

For Office Use Only:

File Number	<u>PLPL2020052</u>	SPRT Meeting	_____
Related File Number	<u>SPPL2018250</u>	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	<u>Feb 18, 2020 (Received)</u>	OSSD Form Provided	_____
Complete Application	_____	Planner	<u>Fabian Serra</u>
Public Notice Sign	_____		

Check the type of planning application(s) you are submitting.

- Official Plan Amendment
- Zoning By-Law Amendment
- Draft Plan of Subdivision/Vacant Land Condominium
- Condominium Exemption
- Site Plan Application
- Consent/Severance
- Minor Variance
- Extension of a Temporary Use By-law
- Part Lot Control
- Cash-in-Lieu of Parking
- Renewable Energy Project or Radio Communication Tower

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner Mayberry Homes

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 32 Dunsdon Street

Town and Postal Code Brantford, Ontario, N3R 3J3

Phone Number 519 753 2656

Cell Number _____

Email Mike Quattrociocchi - mquattrociocchi@rogers.com

Name of Agent	J H Cohoon Engineering Limited
Address	440 Hardy Road, Unit 1
Town and Postal Code	Brantford
Phone Number	519 753 2656
Cell Number	
Email	rphillips@cohooneng.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

Owner Agent

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):
Part of Blocks 1, 2, and 3 Registered Plan 37M-71

Municipal Civic Address: _____

Present Official Plan Designation(s): Urban Residential

Present Zoning: R4

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. The date the subject lands was acquired by the current owner: Unknown
4. Present use of the subject lands:

Street Townhouses under construction

5. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Refer to Attached Site Plan as approved by Norfolk County

6. If known, the date existing buildings or structures were constructed on the subject lands: Under Construction

7. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

8. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Refer to attached site plan as approved by Norfolk County

9. If known, the date the proposed buildings or structures will be constructed on the subject lands:

N/A

10. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

11. If known, the length of time the existing uses have continued on the subject lands:

Approximately 1 year

12. Existing use of abutting properties:

Residential

13. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:
Access and Stormwater easements

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

This application to create individual lots / townhouses for sale

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

N/A

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? Yes No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? Yes No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan? Yes No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: Block 1 49.09m Block 2 38.73m Block 3 34.62m
Depth: Varies
Width: Varies
Lot Area: Block 1 Block 2 Block 3
Present Use: Residential Townhouse - Under Construction
Proposed Use: Unchanged - Residential Townhouses
Proposed final lot size (if boundary adjustment): N/A

Description of land intended to be retained in metric units:

Frontage: N/A
Depth: N/A
Width: N/A
Lot Area: N/A
Present Use: N/A
Proposed Use: N/A

7. Description of proposed right-of-way/easement:

Frontage: N/A
Depth: N/A
Width: N/A
Area: N/A
Proposed use: N/A
N/A

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

Unknown

9. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	As above	Refer to plan prepared
Lot depth		by West & Ruuska Ltd.
Lot width		being Reference Plan 37R-11264
Lot area		
Lot coverage		
Front yard		
Rear yard		
Left Interior side yard		
Right Interior side yard		
Exterior side yard (corner lot)		
Landscaped open space		
Entrance access width		
Exit access width		
Size of fencing or screening		
Type of fencing		

10. Building Size

Number of storeys	Two Stories	
Building height	3.7m +/- Eave	
Total ground floor area	See plans	
Total gross floor area	See plans	
Total useable floor area	See plans	

11. Off Street Parking and Loading Facilities

Number of off street parking spaces		
Number of visitor parking spaces		
Number of accessible parking spaces		
Number of off street loading facilities		

12. Multiple Family Residential (if applicable)

Number of buildings existing:	Under construction
-------------------------------	--------------------

Number of buildings proposed: Under construction

Is this a conversion or addition to an existing building? Yes No

If yes, describe: _____

Type

Number of Units

Floor Area per Unit in m²

Bachelor	<u>See Plans</u>	_____
One bedroom	_____	_____
Two bedroom	_____	_____
Three bedroom	_____	_____
Townhouse	_____	_____

Other facilities provided (e.g. play facilities, underground parking, games room, swimming pool etc.):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: N/A

Number of buildings proposed: N/A

Is this a conversion or addition to an existing building? Yes No

If yes, describe:

Indicate the gross floor area by the type of use (e.g. office, retail, storage, etc.):

Seating Capacity (for assembly halls, etc.): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: Yes No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

Yes No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (e.g. office, retail, storage, etc.):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Has the grading of the subject lands been changed through excavation or the addition of earth or other material? Yes No Unknown
3. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

4. Provide the information you used to determine the answers to the above questions:
Personal Knowledge

5. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
 - Communal wells
 - Individual wells
 - Other (describe below)
-

Sewage Treatment

- Municipal sewers
 - Communal system
 - Septic tank and tile bed
 - Other (describe below)
-

Storm Drainage

- Storm sewers
 - Open ditches
 - Other (describe below)
-

2. Have you consulted with Public Works & Environmental Services concerning storm water management?

- Yes No

3. Has the existing drainage on the subject lands been altered?

- Yes No

4. Does a legal and adequate outlet for storm drainage exist?

- Yes No

5. How many water meters are required? 14 water meters

6. Existing or proposed access to subject lands:

Municipal road

Provincial highway

Unopened road

Other (describe below)

Name of road/street:

Windham Street

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Existing and proposed easements and right of ways
11. Zoning compliance table – required versus proposed
12. Parking space totals – required and proposed
13. Loading spaces, facilities and routes
14. All dimensions of the subject lands
15. Dimensions and setbacks of all buildings and structures
16. Gross, ground and useable floor area
17. Lot coverage
18. Floor area ratio
19. Building entrances and grades
20. Names of adjacent streets
21. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
22. Fire access and routes
23. Location, dimensions and number of parking spaces (including visitor and accessible) and aisles
24. Location of mechanical room
25. Refuse disposal and storage areas including any related screening
26. Winter snow storage location
27. Landscape areas with dimensions
28. Natural features, watercourses and trees
29. Fire hydrants and utilities location
30. Fencing, screening and buffering – size, type and location
31. All hard surface materials
32. Light standards and wall mounted lights

33. Signs
34. Sidewalks and walkways with dimensions
35. Pedestrian access routes into site and around site
36. Bicycle parking
37. Professional engineer's stamp

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form
- Architectural Plan
- Buildings Elevation Plan
- Cut and Fill Plan
- Erosion and Sediment Control Plan
- Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- Landscape Plan
- Photometric (Lighting) Plan
- Plan and Profile Drawings
- Site Servicing Plan
- Storm water Management Plan
- Street Sign and Traffic Plan
- Street Tree Planting Plan
- Tree Preservation Plan
- Archaeological Assessment
- Environmental Impact Study
- Functional Servicing Report
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Noise or Vibration Study
- Record of Site Condition
- Storm water Management Report

- Traffic Impact Study – please contact the Planner to verify the scope of the study required

Standard condominium exemptions will require the following supporting materials:

- Plan of standard condominium (2 paper copies and 1 electronic copy)
- Draft condominium declaration

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

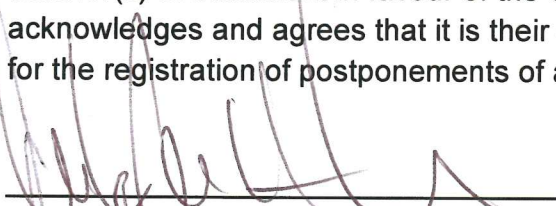
All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to approval for site plan, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

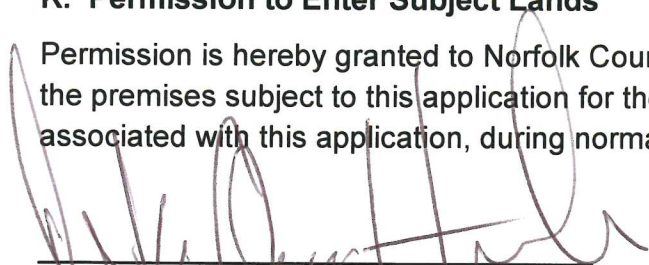


Owner/Applicant Signature

February 12, 2020
Date

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.



Owner/Applicant Signature

February 12, 2020
Date

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Owner/Applicant Signature

February 12, 2020

Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Mayberry Homes am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize J H Cohoon Engineering Limited to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing/

Owner

February 12, 2020

Date

Owner

February 12, 2020

Date

N. Declaration of Applicant and Agent

I hereby apply for development approval and declare that all of the above statements and the statements contained in all of the exhibits transmitted herewith are accurate and true. I understand that site plan approval is required before a building permit can be issued.

Applicant Signature

February 12, 2020

Date

Agent Signature

February 12, 2020

Date

O. Declaration

I, R W Phillips of Brantford

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

City of Brantford

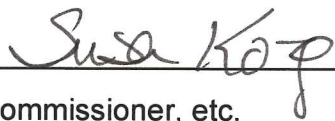


Owner/Applicant Signature

In County of Brant

This 12th day of February

A.D., 2020



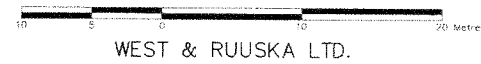
A Commissioner, etc.

SUSAN LYNNE KOZEY,
a Commissioner, etc., Province of Ontario
for J. H. Coheon Engineering Limited.
Expires April 29, 2021.

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN OF SUBDIVISION OF
PART OF LOT 1
and LOT 10
BLOCK 32
REGISTERED PLAN 182
NORFOLK COUNTY

SCALE - 1 : 250



WEST & RUUSKA LTD.

