY NOTED ON THESE DRAWINGS.
 IF THE EXCESS SOIL IS TO BE REMOVED FROM THE SITE FOR OFF SITE RE-USE, THE FOLLOWING CONDITIONS MUST BE MET:
 • THE RECEIVING SITE FOR EC AND/OR SAR IMPACTED SOIL MUST BE A HIGHWAY SITE;
 • THE WORK MUST BE COMPLETED IN ACCORDANCE WITH LOCAL BY-LAWS GOVERNING SOIL MOVEMENT AND/OR PLACEMENT AT OTHER SITES;
 • ALL ANALYTICAL RESULTS AND ENVIRONMENTAL ASSESSMENT REPORTS MUST BE FULLY DISCLOSED TO THE RECEIVING SITE OWNERS/AUTHORITIES AND THEY HAVE AGREED TO RECEIVE THE MATERIAL;
 • THE APPLICABLE SCSS FOR THE RECEIVING SITE HAVE BEEN DETERMINED, AS CONFIRMED BY THE ENVIRONMENTAL CONSULTANT AND THE SCSS ARE CONSISTENT WITH THE CHEMICAL QUALITY OF THE SOIL ORIGINATING AT THE SOURCE SITE;
 • TRANSPORTATION AND PLACEMENT OF THE EXCESS SOIL IS MONITORED BY THE ENVIRONMENTAL CONSULTANT TO CHECK THE MATERIAL IS APPROPRIATELY PLACED AT THE PRE-APPROVED SITE;
 • THE RECEIVING SITE MUST BE ARRANGED AND/OR APPROVED WELL IN ADVANCE OF EXCAVATION IN ORDER TO AVOID DELAYS DURING CONSTRUCTION. AS WELL, IT IS NOTED THE CHEMICAL TESTING REQUIREMENTS FOR VARIOUS RECEIVING SITES IS SITE-SPECIFIC AND ADDITIONAL TESTING MAY BE REQUIRED.
 • THE EXCAVATION WORK SHOULD BE CONDUCTED IN ACCORDANCE WITH A WRITTEN SOIL MANAGEMENT PLAN PREPARED BY A QUALIFIED PROFESSIONAL TO ENSURE THAT ALL EXCESS EXCAVATED MATERIAL IS TESTED AND MANAGED APPROPRIATELY, AND THAT IMPORTED FILL MATERIAL IS OF SUITABLE QUALITY AND MEETS THE SCSS APPLICABLE TO THE SITE. RE-USE OF EXCESS EXCAVATED SOIL ON SITE IS ALSO SUBJECT TO ACCEPTANCE FOR RE-USE BY THE GEOTECHNICAL CONSULTANT AT THE TIME OF CONSTRUCTION BASED ON GEOTECHNICAL CONSIDERATIONS.
 IT IS RECOMMENDED THAT TRANSPORTATION OF FILL MATERIAL FROM THE SOURCE SITE(S) TO THE RECEIVING SITE(S) IS CARRIED OUT IN ACCORDANCE WITH THE MECP DOCUMENT MANAGEMENT OF EXCESS SOIL - A GUIDE FOR BEST MANAGEMENT PRACTICES DATED JANUARY 2014.

REMOVALS LEGEND

	PTD. WHEELCHAIR SIGN ON ASPHALT
	EXISTING BUILDING
	PROPERTY LINE
	REMOVE EXISTING PAVEMENT STRUCTURE COMPLETE
	REMOVE EXISTING CONCRETE AND BASE COMPLETE
	REMOVE CONCRETE CURB AND BASE COMPLETE

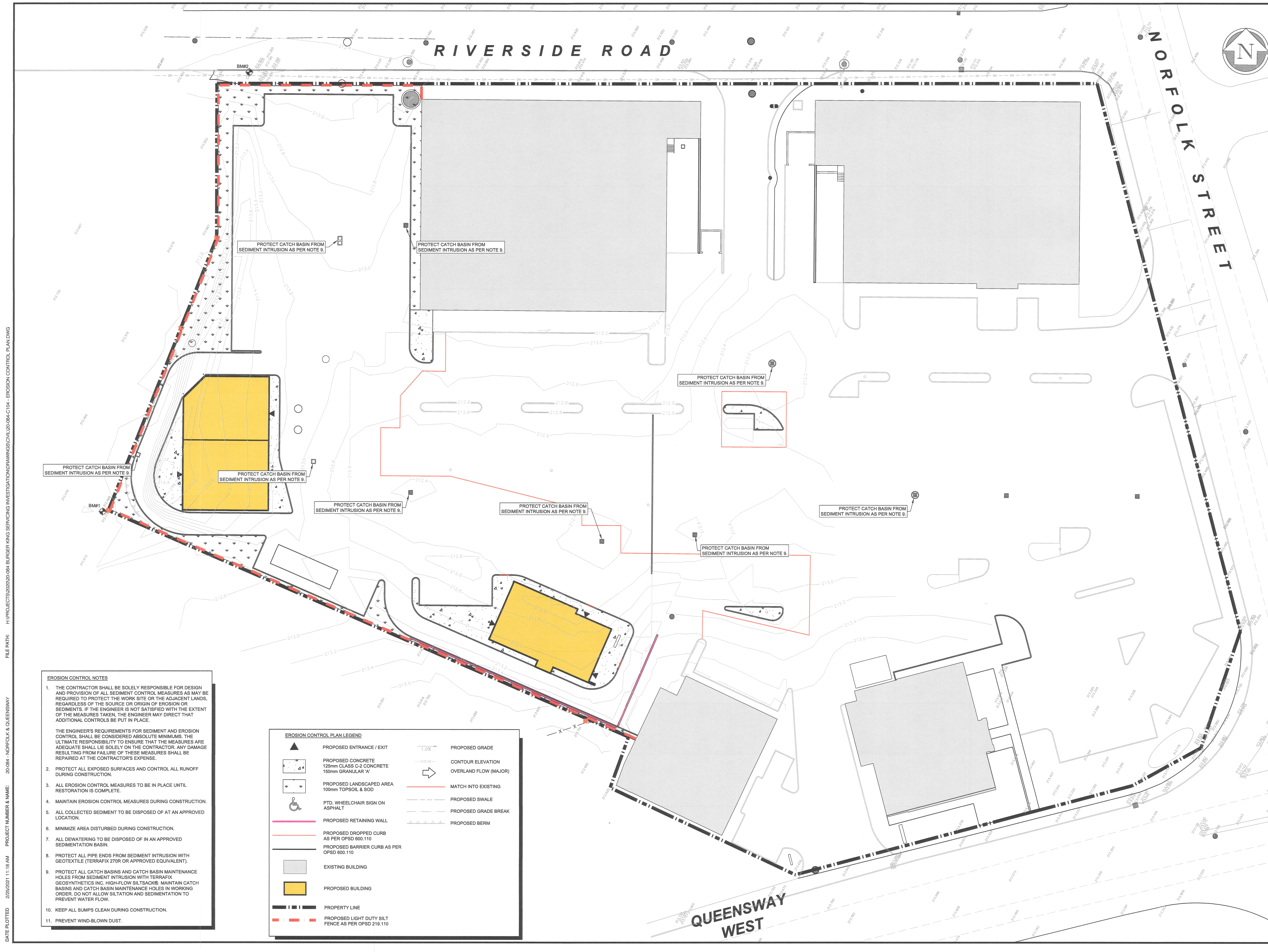
DATE PLOTTED: 2/25/2021 11:18 AM PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY HYDROELECTRIC SERVICES INVESTIGATION DRAWINGS (CIVIL) 20-084-C103 - REMOVALS PLAN DWG

PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
 9 QUEENSWAY WEST

DRAWING TITLE:
REMOVALS PLAN

CHECKED BY: JI	DRAWN BY: DCB
DRAWING SCALE: 1:300	DRAWING NO.:
PROJECT NO.:	C103



DATE PLOTTED: 2/25/2021 11:18 AM
 PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY
 FILE PATH: H:\PROJECTS\2020\20-084 BURGER KING SERVICING INVESTIGATION\DRAWINGS\CIVIL\20-084-C104 - EROSION CONTROL PLAN.DWG

- EROSION CONTROL NOTES**
1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DESIGN AND PROVISION OF ALL SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT THE WORK SITE OR THE ADJACENT LANDS, REGARDLESS OF THE SOURCE OR ORIGIN OF EROSION OR SEDIMENTS. IF THE ENGINEER IS NOT SATISFIED WITH THE EXTENT OF THE MEASURES TAKEN, THE ENGINEER MAY DIRECT THAT ADDITIONAL CONTROLS BE PUT IN PLACE.
 2. THE ENGINEER'S REQUIREMENTS FOR SEDIMENT AND EROSION CONTROL SHALL BE CONSIDERED ABSOLUTE MINIMUMS. THE ULTIMATE RESPONSIBILITY TO ENSURE THAT THE MEASURES ARE ADEQUATE SHALL LIE SOLELY ON THE CONTRACTOR. ANY DAMAGE RESULTING FROM FAILURE OF THESE MEASURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 3. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
 4. ALL EROSION CONTROL MEASURES TO BE IN PLACE UNTIL RESTORATION IS COMPLETE.
 5. MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
 6. ALL COLLECTED SEDIMENT TO BE DISPOSED OF AT AN APPROVED LOCATION.
 7. MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
 8. ALL DEWATERING TO BE DISPOSED OF IN AN APPROVED SEDIMENTATION BASIN.
 9. PROTECT ALL PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270R OR APPROVED EQUIVALENT).
 10. PROTECT ALL CATCH BASINS AND CATCH BASIN MAINTENANCE HOLES FROM SEDIMENT INTRUSION WITH TERRAFIX GEOSYNTHETICS INC. HIGH-FLOW SILT/SOCKS. MAINTAIN CATCH BASINS AND CATCH BASIN MAINTENANCE HOLES IN WORKING ORDER. DO NOT ALLOW SILTATION AND SEDIMENTATION TO PREVENT WATER FLOW.
 11. KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
 12. PREVENT WIND-BLOWN DUST.