NORTH SCHOOL

NORTH MAIN STREET
(FORMERLY MAIN STREET)

(NAME CHANGE BY BY-LAW 2005-298, INSTRUMENT NR595722)

(AS SHOWN ON REGISTERED PLAN 182)

PART 2, PLAN 37R-10634
SUBJECT TO EASEMENT
IN INSTRUMENT NR430554

CERTIFICATE OF REGISTRATION

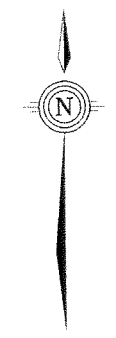
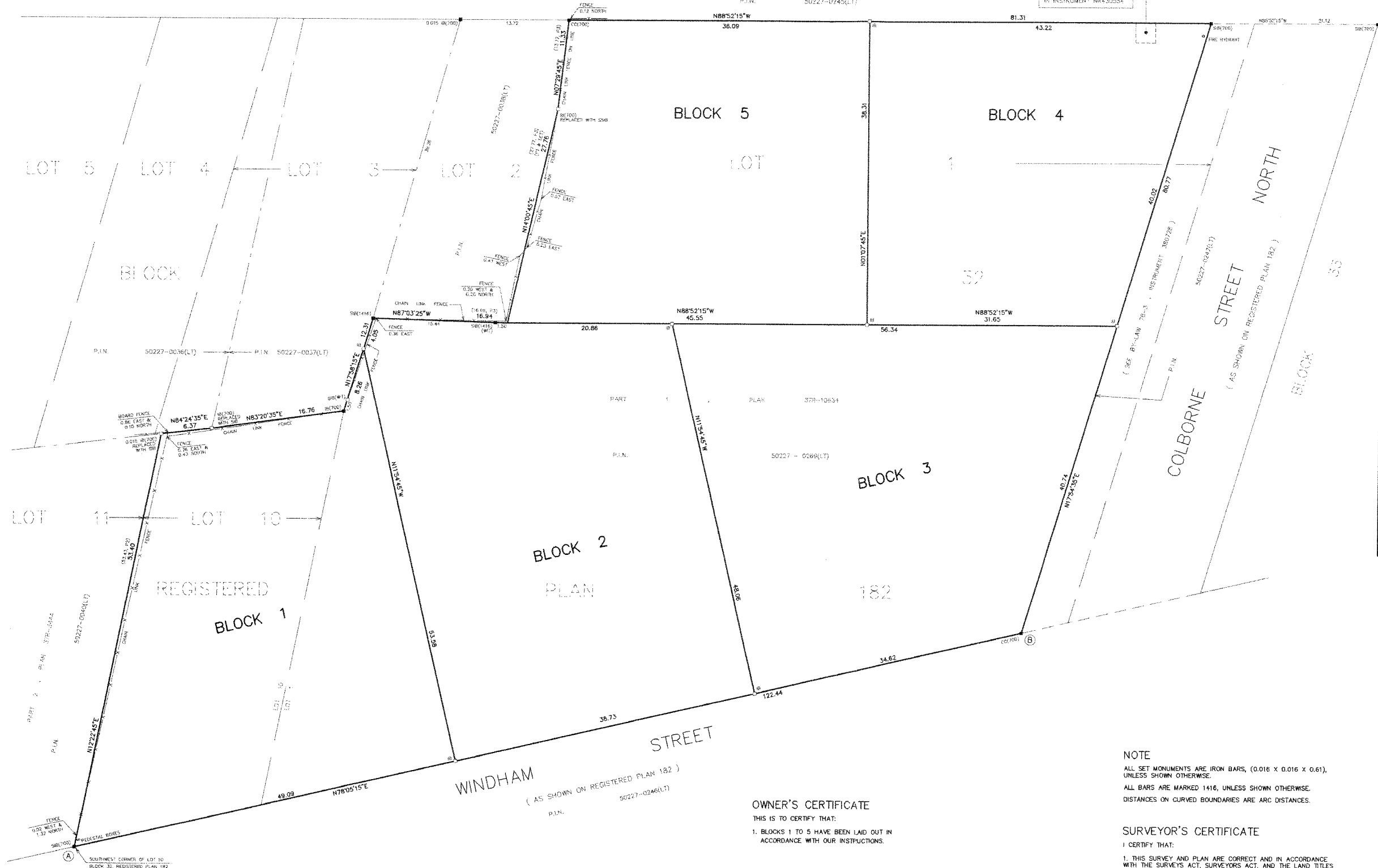
PLAN 37M- 71

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE
LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF NORFOLK (37)
AT 15:00 O'CLOCK ON THE 6th DAY OF July 2014
AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 50227-0269(LT).

THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT No. NK 80546

E. Noble
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRISES ALL OF THE LAND DESCRIBED IN P.I.N. 50227-0269(LT),
BLOCK 4 SUBJECT TO EASEMENT IN INSTRUMENT NR430554.



NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A and B, BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (1997)
FOR BEARING COMPARISONS, A ROTATION OF 0°25'15" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLAN 37R-9179.
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99961.

OBSERVED REFERENCE POINTS (ORPs) UTM ZONE 17 NAD83 (CSRS) (1997) COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10		
POINT ID	NORTHING	EASTING
ORP A	4743703.43	556385.30
ORP B	4743728.71	556505.12

COORDINATES CANNOT, IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

LEGEND

- DENOTES SET MONUMENT
- FOUND MONUMENT
- IRON BAR
- ▬ STANDARD IRON BAR
- SSIB SHORT STANDARD IRON BAR
- 1416 S.M. RUUSKA, O.L.S.
- 700 JEWETT & DIXON LTD.
- 996 J.B. OOD, O.L.S.
- CC CUT CROSS
- P1 PLAN 37R-9179
- P2 PLAN 37R-3444
- P3 REGISTERED PLAN 182

NOTE
ALL SET MONUMENTS ARE IRON BARS, (0.016 x 0.016 x 0.61), UNLESS SHOWN OTHERWISE.
ALL BARS ARE MARKED 1416, UNLESS SHOWN OTHERWISE.
DISTANCES ON CURVED BOUNDARIES ARE ARC DISTANCES.

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:
1. BLOCKS 1 TO 5 HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

DATED THE 16th DAY OF May, 2014.

1488745 ONTARIO LTD.
MIKE QUATROCCHI - PRESIDENT
I HAVE AUTHORITY TO BIND THE CORPORATION.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 19th DAY OF MARCH, 2014.

DATED: April 23, 2014
JIM JOHNSON
ONTARIO LAND SURVEYOR

APPROVED UNDER SECTION 51 OF THE PLANNING ACT, R.S.O. 1990, THIS 6th DAY OF July, 2014

CHRIS BAIRD
GENERAL MANAGER OF DEVELOPMENT & CULTURAL SERVICES
NORFOLK COUNTY

WEST & RUUSKA LTD.
Land Surveyors

17 NELSON STREET, BRANTFORD, ONTARIO, N3T 2M6
Telephone (519) 752-8641

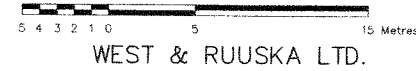
DRAWN BY: Ted S. KUTYLAK, O.S.S., O.P.S. CIP-2013 Q130023

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PARTS 1, 2, 3, 4, 5, 6, 7 and 8 COMPRISE ALL OF P.I.N. 50227-0275(LT).
 PARTS 9, 10, 11, 12, 13, 14, 15 and 16 COMPRISE ALL OF P.I.N. 50227-0274(LT).
 PART 15 EASEMENT AS IN INSTRUMENT NR430554.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 RECEIVED AND DEPOSITED
 DATED July 22, 2015
 DATED July 29, 2015
 Jim Johnson
 E. Noble
 REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF NORFOLK (No. 37)

PLAN OF SURVEY OF
PARTS OF BLOCKS 1, 2 and 3
and BLOCKS 4 and 5
PLAN 37M-71
NORFOLK COUNTY
SCALE - 1 : 200

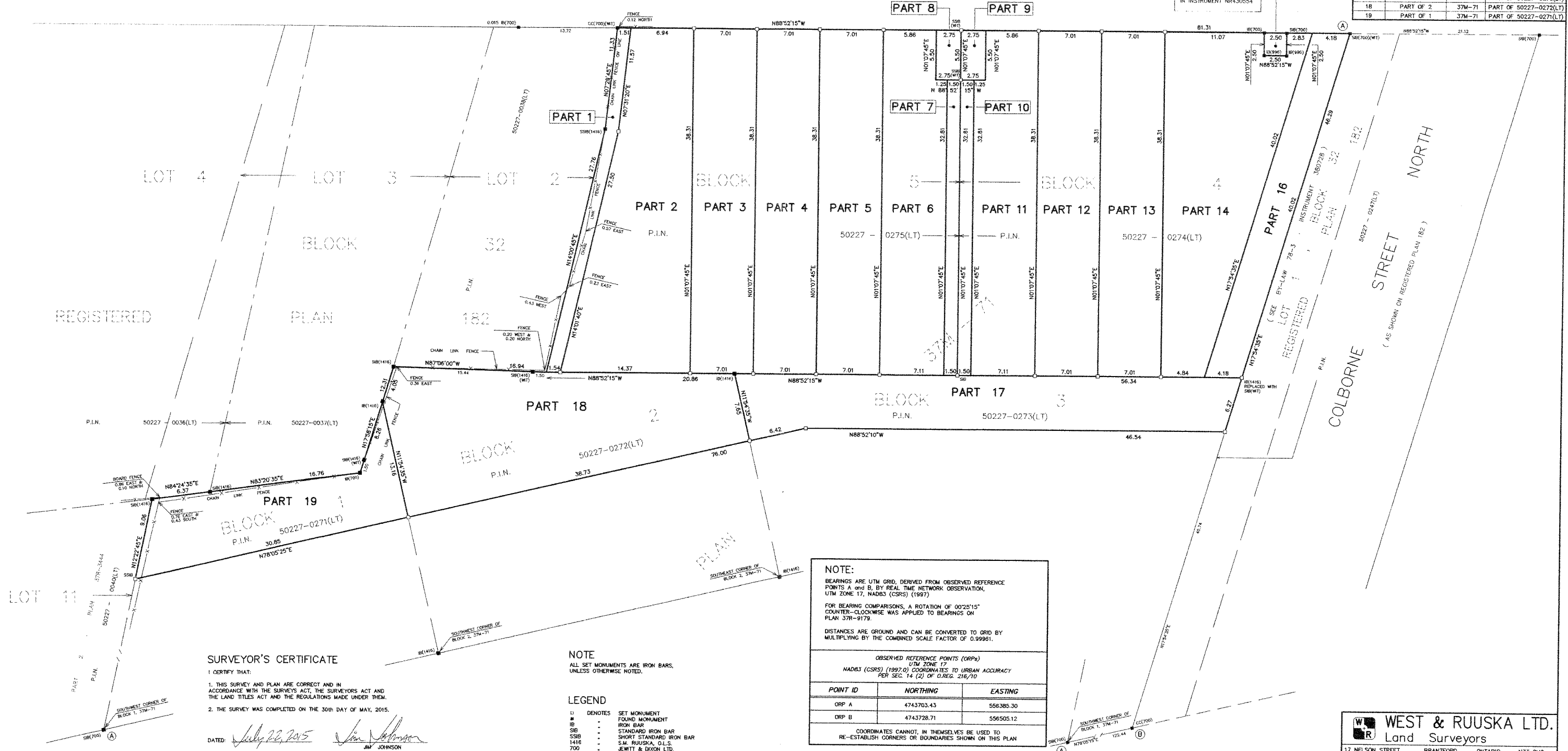


NORTH MAIN STREET
 (FORMERLY MAIN STREET)
 (NAME CHANGE BY BY-LAW 2005-298, INSTRUMENT NR595722)
 (AS SHOWN ON REGISTERED PLAN 182)
 P.I.N. 50227-0245(LT)

SCHEDULE

PART	BLOCK	PLAN	P.I.N.
1	PART OF 5	37M-71	PART OF 50227-0275(LT)
2	PART OF 5	37M-71	PART OF 50227-0275(LT)
3	PART OF 5	37M-71	PART OF 50227-0275(LT)
4	PART OF 5	37M-71	PART OF 50227-0275(LT)
5	PART OF 5	37M-71	PART OF 50227-0275(LT)
6	PART OF 5	37M-71	PART OF 50227-0275(LT)
7	PART OF 5	37M-71	PART OF 50227-0275(LT)
8	PART OF 5	37M-71	PART OF 50227-0275(LT)
9	PART OF 4	37M-71	PART OF 50227-0274(LT)
10	PART OF 4	37M-71	PART OF 50227-0274(LT)
11	PART OF 4	37M-71	PART OF 50227-0274(LT)
12	PART OF 4	37M-71	PART OF 50227-0274(LT)
13	PART OF 4	37M-71	PART OF 50227-0274(LT)
14	PART OF 4	37M-71	PART OF 50227-0274(LT)
15	PART OF 4	37M-71	PART OF 50227-0274(LT)
16	PART OF 4	37M-71	PART OF 50227-0274(LT)
17	PART OF 3	37M-71	PART OF 50227-0273(LT)
18	PART OF 2	37M-71	PART OF 50227-0272(LT)
19	PART OF 1	37M-71	PART OF 50227-0271(LT)

PART 15
 PART 2, PLAN 37M-71
 PART 2, PLAN 37M-10834
 SUBJECT TO EASEMENT
 IN INSTRUMENT NR430554



SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 30th DAY OF MAY, 2015.
 DATED: July 22, 2015
 Jim Johnson
 ONTARIO LAND SURVEYOR

NOTE
 ALL SET MONUMENTS ARE IRON BARS, UNLESS OTHERWISE NOTED.

LEGEND

□	DENOTES	SET MONUMENT
●	DENOTES	FOUND MONUMENT
■	DENOTES	IRON BAR
■	DENOTES	STANDARD IRON BAR
■	DENOTES	SHORT STANDARD IRON BAR
■	DENOTES	S.M. RUUSKA, O.L.S.
■	DENOTES	JEWITT & DIXON LTD.
■	DENOTES	CUT CROSS

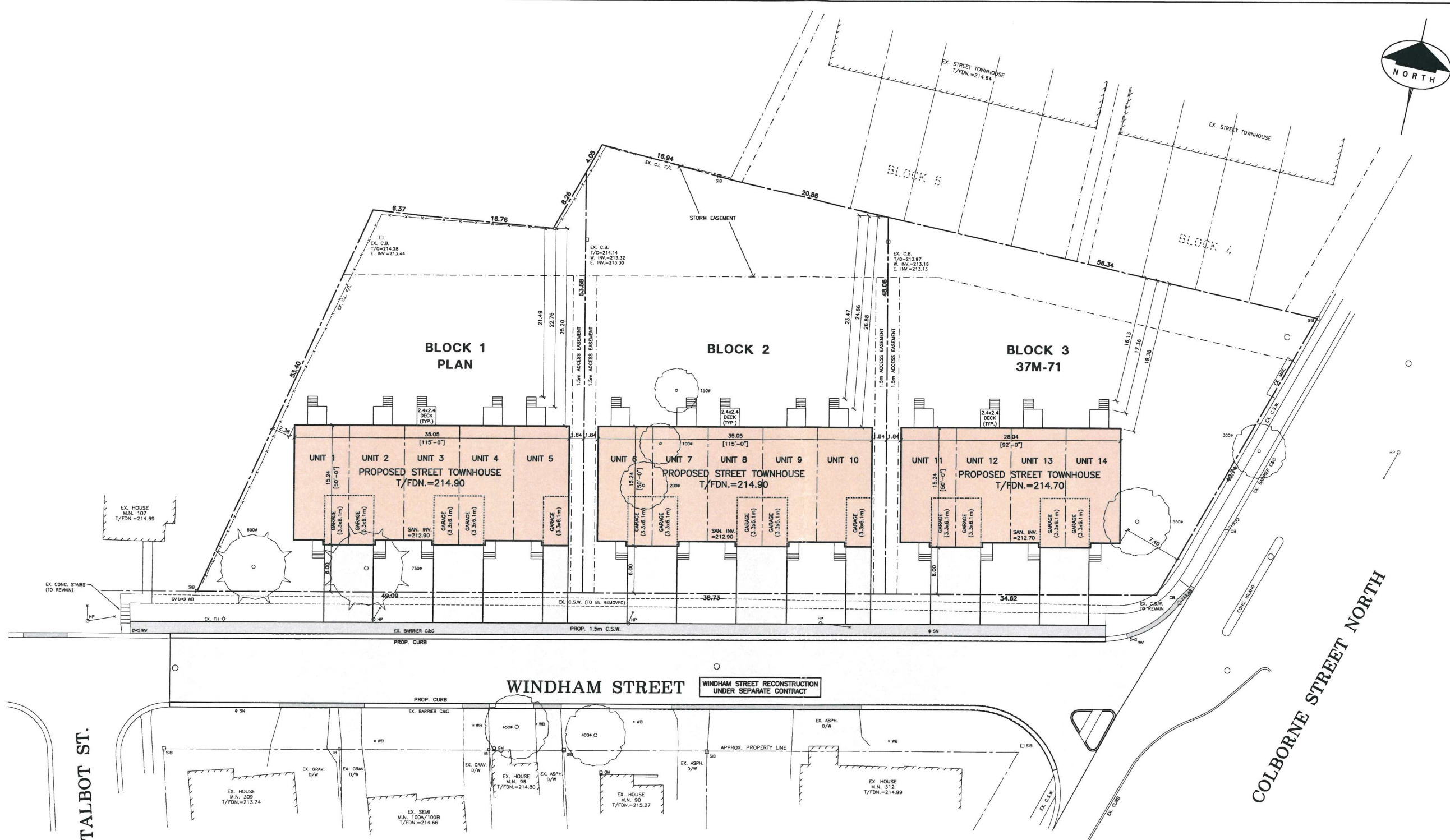
NOTE:
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A and B, BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (1997)
 FOR BEARING COMPARISONS, A ROTATION OF 00°25'15" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLAN 37M-9178.
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99961.