EROSION CONTROL PLAN LEGEND	
	PROPOSED ENTRANCE / EXIT
	PROPOSED CONCRETE 125mm CLASS C-2 CONCRETE 150mm GRANULAR 'A'
	PROPOSED LANDSCAPED AREA 100mm TOPSOIL & SOG
	PTD. WHEELCHAIR SIGN ON ASPHALT
	PROPOSED RETAINING WALL
	PROPOSED DROPPED CURB AS PER OPSD 600.110
	PROPOSED BARRIER CURB AS PER OPSD 600.110
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPERTY LINE
	PROPOSED LIGHT DUTY SILT FENCE AS PER OPSD 219.110
	PROPOSED GRADE
	CONTOUR ELEVATION
	OVERLAND FLOW (MAJOR)
	MATCH INTO EXISTING
	PROPOSED SWALE
	PROPOSED GRADE BREAK
	PROPOSED BERM

NO.	DATE	ISSUANCE
1	FEB 25/21	ISSUED FOR SPA SUBMISSION 1
0	FEB 19/21	ISSUED FOR CLIENT REVIEW

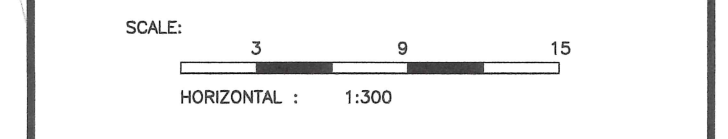
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BENCHMARKS
 SITE BENCHMARK #1
 ELEV: 212.69m
 EXISTING RIB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.
 SITE BENCHMARK #2
 ELEV: 212.60m
 SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAKE.

LEGAL DESCRIPTION
 ROLL NUMBER: 401011700
 TOWN / TOWNSHIP: SIMCOE
 MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
 LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 LO. PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 370821 PARTS 1 TO 4.

APPLICANT INFORMATION
 LEE GREENWOOD
 CANADIAN COMMERCIAL (SIMCOE) INC.
 (519) 281-7808
 484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

- DRAWING LIST**
- 20-084-C100 - SITE PLAN
 - 20-084-C101 - SITE SERVICING PLAN
 - 20-084-C102 - GRADING PLAN
 - 20-084-C103 - REMOVALS PLAN
 - 20-084-C104 - EROSION CONTROL PLAN
 - 20-084-C105 - SANITARY DRAINAGE AREAS PLAN
 - 20-084-C106 - STORM DRAINAGE AREAS PLAN
 - 20-084-C107 - GENERAL NOTES AND DETAILS PLAN
 - 20-084-C108 - GARBAGE ENCLOSURE DETAILS PLAN



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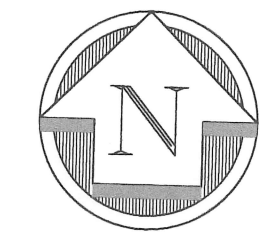
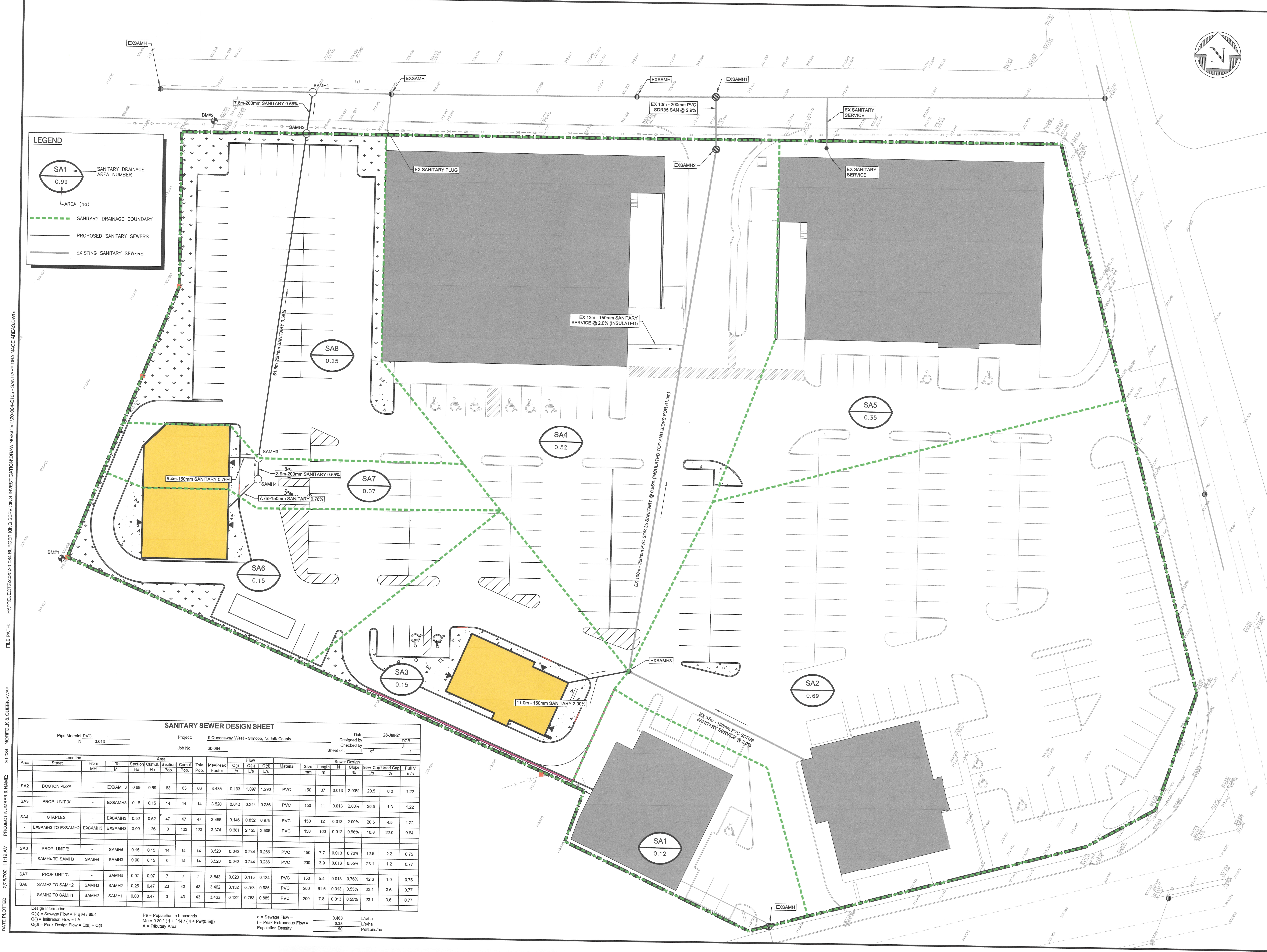
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vallee
 Consulting Engineers,
 Architects & Planners
 G. DOUGLAS VALLEE LIMITED
 2 TALBOT STREET NORTH
 SIMCOE ONTARIO N3Y 3W4
 (519) 426-6270

2021-02-25
 J. T. JEZZI
 10019485
 PROVINCE OF ONTARIO
 2021-02-26
 DONALD C. SEAN
 1002093
 PROVINCE OF ONTARIO

PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT
 SIMCOE - NORFOLK COUNTY
 9 QUEENSWAY WEST

CHECKED BY: JI	DRAWN BY: DCB
DRAWING SCALE: 1:300	DRAWING NO.:
PROJECT NO.:	C104



LEGEND

- SA1 - SANITARY DRAINAGE AREA NUMBER
- 0.99 - AREA (ha)
- SANITARY DRAINAGE BOUNDARY
- PROPOSED SANITARY SEWERS
- EXISTING SANITARY SEWERS

NO.	DATE	ISSUANCE
1	FEB 25/21	ISSUED FOR SPA SUBMISSION 1
0	FEB 19/21	ISSUED FOR CLIENT REVIEW
NO.	DATE	ISSUANCE

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ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS

BENCHMARKS

SITE BENCHMARK #1
ELEV: 212.69m
EXISTING RIB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.

SITE BENCHMARK #2
ELEV: 212.69m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION
ROLL NUMBER: 2010011770
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 L.O. PART OF LOTS 5 TO 7 PLAN 276 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 378821 PARTS 1 TO 6.

APPLICANT INFORMATION
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CANADIAN COMMERCIAL (SIMCOE) INC.
(519) 281-7808
484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

- DRAWING LIST**
- 20-084-C100 - SITE PLAN
 - 20-084-C101 - SITE SERVICING PLAN
 - 20-084-C102 - GRADING PLAN
 - 20-084-C103 - REMOVALS PLAN
 - 20-084-C104 - EROSION CONTROL PLAN
 - 20-084-C105 - SANITARY DRAINAGE AREAS PLAN
 - 20-084-C106 - STORM DRAINAGE AREAS PLAN
 - 20-084-C107 - GENERAL NOTES AND DETAILS PLAN
 - 20-084-C108 - GARBAGE ENCLOSURE DETAILS PLAN

SCALE: 3 9 15
HORIZONTAL: 1:300

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FOR CONSTRUCTION

G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

PROJECT TITLE:
NORFOLK & QUEENSWAY
SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

DRAWING TITLE:
SANITARY DRAINAGE AREAS PLAN

CHECKED BY: JI
DRAWING SCALE: 1:300
PROJECT NO.: 20-084

DRAWN BY: DCB
DRAWING NO.:
C105

SANITARY SEWER DESIGN SHEET

Pipe Material PVC
N 0.013

Project: 9 Queensway West - Simcoe, Norfolk County
Job No. 20-084
Date: 28-Jan-21
Designed by: DCB
Checked by: JI
Sheet of: 1 of 1