OBSERVED REFERENCE POINTS (ORPs)
 UTM ZONE 17
 NAD83 (CSRS) (1997.0) COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4743703.43	556385.30
ORP B	4743728.71	556505.12

COORDINATES CANNOT, IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

WEST & RUUSKA LTD.
 Land Surveyors
 17 NELSON STREET, BRANTFORD, ONTARIO, N3T 2M6
 Telephone: (519) 752-8641
 DRAWN BY: Ted S. KUTLA, CST, CPT
 © 2015 Q130023



SITE STATISTICS - BLOCK 1

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS	COMPLIANCE ✓ MEETS REQUIREMENTS ✗ REZONING REQUIRED
ZONING CATEGORY	R4	R4	✓
LOT AREA (sq. m.)	1833.43	156 - ATTACHED GARAGE 264 - CORNER LOT	✓
LOT FRONTAGE (m)	49.09	6.5 INT. LOT 11.0 COR. LOT	✓
STREET SETBACK (m)	6.00	6.00 MIN.	✓
REAR YARD (m)	25.20	7.50 MIN.	✓
SIDE YARD (m)	1.84 & 2.38	1.20 MIN.	✓
EXTERIOR YARD (m)	N/A	6.00 MIN.	✓
SEPARATION BETWEEN UNITS (m)	3.68	2.00 MIN.	✓
BUILDING HEIGHT (m)	-	11.00 MAX.	✓

SITE STATISTICS - BLOCK 2

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS	COMPLIANCE ✓ MEETS REQUIREMENTS ✗ REZONING REQUIRED
ZONING CATEGORY	R4	R4	✓
LOT AREA (sq. m.)	2036.52	156 - ATTACHED GARAGE 264 - CORNER LOT	✓
LOT FRONTAGE (m)	38.73	6.5 INT. LOT 11.0 COR. LOT	✓
STREET SETBACK (m)	6.00	6.00 MIN.	✓
REAR YARD (m)	26.88	7.50 MIN.	✓
SIDE YARD (m)	1.84 & 1.84	1.20 MIN.	✓
EXTERIOR YARD (m)	N/A	6.00 MIN.	✓
SEPARATION BETWEEN UNITS (m)	3.68	2.00 MIN.	✓
BUILDING HEIGHT (m)	-	11.00 MAX.	✓

SITE STATISTICS - BLOCK 3

ITEM	PROPOSAL	ZONING BYLAW REQUIREMENTS	COMPLIANCE ✓ MEETS REQUIREMENTS ✗ REZONING REQUIRED
ZONING CATEGORY	R4	R4	✓
LOT AREA (sq. m.)	1930.52	156 - ATTACHED GARAGE 264 - CORNER LOT	✓
LOT FRONTAGE (m)	34.62	6.5 INT. LOT 11.0 COR. LOT	✓
STREET SETBACK (m)	6.00	6.00 MIN.	✓
REAR YARD (m)	19.38	7.50 MIN.	✓
SIDE YARD (m)	1.84	1.20 MIN.	✓
EXTERIOR YARD (m)	7.40	6.00 MIN.	✓
SEPARATION BETWEEN UNITS (m)	3.68	2.00 MIN.	✓
BUILDING HEIGHT (m)	-	11.00 MAX.	✓

TALBOT ST.

WINDHAM STREET WINDHAM STREET RECONSTRUCTION UNDER SEPARATE CONTRACT

COLBORNE STREET NORTH

NO.	REVISION	DATE (MM/DD/YY)	BY
2	ADDED EASEMENTS	04/22/19	K.P.B.
1	AS PER COUNTY COMMENTS	01/23/19	K.P.B.



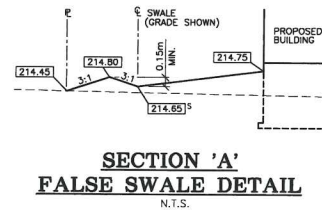
440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL: (519) 753-2656 FAX: (519) 753-4263 www.cohoongen.com

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
PART OF LOTS 1 & 10
BLOCK 32 - R.P. 182
(BLOCKS 1-3, PLAN 37M-71)
WINDHAM STREET
NORFOLK COUNTY

CLIENT: MAYBERRY HOMES

SITE PLAN

DESIGN:	R.W.P.	SCALE:	1:250
DRAWN:	K.P.B.	JOB No:	10968
CHECKED:	R.W.P.		
SHEET:	1 of 6	DWG. No:	10968-1
DATE:	SEPT. 6/18		



- LEGEND:**
- 200.00 EXISTING ELEVATIONS
 - 200.00 PROPOSED ELEVATIONS
 - 200.00 PROPOSED SWALE ELEVATIONS
 - 227.24 PROPOSED C/L LANE ELEVATIONS
 - 227.24 PROPOSED SWALE
 - 227.24 GENERAL DRAINAGE
 - 227.24 OVERLAND FLOW ROUTE
 - 227.24 SILTATION FENCE
 - 227.24 GEOTEXTILE FILTER FABRIC ON TOP OF STORM STRUCTURE

- NOTES:**
1. REFER TO DWG. 10968-6 FOR STANDARD NOTES & DETAILS.
 2. THE SILTATION & EROSION CONTROL (SEC) MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. SITE CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
 3. ALL SEC MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. OWNER/CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT SITE UNTIL A COMPLETE GRASS/VEGETATION COVER IS ACHIEVED.
 5. ONLY AT THE DIRECTION OF THE ENGINEER ARE THE SEC MEASURES TO BE REMOVED.
 6. ALL EXPOSED AREAS NOT SUBJECT TO ACTIVE CONSTRUCTION WITHIN 90 DAYS ARE TO BE REVEGETATED AS PER O.P.S.S. 572 IMMEDIATELY UPON COMPLETION OF AREA GRADING.
 7. CONTRACTOR TO PROVIDE GEOTEXTILE FILTER FABRIC ON TOP OF STORM STRUCTURES DURING CONSTRUCTION UNTIL ADEQUATE VEGETATIVE COVER IS ACHIEVED.
 8. SEC CONSULTANT TO VISIT DEVELOPMENT AT A MINIMUM ON A WEEKLY BASIS AND ALSO DURING AND AFTER EACH STORM EVENT TO ENSURE SEC MEASURES ARE FUNCTIONING PROPERLY.

T.B.M. No. 1 ELEV. = 214.18m (GEO)
NAIL IN HYDRO POLE ON THE EAST SIDE OF COLBORNE STREET NORTH AS SHOWN.

T.B.M. No. 2 ELEV. = 214.63m (GEO)
NAIL IN HYDRO POLE ON THE NORTH SIDE OF WINDHAM STREET AS SHOWN.

2	ADDED EASEMENTS	04/22/19	K.P.B.
1	AS PER COUNTY COMMENTS	01/23/19	K.P.B.
NO.	REVISION	DATE (MM/DD/YY)	BY

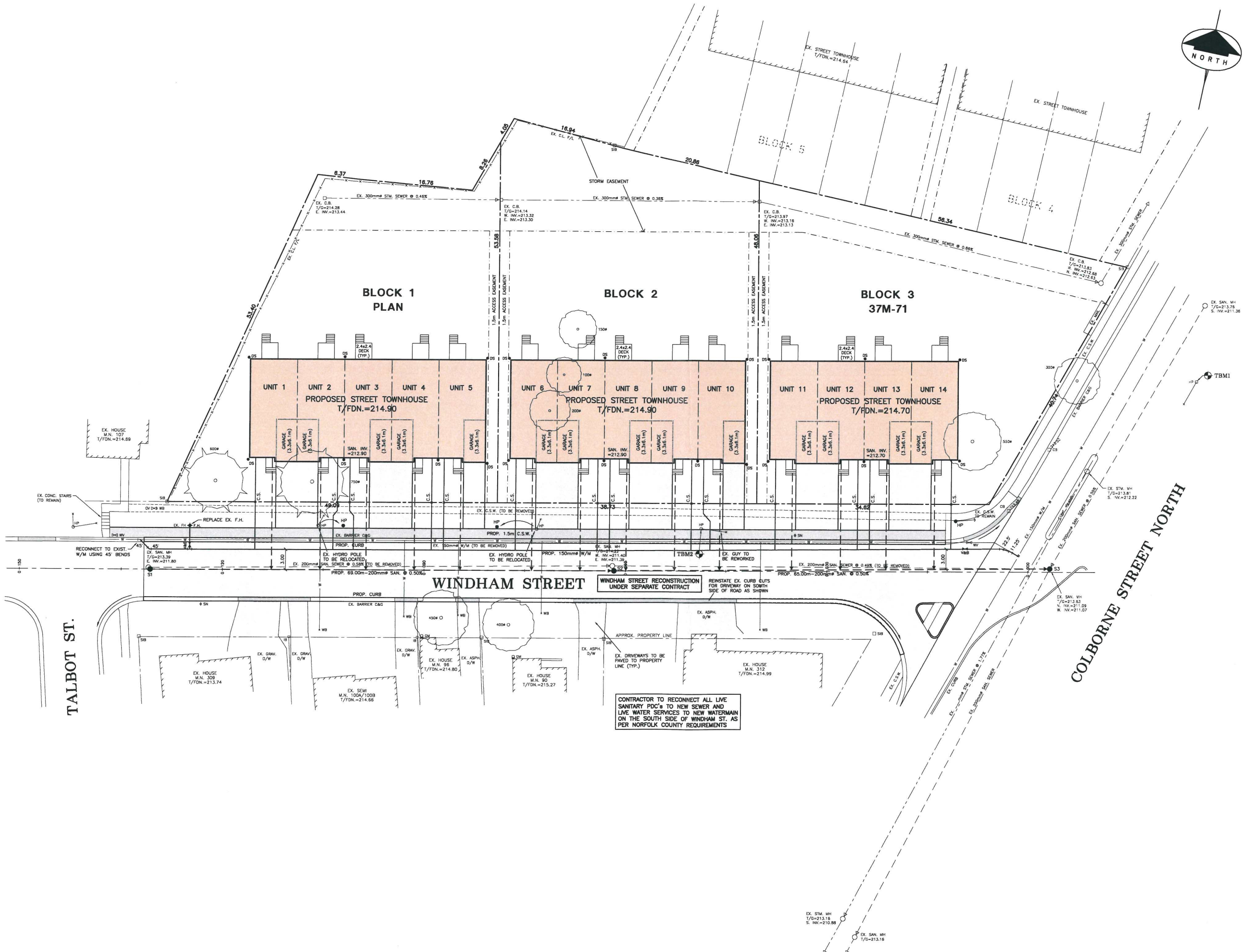
J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2656 FAX. (519) 753-4263 www.cohooneg.com

PROPOSED RESIDENTIAL DEVELOPMENT
PART OF LOTS 1 & 10
BLOCK 32 - R.P. 182
(BLOCKS 1-3, PLAN 37M-71)
WINDHAM STREET
NORFOLK COUNTY

CLIENT: **MAYBERRY HOMES**

GRADING/EROSION CONTROL PLAN

DESIGN:	R.W.P.	SCALE:	1:250
DRAWN:	K.P.B.	JOB No:	
CHECKED:	R.W.P.		10968
SHEET:	2 of 6	DWG. No:	
DATE:	SEPT. 6/18		10968-2



THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

LEGEND:
 #05 DENOTES DOWNSPOUT

NOTES:
 1. ALL ELEVATIONS & DIMENSIONS SHOWN ARE METRIC.
 2. REFER TO DWG. 10968-6 FOR STANDARD NOTES & DETAILS.

T.B.M. No. 1 ELEV. = 214.18m (GEO)
 NAIL IN HYDRO POLE ON THE EAST SIDE OF COLBORNE STREET NORTH AS SHOWN.

T.B.M. No. 2 ELEV. = 214.63m (GEO)
 NAIL IN HYDRO POLE ON THE NORTH SIDE OF WINDHAM STREET AS SHOWN.

NO.	REVISION	DATE (MM/DD/YY)	BY
2	ADDED EASEMENTS	04/22/19	K.P.B.
1	AS PER COUNTY COMMENTS	01/23/19	K.P.B.

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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 PART OF LOTS 1 & 10
 BLOCK 32 - R.P. 182
 (BLOCKS 1-3, PLAN 37M-71)
 WINDHAM STREET
 NORFOLK COUNTY

CLIENT: **MAYBERRY HOMES**

SERVICING PLAN

DESIGN: R.W.P.	SCALE: 1:250
DRAWN: K.P.B.	JOB No: 10968
CHECKED: R.W.P.	
SHEET: 3 of 6	DWG. No: 10968-3
DATE: SEPT. 6/18	

CONTRACTOR TO RECONNECT ALL LIVE SANITARY PDC'S TO NEW SEWER AND LIVE WATER SERVICES TO NEW WATERMAIN ON THE SOUTH SIDE OF WINDHAM ST. AS PER NORFOLK COUNTY REQUIREMENTS.

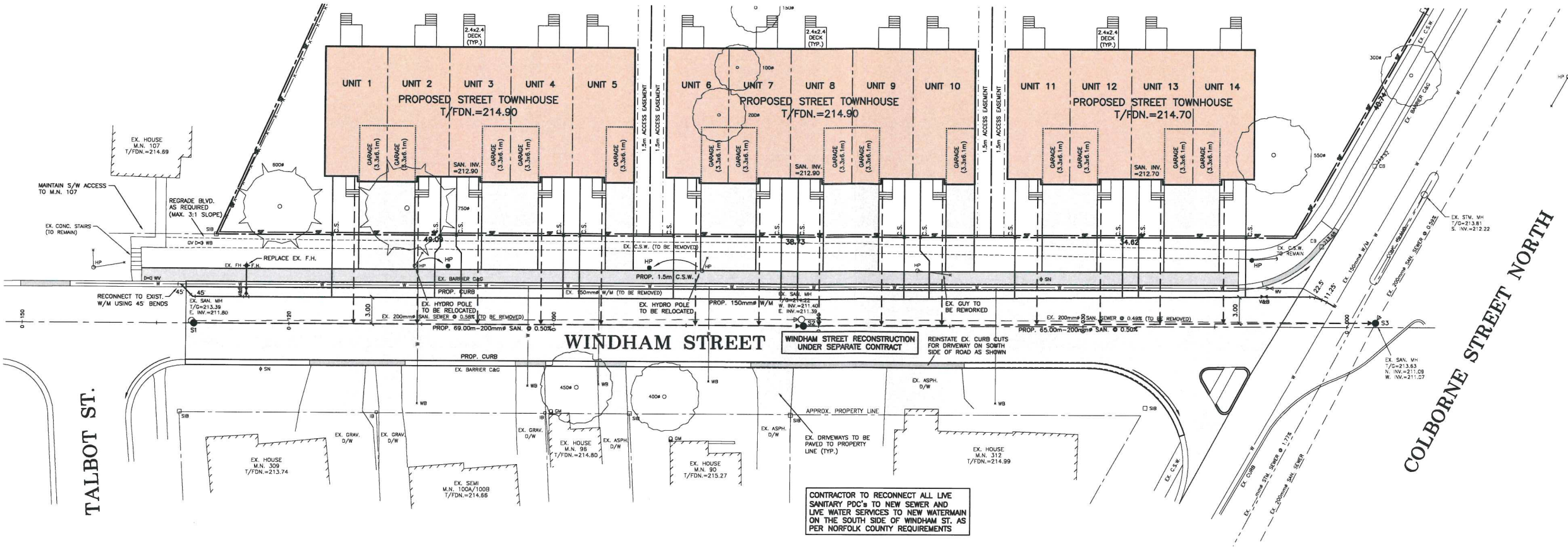
WINDHAM STREET RECONSTRUCTION UNDER SEPARATE CONTRACT

TALBOT ST.

COLBORNE STREET NORTH

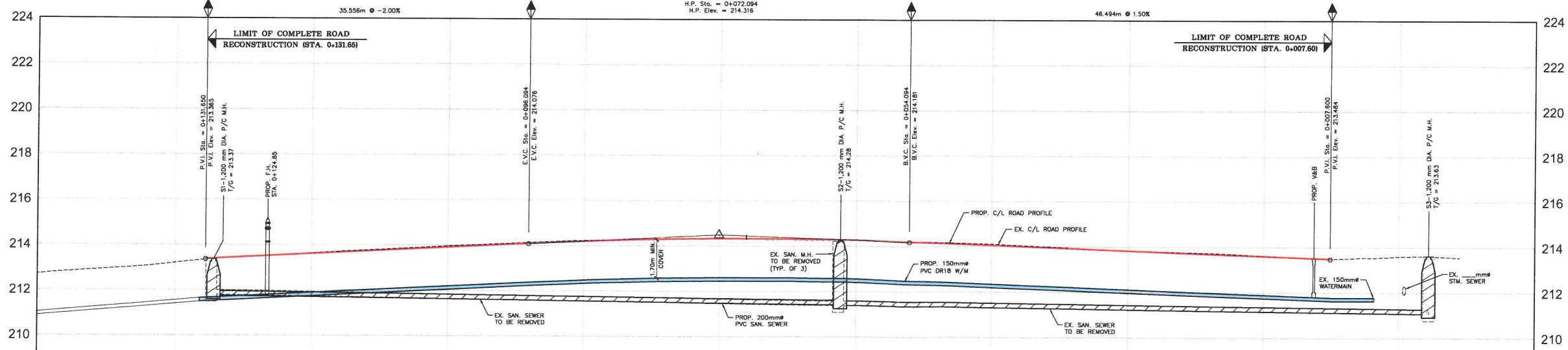
THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

- NOTES:**
- ALL ELEVATIONS & DIMENSIONS SHOWN ARE METRIC.
 - REFER TO DWG. 10968-6 FOR STANDARD NOTES & DETAILS.



CONTRACTOR TO RECONNECT ALL LIVE SANITARY PVC'S TO NEW SEWER AND LIVE WATER SERVICES TO NEW WATERMAIN ON THE SOUTH SIDE OF WINDHAM ST. AS PER NORFOLK COUNTY REQUIREMENTS

VERTICAL CURVE
 P.V.I. Sta. = 0+075.094
 P.V.I. Elev. = 214.496
 A.D. = -3.506
 K = 12.000
 L.V.C. = 42.30
 H.P. Sta. = 0+072.094
 H.P. Elev. = 214.316



TOP OF WM ELEVATIONS	211.93	211.90	212.20	212.48	212.61	212.56	212.34	212.12	211.89	211.78	211.78	211.50
STORM SEWER INV. ELEVATIONS												
SANITARY SEWER INV. ELEVATIONS	211.76					211.41						211.07
C/L ROAD ELEVATIONS	213.21	213.38	213.48	213.58	213.68	213.78	213.88	213.98	214.08	214.18	214.28	214.38
STATION	0+150	0+135	0+120	0+105	0+090	0+075	0+060	0+045	0+030	0+015	0+000	0+015

NO.	REVISION	DATE	BY
2	ADDED EASEMENTS	04/22/19	K.P.B.
1	AS PER COUNTY COMMENTS	01/23/19	K.P.B.