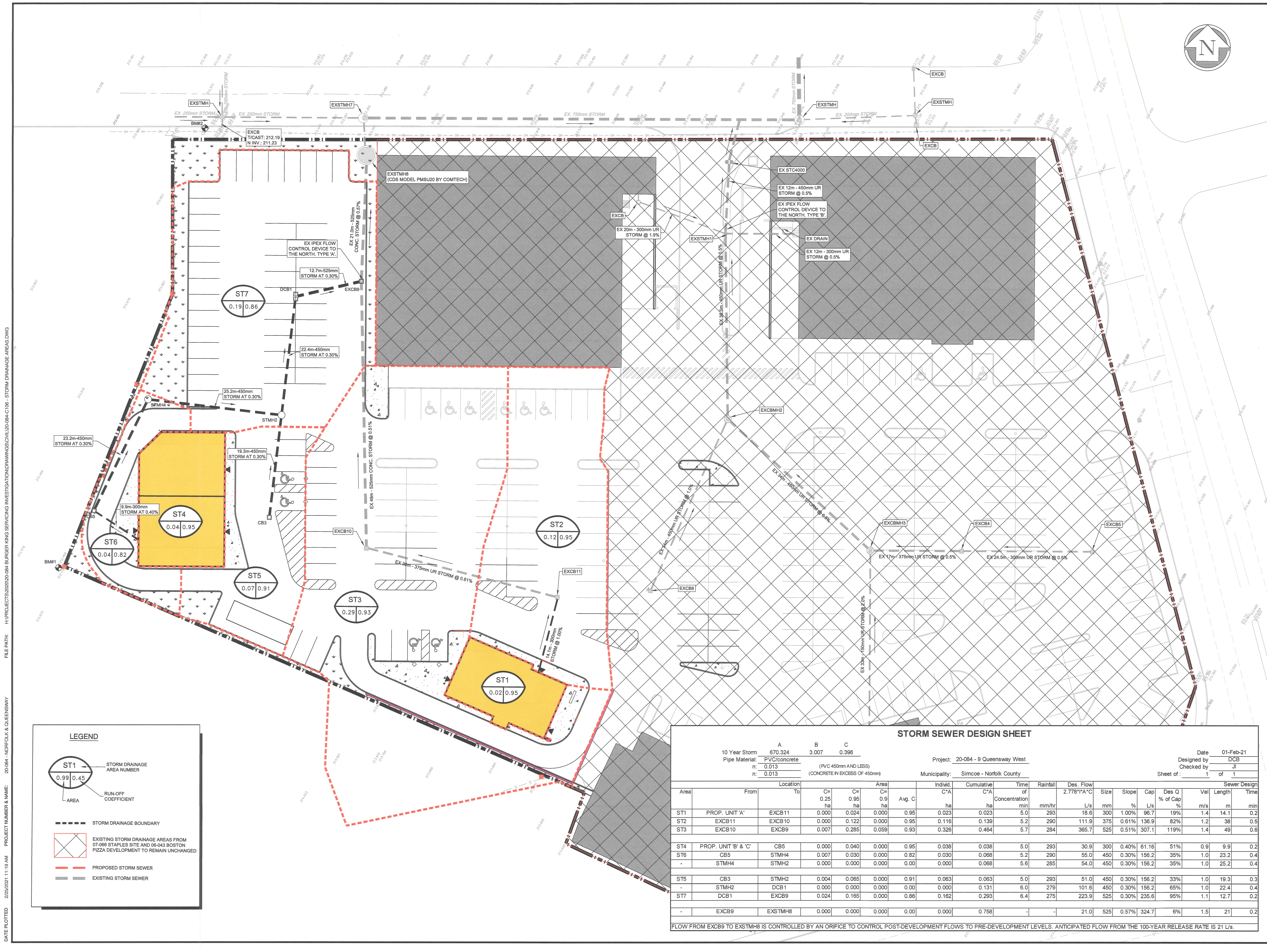
Area	Location	From MH	To MH	Section	Cumul. Ha	Total Pop.	Me=Peak Factor	Flow			Material	Size mm	Length m	Slope %	95% Cap Used Cap %	Full V m/s			
								Q(i) L/s	Q(s) L/s	Q(p) L/s									
SA2	BOSTON PIZZA	-	EXSAMH3	0.69	0.69	63	3.435	0.193	1.097	1.290	PVC	150	37	0.013	2.00%	20.5	6.0	1.22	
SA3	PROP. UNIT 'A'	-	EXSAMH3	0.15	0.15	14	3.520	0.042	0.244	0.286	PVC	150	11	0.013	2.00%	20.5	1.3	1.22	
SA4	STAPLES	-	EXSAMH3	0.52	0.52	47	3.456	0.146	0.832	0.976	PVC	150	12	0.013	2.00%	20.5	4.5	1.22	
-	EXSAMH3 TO EXSAMH2	EXSAMH3	EXSAMH2	0.00	1.36	0	123	3.374	0.381	2.125	2.506	PVC	150	100	0.013	0.56%	10.8	22.0	0.64
SA6	PROP. UNIT 'B'	-	SAMH4	0.15	0.15	14	3.520	0.042	0.244	0.286	PVC	150	7.7	0.013	0.76%	12.6	2.2	0.75	
-	SAMH4 TO SAMH3	SAMH4	SAMH3	0.00	0.15	0	14	3.520	0.042	0.244	0.286	PVC	200	3.9	0.013	0.55%	23.1	1.2	0.77
SA7	PROP. UNIT 'C'	-	SAMH3	0.07	0.07	7	3.543	0.020	0.115	0.134	PVC	150	5.4	0.013	0.76%	12.6	1.0	0.75	
SA8	SAMH3 TO SAMH2	SAMH3	SAMH2	0.25	0.47	23	3.462	0.132	0.753	0.885	PVC	200	61.5	0.013	0.55%	23.1	3.6	0.77	
-	SAMH2 TO SAMH1	SAMH2	SAMH1	0.00	0.47	0	43	3.462	0.132	0.753	0.885	PVC	200	7.8	0.013	0.55%	23.1	3.6	0.77

Design Information:
Q(i) = Sewage Flow = P q / 86.4
Q(s) = Infiltration Flow = I A
Q(p) = Peak Design Flow = Q(s) + Q(i)

Pe = Population in thousands
Me = 0.80 * (1 + 1/4 * Pe^0.5)

q = Sewage Flow = 0.463 L/s/ha
I = Peak Extraneous Flow = 0.26 L/s/ha
Population Density = 90 Persons/ha

DATE PLOTTED: 2/25/2021 11:19 AM PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY FILE PATH: H:\PROJECTS\2020\20-084 BURGER KING SERVICING INVESTIGATION\DRAWINGS\CIVIL\20-084-C105 - SANITARY DRAINAGE AREAS.DWG



NO.	DATE	ISSUANCE
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ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS

BENCHMARKS
SITE BENCHMARK #1
ELEV: 212.69m
EXISTING RB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.

SITE BENCHMARK #2
ELEV: 212.69m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION
ROLL NUMBER: 4010111700
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 LO. PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 378621 PARTS 1 TO 6.

APPLICANT INFORMATION
LEE GREENWOOD
CANADIAN COMMERCIAL (SIMCOE) INC.
(519) 281-7808
484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

- DRAWING LIST**
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 - 20-084-C106 - STORM DRAINAGE AREAS PLAN
 - 20-084-C107 - GENERAL NOTES AND DETAILS PLAN
 - 20-084-C108 - GARBAGE ENCLOSURE DETAILS PLAN

SCALE:
HORIZONTAL : 1:300

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vallee
Consulting Engineers, Architects & Planners

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SIMCOE ONTARIO N3Y 3W4
(519) 426-6270

2021-02-25
J. T. JEZZI
100189485
PROFESOR OF ONTARIO

2021-02-26
DONALD C. BEAN
100189485
PROFESOR OF ONTARIO

PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

DRAWING TITLE:
STORM DRAINAGE AREAS PLAN

CHECKED BY: JI
DRAWING SCALE: 1:300
PROJECT NO.: 20-084

DRAWN BY: DCB
DRAWING NO.: C106

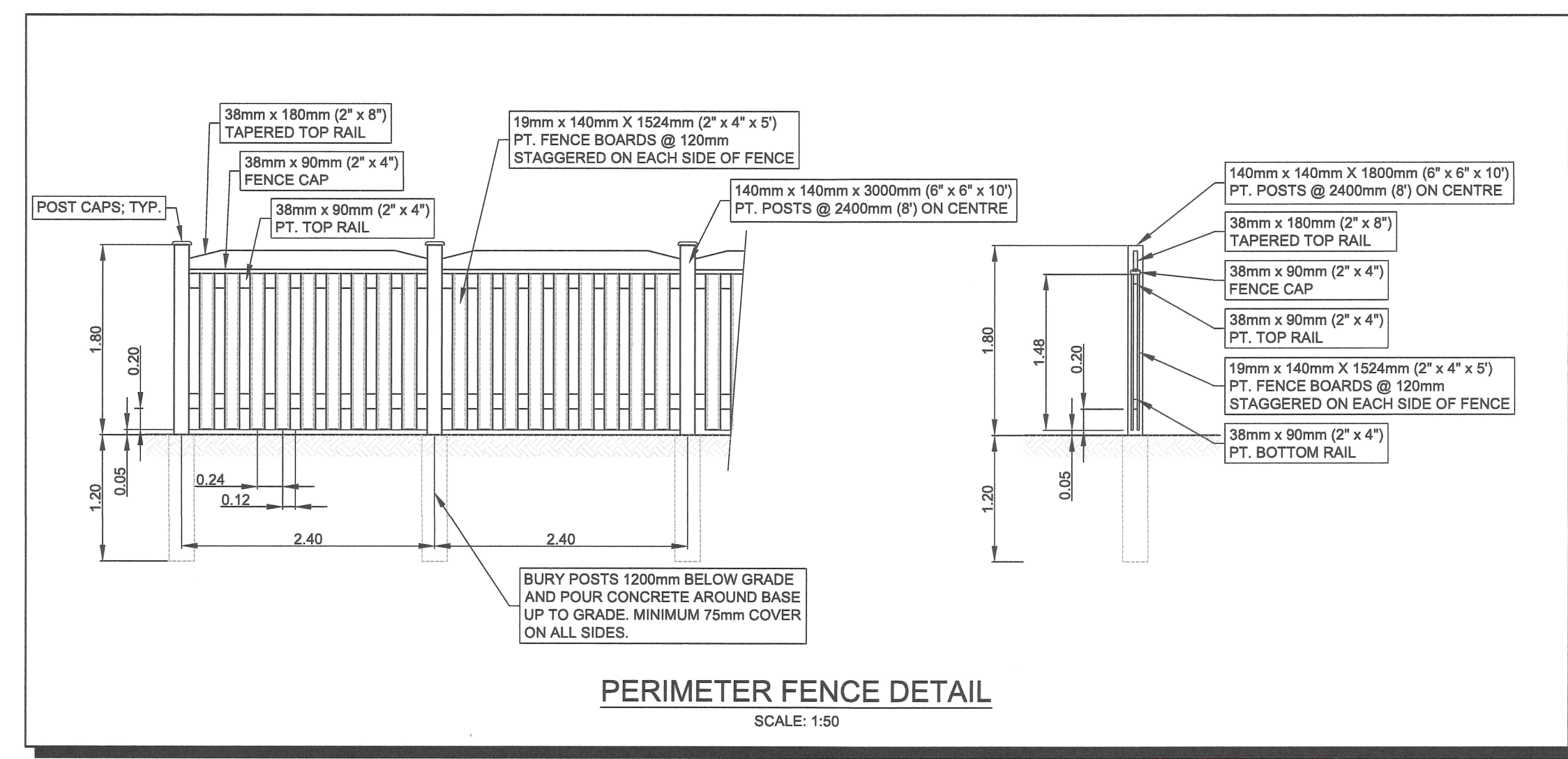
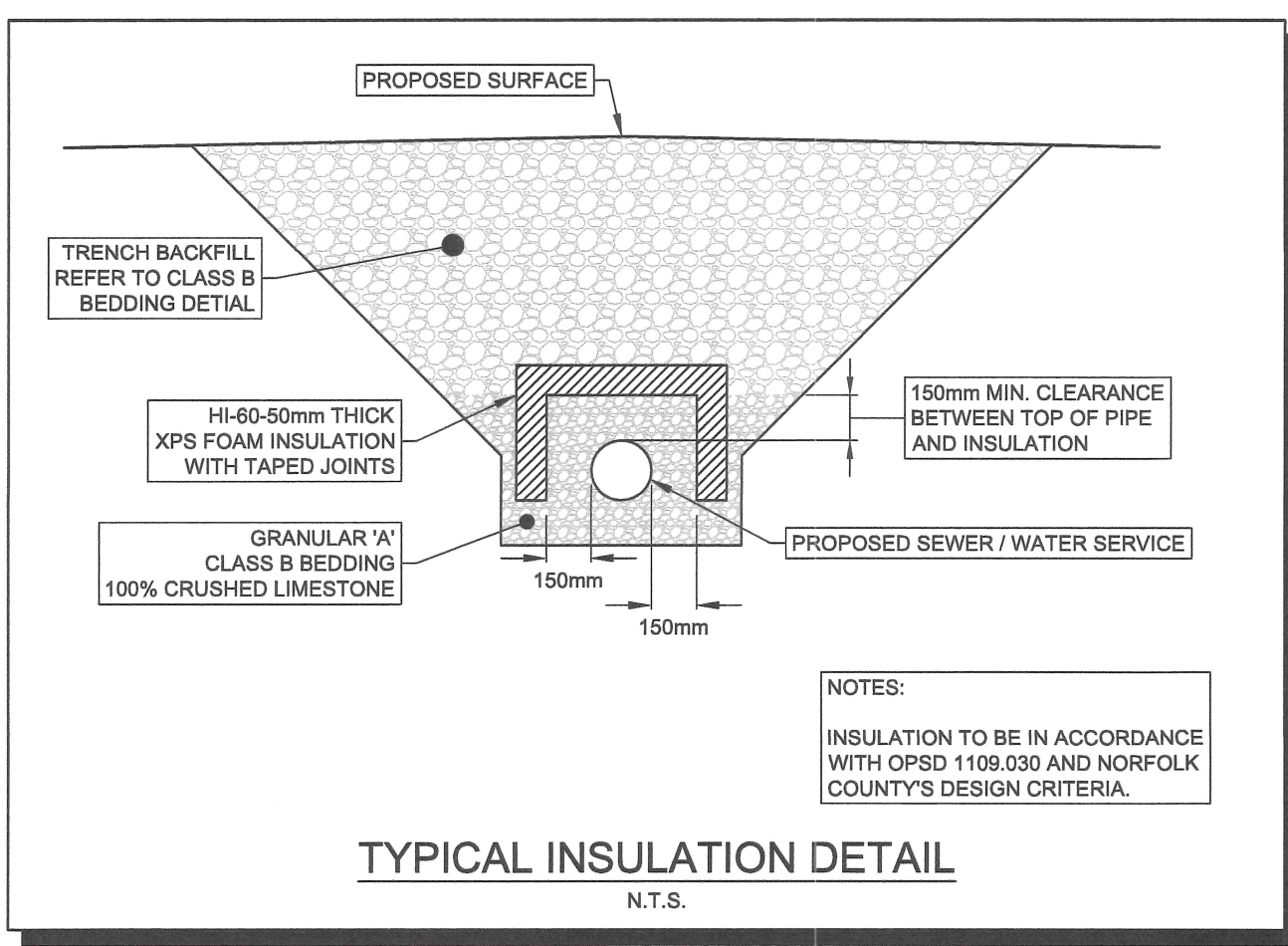
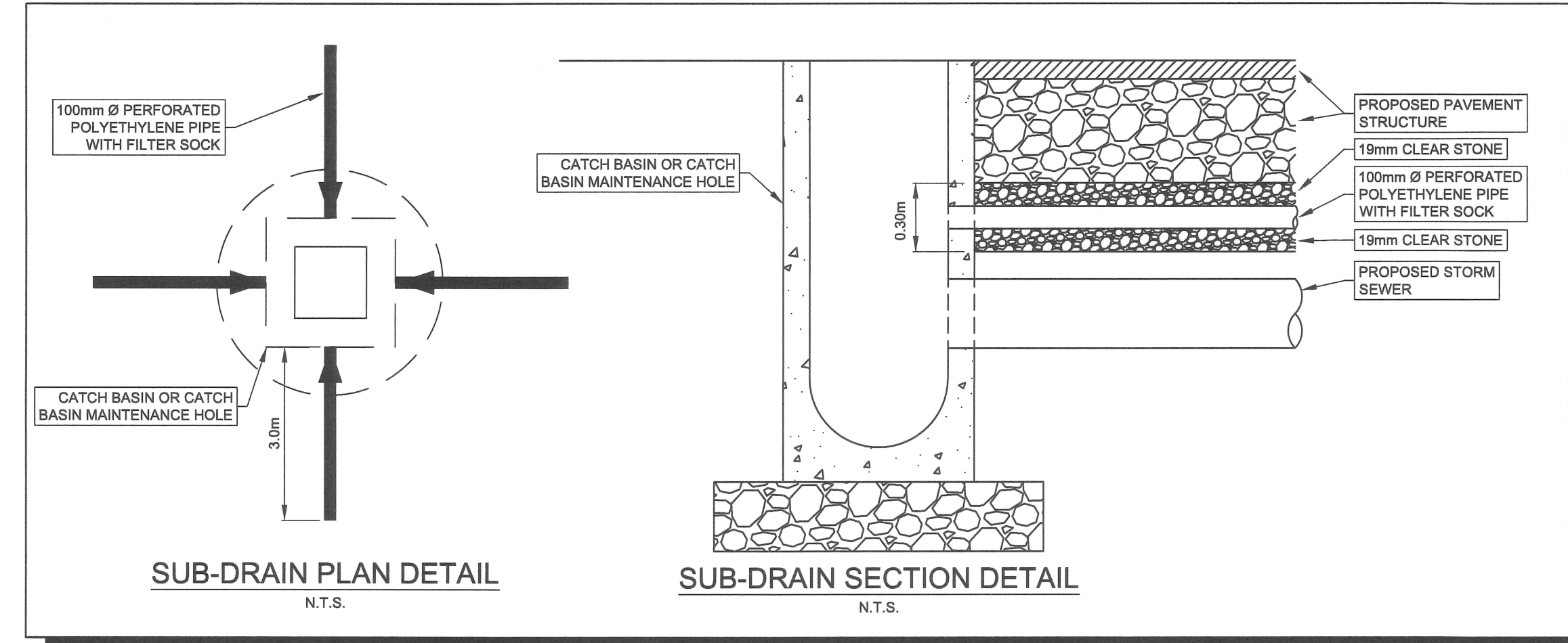
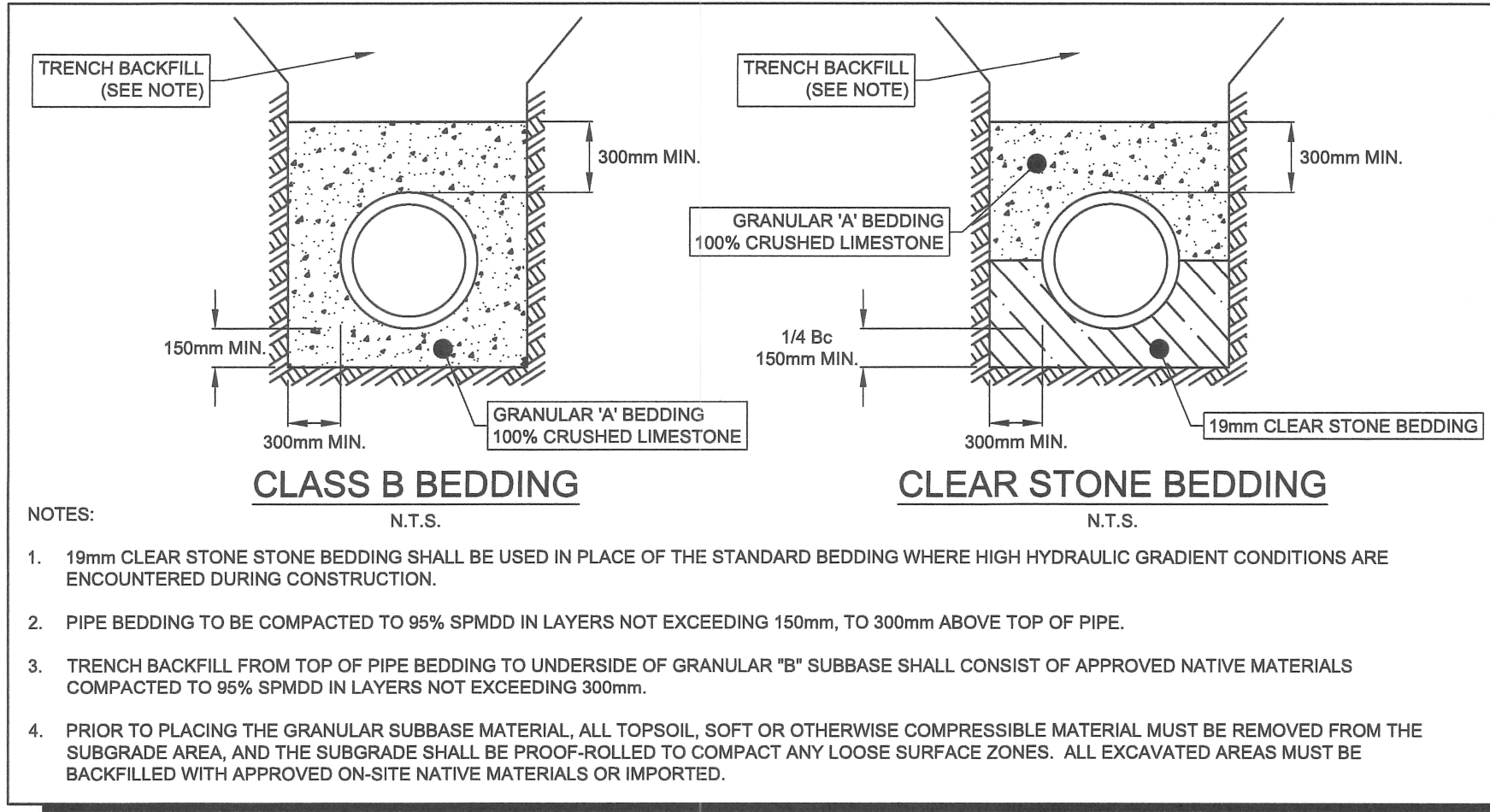
STORM SEWER DESIGN SHEET