J.H. COHOON ENGINEERING LIMITED
 CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
 TEL. (519) 753-2656 FAX. (519) 753-4283 www.cohooneng.com





PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 PART OF LOTS 1 & 10
 BLOCK 32 - R.P. 182
 (BLOCKS 1-3, PLAN 37M-71)
 WINDHAM STREET
 NORFOLK COUNTY

CLIENT:
MAYBERRY HOMES

WINDHAM STREET PLAN AND PROFILE
 STA. 0+000 TO STA. 0+135

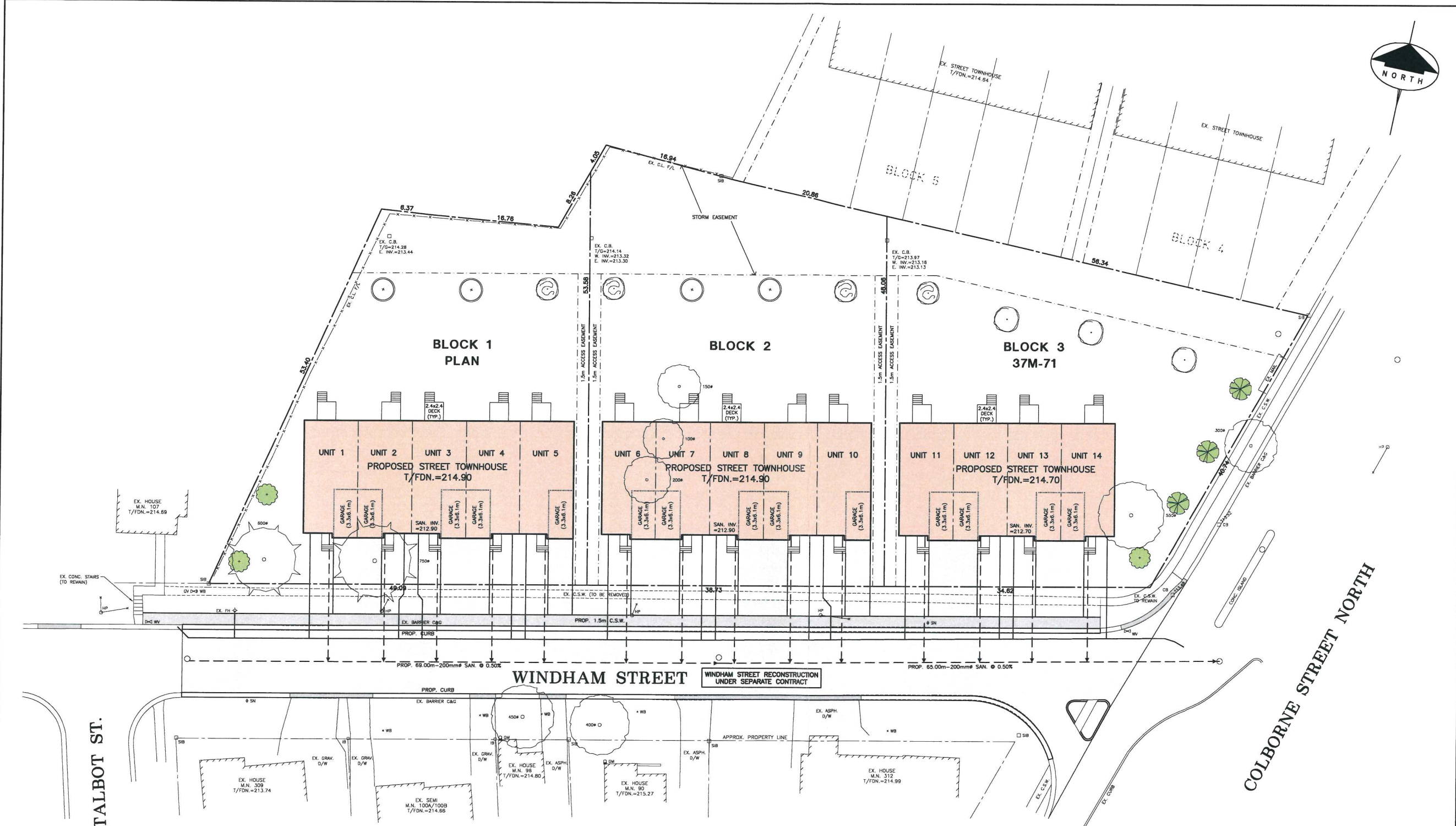
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DRAWN:	K.P.B.	JOB No:	10968
CHECKED:	R.W.P.		
SHEET:	4 of 6	DWG. No:	10968-4
DATE:	SEPT. 6/18		

TREE PLANTING LEGEND

-  JAPANESE IVORY SILK LILAC
-  ORNAMENTAL PEAR
-  WHITE OAK
-  FREEMAN MAPLE
-  BASSWOOD

NOTES:

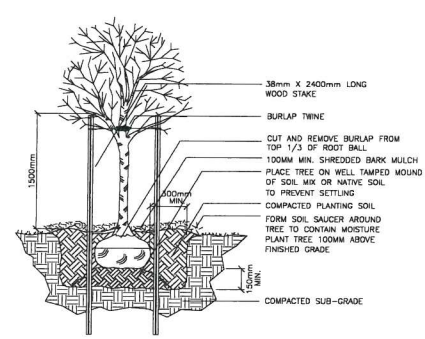
1. THE LANDSCAPE PLAN HAS BEEN PREPARED IN COORDINATION WITH SITE PLAN & ENGINEERING PLANS.
2. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. LIMIT OF WORK TO BE THE PROPERTY LINE SHOWN.
4. ANY AREAS OUTSIDE THE LIMIT OF WORK DAMAGED BY THE CONTRACTOR SHALL BE RESTORED BY THE CONTRACTOR TO CITY OF BRANTFORD STANDARDS AT NO ADDITIONAL COST TO THE OWNER.
5. ALL UNDERGROUND UTILITIES TO BE LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.
6. ALL DIMENSIONS ARE IN METRES.
7. ALL PLANT MATERIAL TO BE No. 1 GRADE, NURSERY GROWN IN ACCORDANCE WITH THE CANADIAN NURSERY TRADES ASSOCIATION.
8. PLANT MATERIAL QUANTITIES ON THE DRAWING SHALL TAKE PRECEDENCE OVER THOSE IN THE PLANT LIST.
9. ANY PLANT MATERIAL WHICH COMES OVER OR UNDER ANY UTILITY WILL BE RELOCATED AS DIRECTED BY THE LANDSCAPE ARCHITECT.
10. SUPPLY & INSTALL A SHREDED BARK MULCH ON ALL PLANTING BED TO BE A 100mm DEPTH.



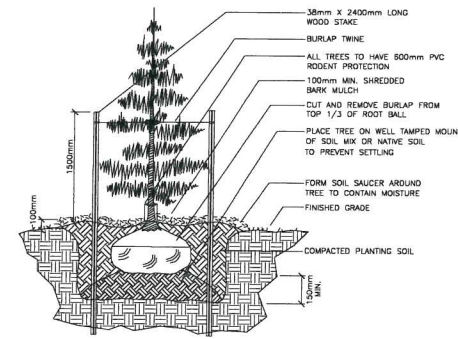
TALBOT ST.

COLBORNE STREET NORTH

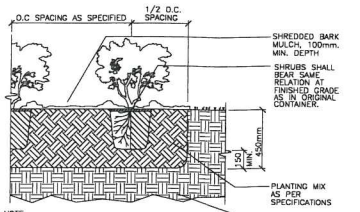
WINDHAM STREET WINDHAM STREET RECONSTRUCTION UNDER SEPARATE CONTRACT



TYPICAL DECIDUOUS TREE PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES



TYPICAL CONIFEROUS TREE PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES



TYPICAL SHRUB PLANTING
NTS ALL DIMENSIONS IN MILLIMETRES

PLANT SCHEDULE					
TREES	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.
DECIDUOUS TREES					
3	3	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE IVORY SILK LILAC	50mm cal.	W.B.
3	3	PYRUS CALLERYANA	ORNAMENTAL PEAR	50mm cal.	W.B.
4	4	QUERCUS ALBA	WHITE OAK	60mm cal.	W.B.
4	4	ACER X FREEMANII	FREEMAN MAPLE	60mm cal.	W.B.
3	3	TILIA AMERICANA	BASSWOOD	60mm cal.	W.B.

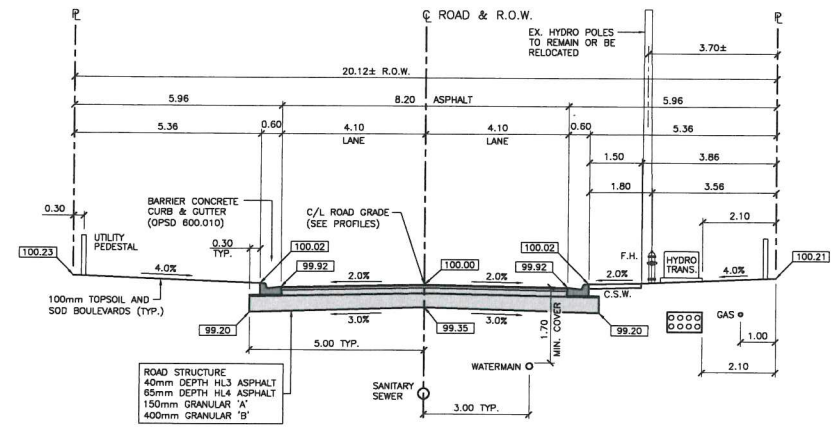
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
PART OF LOTS 1 & 10
BLOCK 32 - R.P. 182
(BLOCKS 1-3, PLAN 37M-71)
WINDHAM STREET
NORFOLK COUNTY

CLIENT: **MAYBERRY HOMES**

TREE PLANTING PLAN

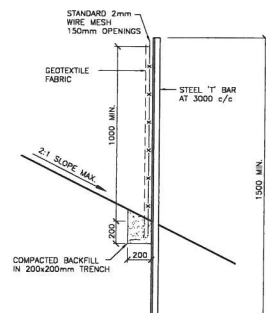
DESIGN: R.W.P.	SCALE: 1:250
DRAWN: S.L.M.	JOB No: 10968
CHECKED: R.W.P.	DWG. No: 10968-5
SHEET: 5 of 6	DATE: SEPT 24/18



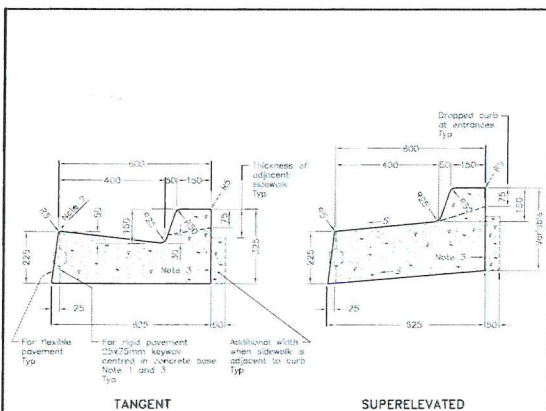
TYPICAL ROAD X-SECTION
SCALE: 1:100

WATERMAIN RESTRAINT TABLE

DIAMETER (mm)	MIN. No. OF STEEL RODS (19mm#)	MIN. LENGTH WITHIN WHICH JOINTS TO BE RESTRAINED ON EACH SIDE OF FITTINGS (m)				
		11 1/4"	22 1/2"	45"	90° & TEES	DEAD END & VALVES
100	2				4.0	8
150	2				5.5	10
200	2		4.0		7.0	13
250	4				8.5	16
300	4				10	19



SILT FENCE DETAIL
N.T.S.