10 Year Storm	A	B	C											
Pipe Material:	PVC/concrete	(PVC 450mm AND LESS)	(CONCRETE IN EXCESS OF 450mm)	Project:	20-084 - 9 Queensway West									
n:	0.013			Municipality:	Simcoe - Norfolk County									
n:	0.013			Date	01-Feb-21									
				Designed by	DCB									
				Checked by	JI									
				Sheet of	1 of 1									

Area	From	Location	To	C=	C=	Area	Indvd.	Cumulative	Time of Concentration	Rainfall	Des. Flow	Sewer Design						
												Size	Slope	Cap	Des Q	Vel	Length	Time
				ha	ha	ha	ha	ha	min	mm/hr	L/s	mm	%	L/s	% of Cap	m/s	m	min
ST1	PROP. UNIT 'A'	EXCB11	EXCB10	0.000	0.024	0.000	0.95	0.023	5.0	293	18.6	300	1.00%	96.7	19%	1.4	14.1	0.2
ST2	EXCB11	EXCB10	EXCB9	0.000	0.122	0.000	0.95	0.116	0.139	5.2	290	375	0.61%	136.9	82%	1.2	38	0.5
ST3	EXCB10	EXCB9	EXCB8	0.007	0.285	0.059	0.93	0.328	0.464	5.7	284	365.7	0.51%	307.1	119%	1.4	49	0.6
ST4	PROP. UNIT 'B' & 'C'	CB5	CB5	0.000	0.040	0.000	0.95	0.038	0.038	5.0	293	30.9	0.40%	61.16	51%	0.9	9.9	0.2
ST6	CB5	STMH4	STMH2	0.007	0.030	0.000	0.82	0.030	0.068	5.2	290	55.0	0.30%	156.2	35%	1.0	23.2	0.4
-	STMH4	STMH2	STMH2	0.000	0.000	0.000	0.00	0.000	0.068	5.6	285	54.0	0.30%	156.2	35%	1.0	25.2	0.4
ST5	CB3	STMH2	STMH2	0.004	0.065	0.000	0.91	0.063	0.063	5.0	293	51.0	0.30%	156.2	33%	1.0	19.3	0.3
-	STMH2	DCB1	DCB1	0.000	0.000	0.000	0.00	0.000	0.131	6.0	279	101.6	0.30%	156.2	65%	1.0	22.4	0.4
ST7	DCB1	EXCB9	EXCB9	0.024	0.165	0.000	0.86	0.162	0.293	6.4	275	223.9	0.30%	235.6	95%	1.1	12.7	0.2
-	EXCB9	EXSTMH8	EXSTMH8	0.000	0.000	0.000	0.00	0.000	0.758	-	-	21.0	0.57%	324.7	6%	1.5	21	0.2

FLOW FROM EXCB9 TO EXSTMH8 IS CONTROLLED BY AN ORIFICE TO CONTROL POST-DEVELOPMENT FLOWS TO PRE-DEVELOPMENT LEVELS. ANTICIPATED FLOW FROM THE 100-YEAR RELEASE RATE IS 21 L/s.

DATE PLOTTED: 2/25/2021 11:19 AM
PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY
FILE PATH: H:\PROJECTS\2020\20-084 BURGER KING SERVICING INVESTIGATION\DRAWINGS\CIVIL\20-084-C106 - STORM DRAINAGE AREAS.DWG



- ROAD & BOULEVARD RESTORATION NOTES:**
- ALL DISTURBED AREAS SHALL BE RESTORED AS FOLLOWS:
50mm HL8 SURFACE ASPHALT (97% MARSHALL)
50mm HL8 BASE ASPHALT (97% MARSHALL)
150mm GRANULAR 'A' 100% CRUSHED LIMESTONE BASE (100% SPMD)
300mm GRANULAR 'B' TYPE 2 100% CRUSHED LIMESTONE SUBBASE (100% SPMD)
 - GRANULAR 'B' TO BE EXTENDED 0.3m BEHIND BACK OF CURB.
 - BOULEVARDS SHALL BE RESTORED WITH SEED ON A MINIMUM OF 100mm TOPSOIL UNLESS OTHERWISE NOTED.
 - ASPHALT DRIVEWAYS SHALL BE RESTORED WITH 150mm OF GRANULAR 'A' 100% CRUSHED LIMESTONE (100% SPMD) WITH 50mm OF HL3A ASPHALT (97% MARSHALL).
 - GRAVEL DRIVEWAYS SHALL BE RESTORED WITH 150mm OF GRANULAR 'A' 100% CRUSHED LIMESTONE (100% SPMD).
 - CONCRETE DRIVEWAYS SHALL BE RESTORED WITH 150mm OF GRANULAR 'A' 100% CRUSHED LIMESTONE (100% SPMD) WITH 150mm OF CONCRETE (OPSS MIX. 30 MPa MINIMUM).

NO.	DATE	ISSUANCE
1	FEB 25/21	ISSUED FOR SPA SUBMISSION 1
0	FEB 19/21	ISSUED FOR CLIENT REVIEW

NOTE:
THE CONTRACTOR IS CAUTIONED THAT ALL OF THE EXISTING UTILITIES ARE NOT INDICATED ON THIS DRAWING. THE CONTRACTOR MUST ARRANGE FOR LOCATES FROM EACH AREA UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES INCLUDING THOSE NOT INDICATED ON THIS DRAWING. G. DOUGLAS VALLEE LTD. CAN NOT ACCEPT RESPONSIBILITY FOR DAMAGE TO ANY EXISTING UTILITY WHICH MAY OR MAY NOT BE INDICATED ON THIS DRAWING.

ALL WORK, MATERIALS AND PROCESSES TO ABIDE TO NORFOLK COUNTY STANDARDS AND SPECIFICATIONS

BENCHMARKS

SITE BENCHMARK #1
ELEV: 212.89m
EXISTING RIB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.

SITE BENCHMARK #2
ELEV: 212.89m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF RIVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION

ROLL NUMBER: 401011710
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 L.O. PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 376929 PARTS 1 TO 6.

APPLICANT INFORMATION

LEE GREENWOOD
CANADIAN COMMERCIAL (SIMCOE) INC.
(519) 281-7808
484 WATERLOO STREET, LONDON, ONTARIO N6B 2P6

- DRAWING LIST**
- 20-084-C100 - SITE PLAN
 - 20-084-C101 - SITE SERVICING PLAN
 - 20-084-C102 - GRADING PLAN
 - 20-084-C103 - REMOVALS PLAN
 - 20-084-C104 - EROSION CONTROL PLAN
 - 20-084-C105 - SANITARY DRAINAGE AREAS PLAN
 - 20-084-C106 - STORM DRAINAGE AREAS PLAN
 - 20-084-C107 - GENERAL NOTES AND DETAILS PLAN
 - 20-084-C108 - GARBAGE ENCLOSURE DETAILS PLAN

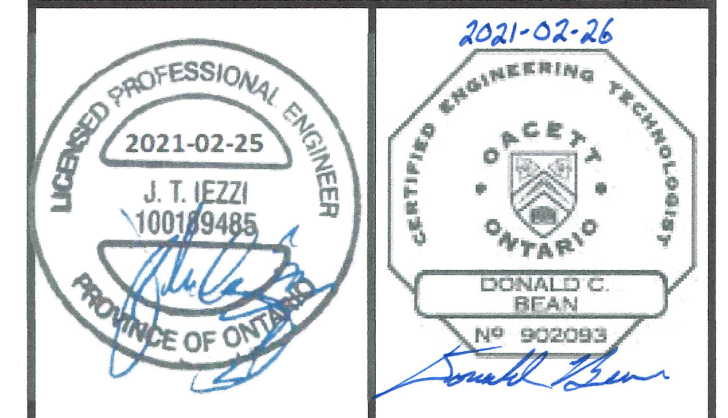
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Consulting Engineers, Architects & Planners

G. DOUGLAS VALLEE LIMITED
2 TALBOT STREET NORTH
SIMCOE ONTARIO N3Y 3W4
(519) 426-6270



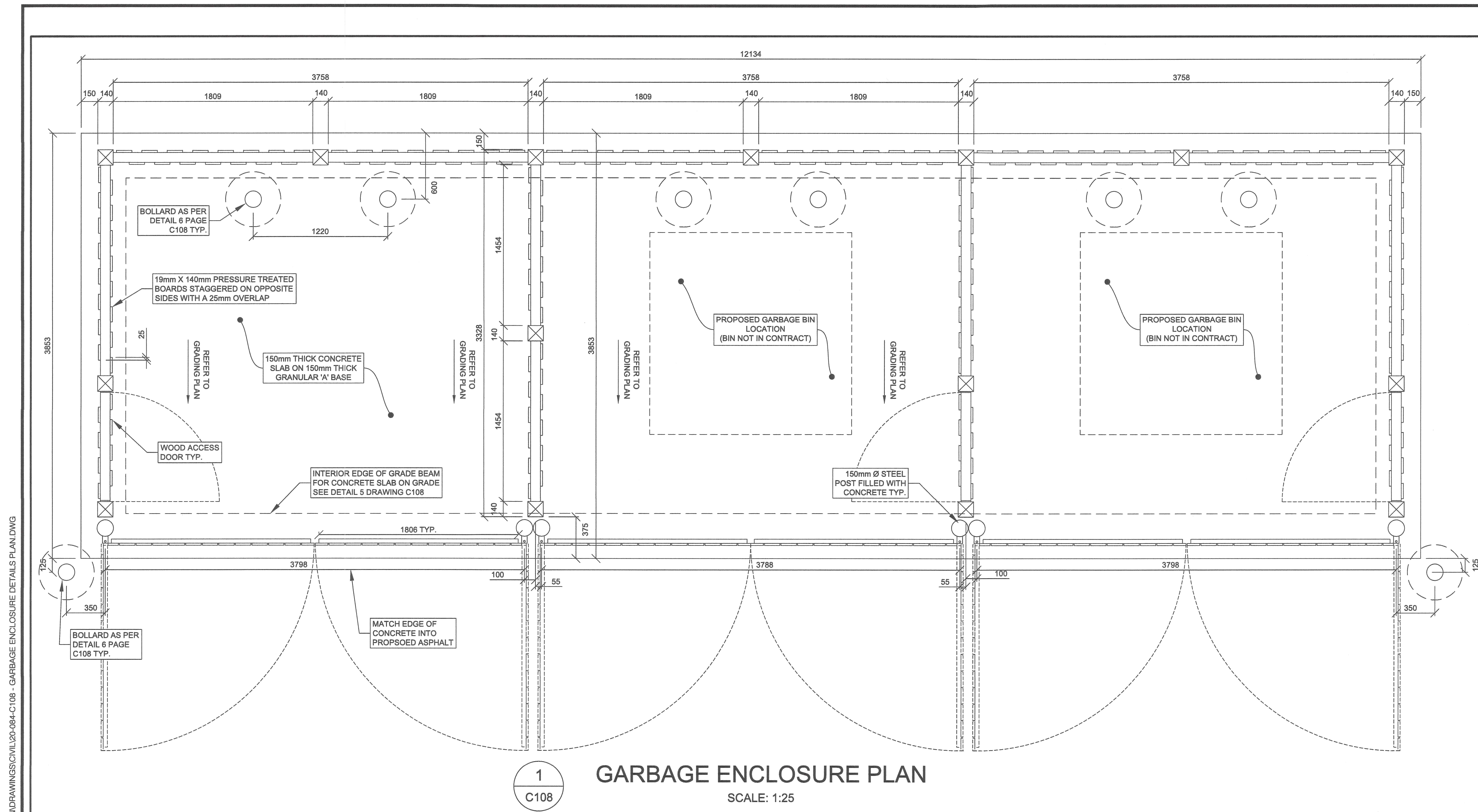
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NORFOLK & QUEENSWAY SITE DEVELOPMENT

SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

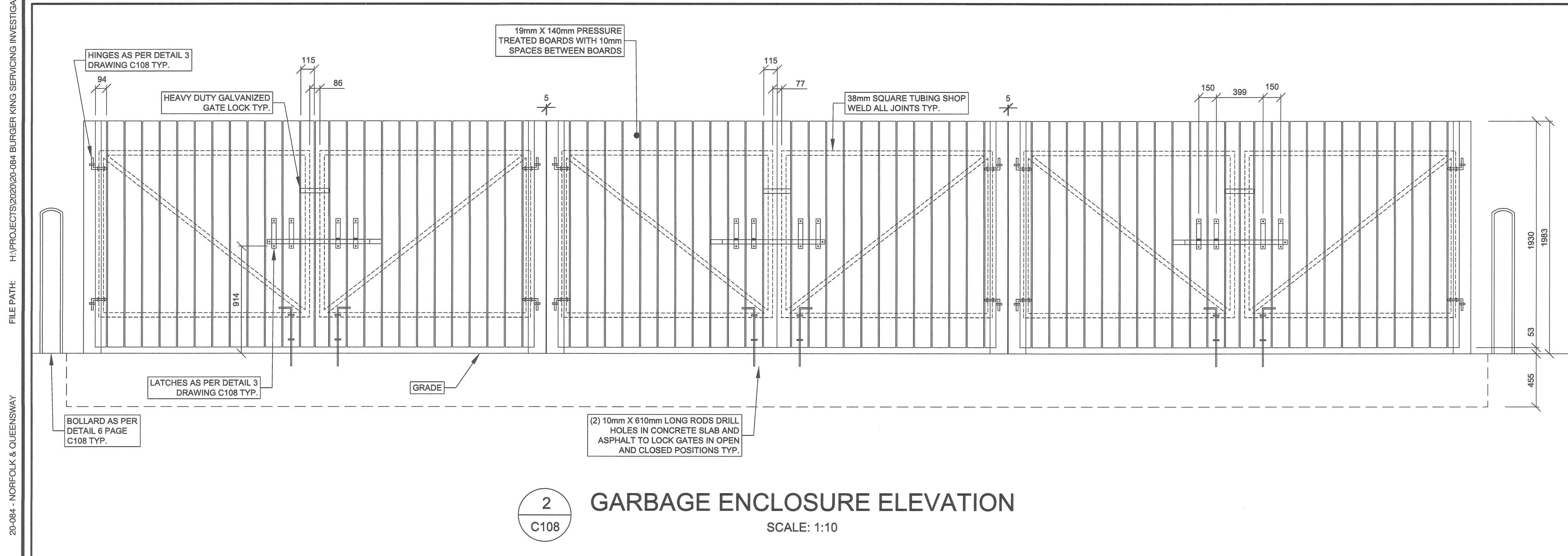
DRAWING TITLE:
GENERAL NOTES AND DETAILS PLAN

CHECKED BY: JI	DRAWN BY: DCB
DRAWING SCALE: SEE DETAILS	DRAWING NO.:
PROJECT NO.: 20-084	C107

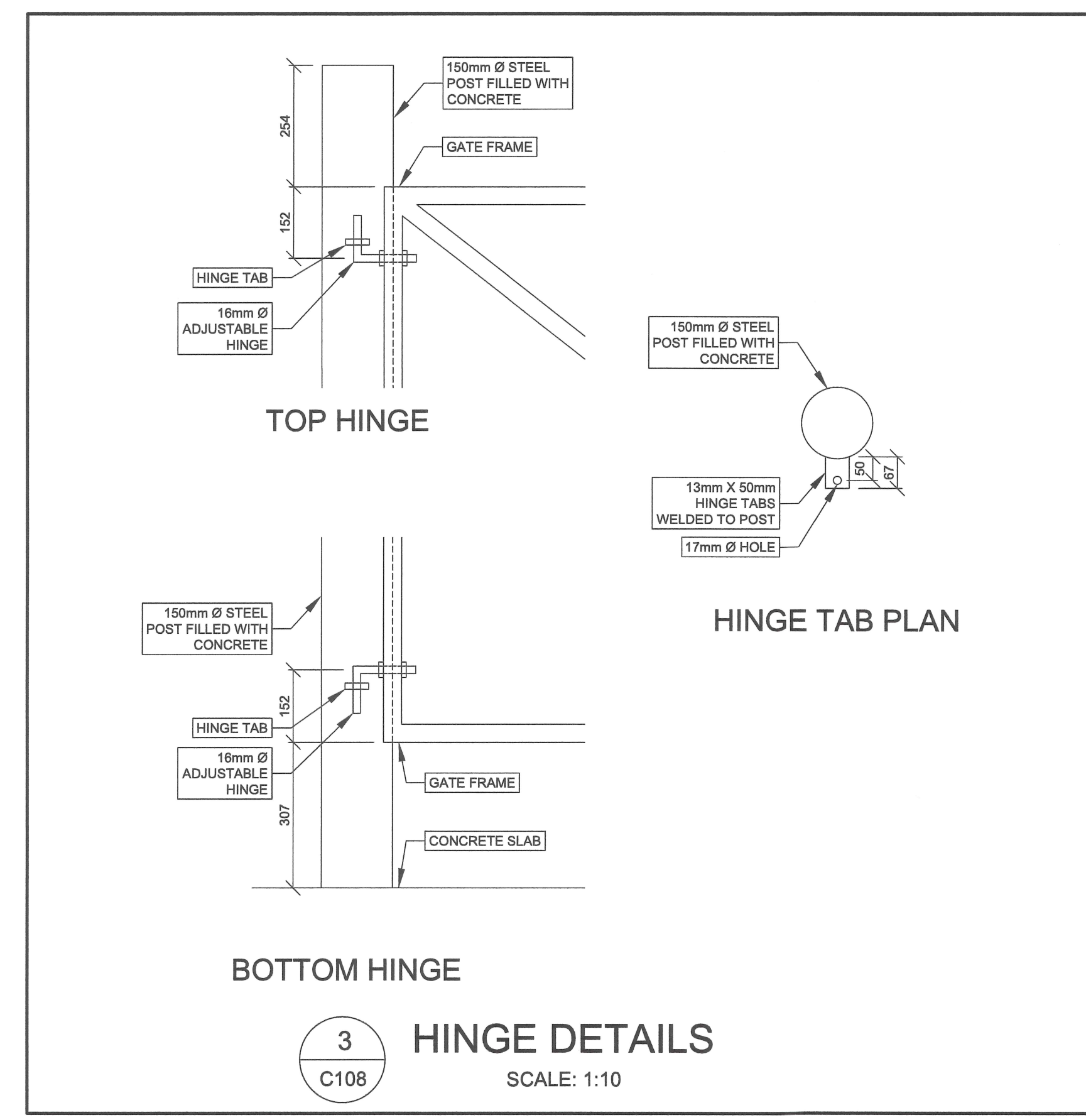
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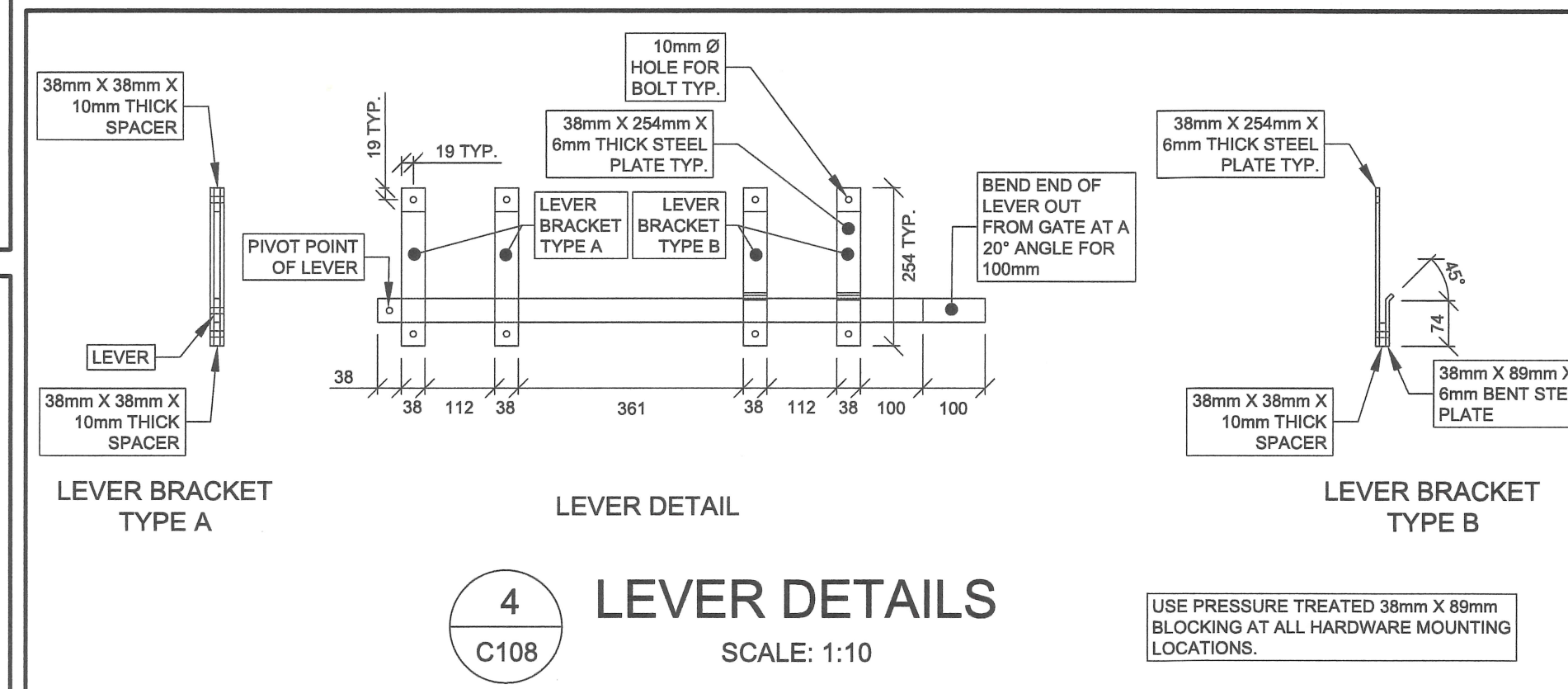
1 GARBAGE ENCLOSURE PLAN
SCALE: 1:25



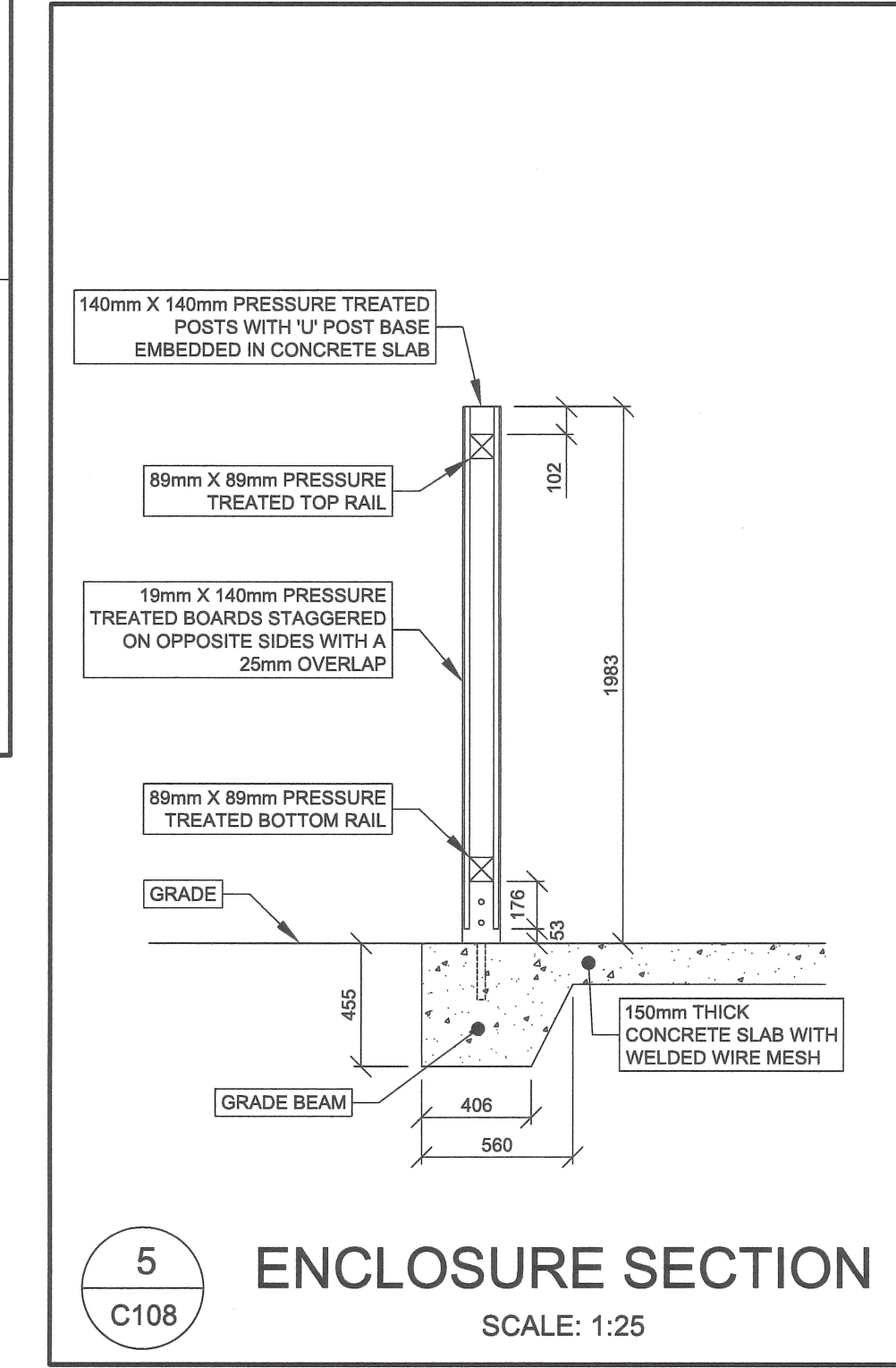
2 GARBAGE ENCLOSURE ELEVATION
SCALE: 1:10



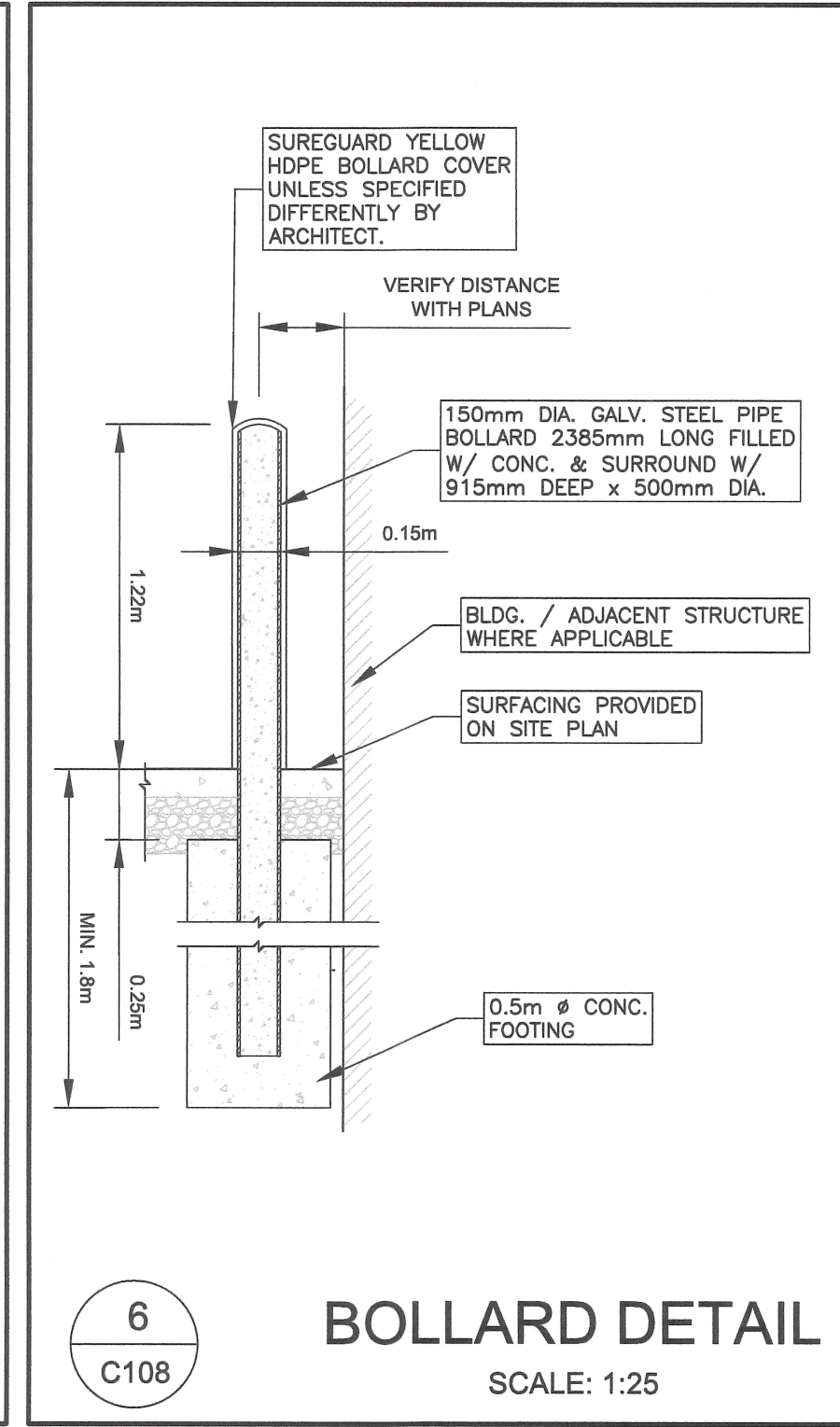
3 HINGE DETAILS
SCALE: 1:10



4 LEVER DETAILS
SCALE: 1:10



5 ENCLOSURE SECTION
SCALE: 1:25



6 BOLLARD DETAIL
SCALE: 1:25

NO.	DATE	ISSUANCE
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0	FEB 19/21	ISSUED FOR CLIENT REVIEW
NO.	DATE	ISSUANCE

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BENCHMARKS
SITE BENCHMARK #1
ELEV: 212.69m
EXISTING RB LOCATED AT WEST CORNER OF THE SUBJECT LANDS NEXT TO THE EXISTING CHAINLINK FENCE POST.
SITE BENCHMARK #2
ELEV: 212.69m
SET OF NAILS IN HYDRO POLE LOCATED ON SOUTH SIDE OF REVERSIDE ROAD ON THE NORTH SIDE OF THE SUBJECT LANDS, WEST OF STAPLES.

LEGAL DESCRIPTION
ROLL NUMBER: 4010111700
TOWN / TOWNSHIP: SIMCOE
MUNICIPAL ADDRESS: 9 QUEENSWAY WEST, SIMCOE, ONTARIO
LEGAL DESCRIPTION: PLAN 182 BLOCK 19 LOTS 1 AND 28, LOTS 1 TO 4 AND LANE BLOCK 21 L.O. PART OF LOTS 5 TO 7 PLAN 275 PART BLOCK, PLAN 279 LOTS 2 AND 3 PART OF LOT 5, RP 376821 PARTS 1 TO 4.

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SCALE:
HORIZONTAL : 1:10
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(519) 426-6270

2021-02-25
2021-02-26

PROJECT TITLE:
NORFOLK & QUEENSWAY SITE DEVELOPMENT
SIMCOE - NORFOLK COUNTY
9 QUEENSWAY WEST

DRAWING TITLE:
GARBAGE ENCLOSURE DETAILS PLAN

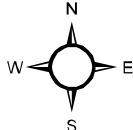
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DRAWING SCALE: AS NOTED	DRAWING NO.:
PROJECT NO.:	C108

PROJECT NUMBER & NAME: 20-084 - NORFOLK & QUEENSWAY
 FILE PATH: H:\PROJECTS\2020\20-084 BURGER KING SERVICING INVESTIGATION\DRAWINGS\CIVIL\20-084-C108 - GARBAGE ENCLOSURE DETAILS PLAN.DWG
 DATE PLOTTED: 2/25/2021 11:19 AM

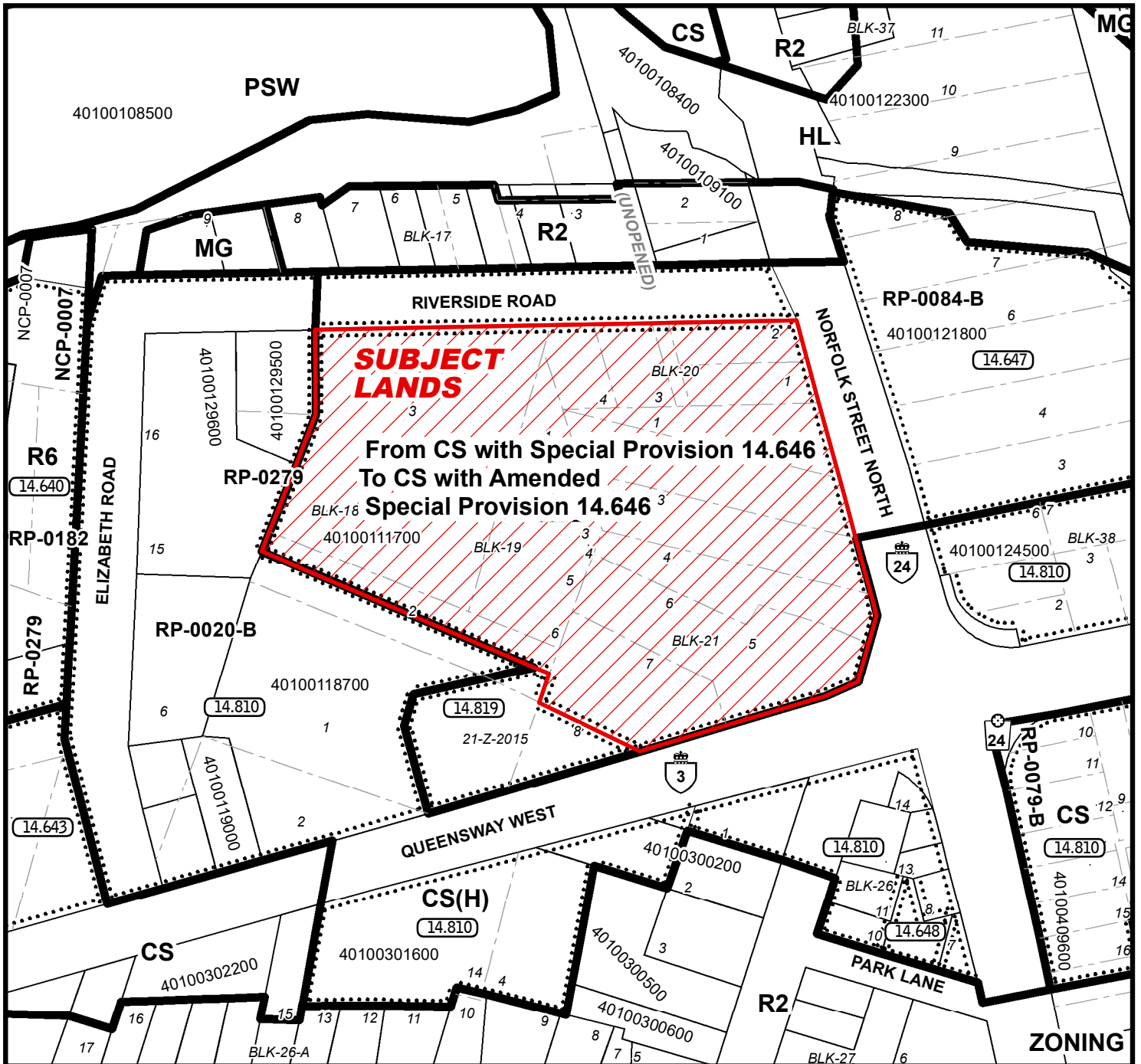
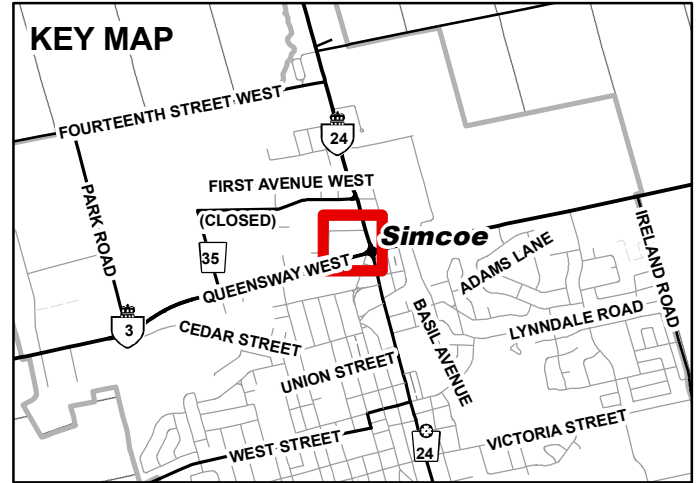
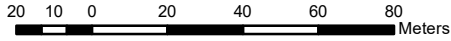
MAP 1

File Number: OPNPL2021103,
ZNPL2021104 &
SPPL2021228

Urban Area of
SIMCOE



1:2,000



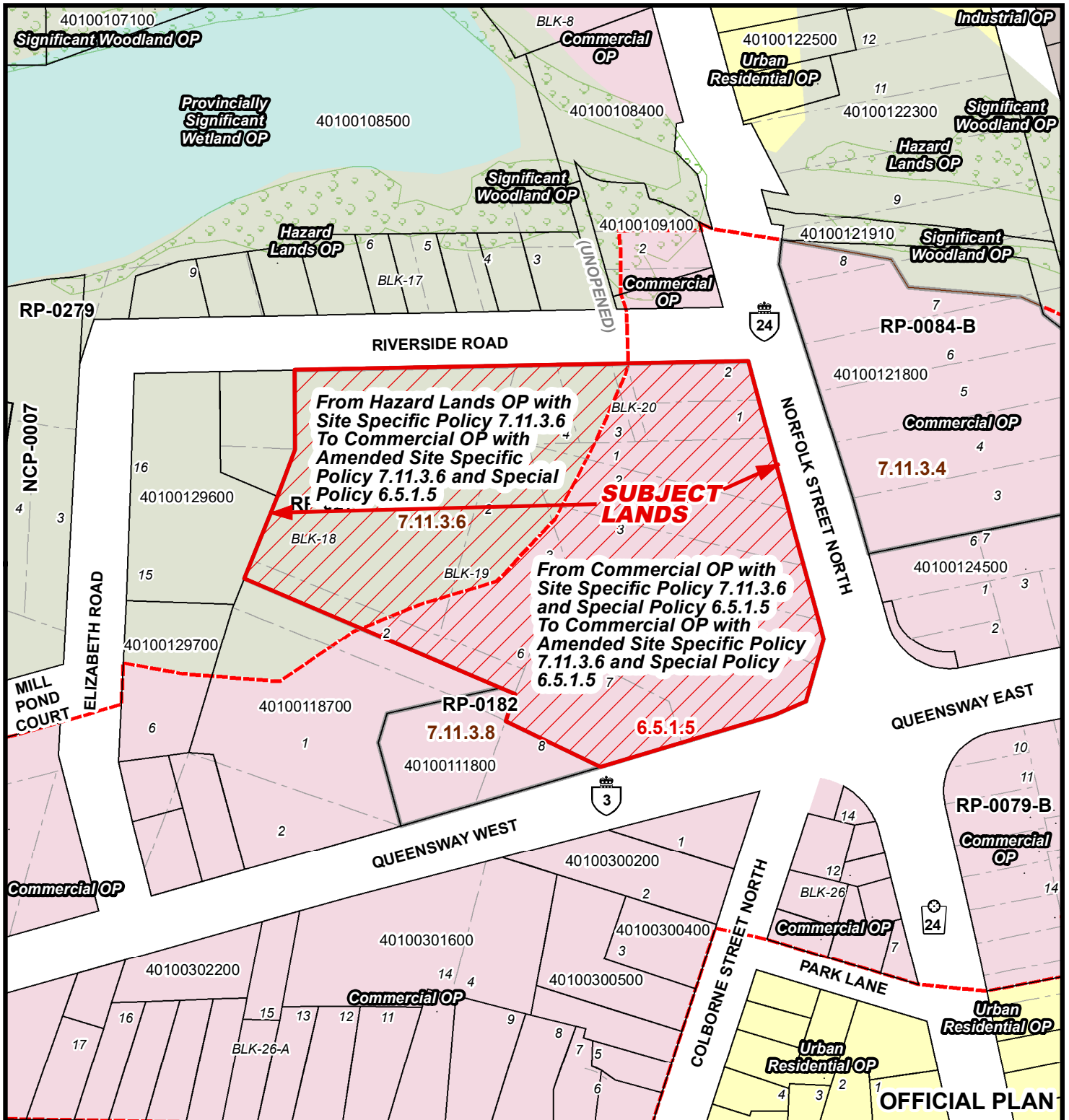
MAP 2

File Number: OPNPL2021103, ZNPL2021104 & SPPL2021228
Urban Area of SIMCOE



10 5 0 10 20 30 40 Meters

1:2,000



MAP 3

File Number: OPNPL2021103, ZNPL2021104 & SPPL2021228

Urban Area of SIMCOE



6 3 0 6 12 18 24 Meters

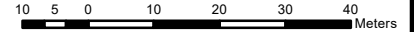
1:1,500



MAP 4

File Number: OPNPL2021103, ZNPL2021104 & SPPL2021228

Urban Area of SIMCOE



1:1,150