LEGEND:
S - Rate of pavement superelevation in percent, %.

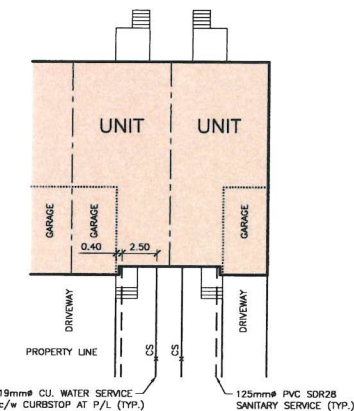
NOTES:

- When curb and gutter is adjacent to concrete pavement or base, this drawing shall be used in conjunction with OPSD 352.010 and 552.020.
 - Flexible and composite pavement shall be placed 5mm above the adjacent edge of gutter.
 - For sloping procedure a 5% batter is acceptable.
- A Treatment at entrances shall be according to OPSD 351.010.
 B Outlet treatment shall be according to the OPSD 610 Series.
 C The transition from one curb type to another shall be a minimum length of 3.0m, except in conjunction with guide rail where it shall be according to the OPSD 900 Series.
 D All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2012 Rev 2

CONCRETE BARRIER CURB WITH WIDE GUTTER

OPSD 600.010



TYPICAL UNIT SERVICING
N.T.S.

GENERAL NOTES:

- CONSTRUCTION OF SEWERS, WATERMANS AND RELATED APPURTENANCES SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE CURRENT STANDARD DRAWINGS OF THE COUNTY OF NORFOLK, AND THE ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD). THE COUNTY OF NORFOLK DRAWINGS SHALL TAKE PRECEDENCE OVER THE OPSD DRAWINGS.
- INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS IS FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS THEY SEE FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY.
- ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION AND HE SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- RELOCATION OF EXISTING SERVICES AND/OR UTILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION.
- FOR ALL SEWERS AND WATERMAIN IN FILL SECTIONS, THE COMPACTION SHALL BE VERIFIED PRIOR TO LAYING OF PIPE.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE COUNTY OF NORFOLK OR THE ENGINEER.
- NO BLASTING WILL BE PERMITTED.
- ALL EXCAVATIONS TO BE BACKFILLED WITH SELECT NATIVE MATERIAL, APPROVED BY THE ENGINEER, TO 95% S.P.D.
- THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING (UNTIL ROAD CONSTRUCTION IS FINISHED) SILT CONTROL DEVICES AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
- TREE PROTECTION PROCEDURES TO BE IMPLEMENTED IN ACCORDANCE WITH COUNTY OF NORFOLK STANDARDS.
- ALL WORKS SHALL BE DESIGNED AND CONSTRUCTED SO AS TO COMPLY WITH APPLICABLE LAW, TO BE CONSISTENT WITH THE COUNTY OF NORFOLK DEVELOPMENT & ENGINEERING STANDARDS AND IN ACCORDANCE WITH CURRENT GUIDELINES, CODES, REGULATIONS AND STANDARDS PRESCRIBED BY THE COUNTY.
- ALL BOULEVARD AREAS TO BE RESTORED WITH #1 NURSERY SOO ON A MINIMUM 100mm OF SELECT TOPSOIL.
- ALL TRENCH BACKFILL UNDER EXISTING ROADWAYS SHALL BE COMPACTED IN MINIMUM 230mm LIFTS TO 98% STANDARD PROCTOR DENSITY. A GEOTECHNICAL ENGINEER'S REPRESENTATIVE SHALL BE ON SITE DURING THE WORK TO VERIFY THE COMPACTION OF EACH LIFT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF RE-TESTING.
- AN ENGINEER IS REQUIRED TO BE ON SITE FOR INSPECTION OF ALL UNDERGROUND SERVICES.

WATERMANS:

- WATERMANS AND RELATED APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED SO AS TO COMPLY WITH APPLICABLE LAW, TO BE CONSISTENT WITH THE COUNTY OF NORFOLK DEVELOPMENT AND ENGINEERING STANDARDS AND IN ACCORDANCE WITH CURRENT GUIDELINES, CODES, REGULATIONS, BEST PRACTICES AND STANDARDS PRESCRIBED BY THE COUNTY.
- WATERMANS TO BE INSTALLED WITH A MINIMUM DEPTH OF COVER OF 1.70m BELOW FINISHED GRADE.
- WATERMANS TO BE INSTALLED IN ACCORDANCE WITH OPSD 802.010 TYPE 2 TRENCH. BEDDING TO BE GRANULAR 'A' UNLESS OTHERWISE NOTED.
- WATERMANS TO BE PVC DR-18 IN ACCORDANCE WITH AWWA C900 & CSA B137.3. THE PIPE SHALL BE SHIPPED TO THE SITE WITH THE ENDS FACTORY CAPPED.
- FOR PVC WATERMAIN DEFLECTION:
- MAXIMUM ALLOWABLE DEFLECTION OF 1 DEGREE PER JOINT SHALL NOT BE EXCEEDED.
- EACH JOINT SHALL BE DEFLECTED AN EQUAL AMOUNT.
- ALL WATER MAINS TO BE SWABBED, TESTED, DISINFECTED AND FLUSHED UNDER THE SUPERVISION OF THE ENGINEER TO THE SATISFACTION OF THE COUNTY OF NORFOLK PRIOR TO CONNECTION TO THE EXISTING MUNICIPAL SYSTEM. REFER TO OPSD 701.07.25, AWWA C651 & COUNTY OF NORFOLK GENERAL WATERMAIN DISINFECTION PROCEDURES.
- A REDUCED PRESSURE DOUBLE BACKFLOW PREVENTER IS REQUIRED ON THE TEMPORARY SUPPLY LINES USED FOR FILLING AND FLUSHING/SWABBING OF WATERMANS AND TO BE TESTED AND CERTIFIED ON SITE.
- UPON COMPLETION OF INSTALLATION, THE CONTRACTOR SHALL PERFORM A PRESSURE TEST ON THE WATERMANS AS PER OPSD 701.07.24 AND COUNTY OF NORFOLK SPECIFICATIONS. WATERMAIN IS TO BE TESTED UNDER THE SUPERVISION OF THE ENGINEER PRIOR TO CONNECTION TO EXISTING WATERMANS USING TEMPORARY CAPS OR PLUGS.
- PIPE CLOSURES WHERE REQUIRED, ARE TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO SUPPLY AND INSTALL ALL ADAPTOR PIECES IN ORDER TO CONNECT EXISTING WATERMANS.
- ALL WATER SERVICE CONNECTIONS 19mm DIA. ASTM 888 TYPE 'X' SOFT COPPER AS PER OPSD 1104.01 & COUNTY OF NORFOLK ENGINEERING STANDARDS, WITH SAND BEDDING.
- WATER SERVICES TO BE LOCATED AS PER TYPICAL SERVICING DETAIL ON THIS SHEET AND CURB STOPS TO BE MUELLER A-726 OR EQUIVALENT APPROVED BY THE COUNTY OF NORFOLK.
- ALL VALVE BOXES TO BE SET TO PROPOSED ASPHALT BINDER COURSE (HL4) ELEVATION. VALVE BOXES ARE TO BE ADJUSTED TO FINAL SURFACE ASPHALT ELEVATION WHEN FINAL ASPHALT COURSE IS PLACED (NO RISERS WILL BE PERMITTED).
- GATE VALVES TO BE MUELLER 2360 OR EQUIVALENT APPROVED BY THE COUNTY OF NORFOLK.
- JOINT RESTRAINTERS WITH A MINIMUM LENGTH OF 1.2m ON EACH SIDE OF 45° BENDS PERMITTED. JOINT RESTRAINTERS TO BE MEGALUG FOR PVC SERIES 200P OR APPROVED EQUAL. JOINT RESTRAINT LENGTHS SHOWN TO BE VERIFIED BY SUPPLIER BASED ON INSTALLATION CONDITIONS.
- 3-WAY HYDRANTS TO BE INSTALLED AS PER OPSD 1105.01 (SHALL OPEN LEFT - COUNTER CLOCKWISE) & PAINTED RED. HYDRANTS TO BE GARDNER VALVE CENTURY HYDRANT OR EQUIVALENT APPROVED BY THE COUNTY OF NORFOLK.
- ALL FIRE HYDRANTS SHALL CONFORM TO THE AREA MUNICIPALITY FIRE DEPARTMENT'S REQUIREMENTS. ALL HYDRANTS WITHIN CONDOMINIUM SHALL BE OF LIME MANUFACTURE.
- TRACING WIRES TWI#8 GAUGE TO BE TERMINATED / ACCESSIBLE AT A TEST BOX AT ALL HYDRANTS AND PLACED ALONG TOP OF WATERMAIN AND FASTENED WITH STRAPS AT 8.0m CENTRES. TRACING WIRE SHALL NOT BE LOOPEL TO THE SURFACE AT MAINLINE VALVE BOXES.
- ALL WATERMAIN VALVES, BENDS AND FITTINGS TO HAVE MECHANICAL JOINTS.
- CATHODIC PROTECTION TO BE PROVIDED AT ALL VALVES, BENDS AND FITTINGS WITH 11.0 KG ZINC ANODES AND ON ALL WATER SERVICE CONNECTIONS WITH 5.0 KG ZINC ANODES.
- WATERMAIN INSULATION TO BE PROVIDED AT ALL LOCATIONS WHERE THE WATERMAIN IS LOCATED CLOSE TO CATCH BASINS (LESS THAN 0.3m) AND AT CONNECTIONS TO EXISTING WATERMANS WHERE DEPTH OF COVER IS INSUFFICIENT (LESS THAN 1.70m).
- THE WATERMAIN AND HYDRANT LEADS AT THE HIGH POINTS SHOULD BE CONSTRUCTED SO THAT THE HYDRANT LEADS SLOPE SLIGHTLY UPWARD FROM THE WATERMAIN TO THE HYDRANT TO OPTIMIZE THE HYDRANTS AS AIR RELIEF POINTS.
- SHOULD AIR IN THE WATERMAIN BE DEMONSTRATED TO BE A PROBLEM, THE CONTRACTOR WILL BE REQUIRED TO INSTALL AN AIR RELIEF VALVE(S) TO THE SATISFACTION OF THE COUNTY OF NORFOLK.
- THE APPLICANT AND/OR CONTRACTOR MUST SUBMIT A DETAILED DISINFECTION AND COMMISSIONING PLAN TO THE COUNTY OF NORFOLK PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ROADWORKS:

- ROADWAYS & RELATED WORKS SHALL BE DESIGNED AND CONSTRUCTED SO AS TO COMPLY WITH APPLICABLE LAW, TO BE CONSISTENT WITH THE COUNTY OF NORFOLK DEVELOPMENT AND ENGINEERING STANDARDS AND IN ACCORDANCE WITH CURRENT GUIDELINES, CODES, REGULATIONS, BEST PRACTICES AND STANDARDS PRESCRIBED BY THE COUNTY.
- CATCH BASIN CONNECTIONS TO BE PVC PIPE CSA B182.4, SDR 35 DR 'ULTRA RB'. SINGLE CATCH BASIN LEADS TO BE MIN. 250mm DIA. DOUBLE CATCH BASIN LEADS TO BE MIN. 300mm DIA. REAR LOT CATCH-BASIN LEADS AND DITCH INLET LEADS TO BE CSA A257-1 EXTRA STRENGTH CL3 CONC. 300mm DIA. AT 1.0% MIN.
- SINGLE CATCH BASINS AS PER OPSD 705.010 FRAME AND COVER AS PER OPSD 400.110.
- DOUBLE CATCH BASINS AS PER OPSD 705.020 FRAME AND COVER AS PER OPSD 400.110.
- FINAL ROADWAY CROSSFALL TO BE 2.0%.
- VALVES, MANHOLES AND CATCH BASINS SHALL BE PLACED AT ASPHALT BINDER COURSE (HL4) ELEVATION AS DIRECTED BY THE ENGINEER.
- AT SAC POINTS, CATCH BASIN ADJUSTMENT AND PAVING TO BE PLACED IN SUCH MANNER THAT WILL NOT OBSTRUCT DRAINAGE.
- FINAL ASPHALT COURSE (HL3) SHALL BE PLACED IN ACCORDANCE WITH APPROVED COUNTY OF NORFOLK STANDARDS FOR TIMING, AS DIRECTED BY THE ENGINEER AND AS PER THE REQUIREMENTS STIPULATED IN THE DEVELOPMENT AGREEMENT.
- FOR MANHOLE AND CATCH BASIN TOP ADJUSTMENTS, ALL PERMANENT ADJUSTMENTS ARE TO BE POURED IN PLACE OR APPROVED EQUIVALENT (e.g. MODULOC).
- ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GRANULAR ROAD BASES SHALL BE COMPACTED TO MIN 100% SPD UNLESS OTHERWISE SPECIFIED.
- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE SILTATION AND EROSION CONTROL PLAN.
- ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE COUNTY AND/OR THE ENGINEER.

SANITARY & STORM SEWERS:

- SANITARY & STORM SEWERS & RELATED APPURTENANCES SHALL BE DESIGNED AND CONSTRUCTED SO AS TO COMPLY WITH APPLICABLE LAW, TO BE CONSISTENT WITH THE COUNTY OF NORFOLK DEVELOPMENT AND ENGINEERING STANDARDS AND IN ACCORDANCE WITH CURRENT GUIDELINES, CODES, REGULATIONS, BEST PRACTICES AND STANDARDS PRESCRIBED BY THE COUNTY.
- COVER AND BEDDING MATERIAL FOR CONCRETE PIPE AS PER OPSD 802.030 CLASS 'B' BEDDING SHALL BE GRANULAR 'A' MATERIAL UNLESS OTHERWISE INDICATED.
- COVER AND BEDDING MATERIAL FOR PVC PIPE AS PER OPSD 802.010 TYPE 2 TRENCH BEDDING SHALL BE GRANULAR 'A' MATERIAL UNLESS OTHERWISE INDICATED.
- PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES FOR LEAKAGE AND TESTING, PIPE DEFLECTION, ETC.
- ALL SEWERS TO BE FLUSHED & VIDEOED PRIOR TO THE SUBMISSION OF THE FIRST INTERIM COMPLETION CERTIFICATE AND PRIOR TO THE FINAL COMPLETION CERTIFICATE.
- ALTERNATE MATERIALS MAY BE ACCEPTABLE, PROVIDED APPROVAL HAS FIRST BEEN OBTAINED FROM THE COUNTY OF NORFOLK AND ENGINEER IN WRITING.
- SAFETY PLATFORMS AS PER OPSD 404.020.
- DROP STRUCTURES AS PER OPSD 1003.010.
- ALL STORM MANHOLES AND CATCHBASINS TO BE PRECAST CONCRETE STRUCTURES MANUFACTURED IN PRE QUALIFIED PLANTS IN ACCORDANCE WITH THE LATEST APPLICABLE ONTARIO PROVINCIAL STANDARD (OPS) DRAWINGS AND SPECIFICATIONS.
- ALL SEWER AND CULVERT INSTALLATIONS TO CONFORM WITH OPSD 802.031 TYPE 3 SOIL.
- ALL MANHOLE FRAMES AND COVERS TO CONFORM WITH OPSD 401.010 TYPE 'A' CLOSED COVER.
- MANHOLES SHALL BE SUPPLIED TO THE SITE PRE-BENCHED UNLESS OTHERWISE NOTED.
- PRIVATE SANITARY & STORM DRAINS TO BE LOCATED AS PER THE TYPICAL LOT SERVICING DETAIL THIS SHEET.
- PRIVATE SANITARY DRAINS TO 125mm# PVC DR28 PIPE.
- A 30x88mm x 2.0m LONG MARKER IS TO BE PLACED FROM THE CAPPED LATERAL AND EXTEND 1.0m ABOVE GROUND AND PAINTED GREEN FOR SANITARY AND WHITE FOR STORM.
- BEDDING FOR PRIVATE SANITARY & STORM DRAINS AS PER OPSD 1006.02 TYPE 2 TRENCH WITH GRANULAR 'A' BEDDING AND COVER MATERIAL.
- MINIMUM FALL FOR PRIVATE SANITARY & STORM DRAINS TO BE 2.0%.
- EXFILTRATION (INFILTRATION) TESTING AND AIR TESTING OF THE SANITARY SEWER IS TO BE PERFORMED BY THE CONTRACTOR.
- SANITARY SEWERS:
- MAINLINE SANITARY SEWERS TO BE CSA B182.2 DR35 P.V.C. PIPE
- STORM SEWERS:
- MAINLINE STORM SEWERS UP TO AND INCLUDING 450mm# TO BE CSA B182.2 DR35 P.V.C. PIPE, OR CSA A257.2 CONCRETE PIPE
- 525mm# AND LARGER MAINLINE STORM SEWERS TO BE CSA A257.2 CONCRETE PIPE
- BENCHING WILL BE REQUIRED ON ALL MANHOLES.

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

GENERAL LEGEND:

- S1 EXISTING SANITARY MANHOLE
- ST1 EXISTING STORM MANHOLE
- CB EXISTING CATCHBASIN
- DCB EXISTING DOUBLE CATCHBASIN
- DCB EXISTING DITCH INLET CATCHBASIN
- ◇ FH EXISTING FIRE HYDRANT
- ✕ V&B EXISTING VALVE & BOX
- *WB EXISTING WATER SERVICE & CURBSTOP
- S1 PROPOSED SANITARY MANHOLE
- ST1 PROPOSED STORM MANHOLE
- DCB PROPOSED CATCHBASIN MANHOLE
- CB PROPOSED CATCHBASIN
- DCB PROPOSED DOUBLE CATCHBASIN
- DCB EXISTING DITCH INLET CATCHBASIN
- ◆ FHV PROPOSED FIRE HYDRANT & VALVE
- ✕ V&B PROPOSED VALVE & BOX
- WS PROPOSED WATER SERVICE & CURBSTOP
- HY PROPOSED HYDRO VAULT
- LS PROPOSED LIGHT STANDARD

NO.	REVISION	DATE (MM/DD/YY)	BY
2	ADDED EASEMENTS	04/22/19	K.P.B.
1	AS PER COUNTY COMMENTS	01/23/19	K.P.B.

J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL: (519) 753-2656 FAX: (519) 753-4263 www.cohooneg.com

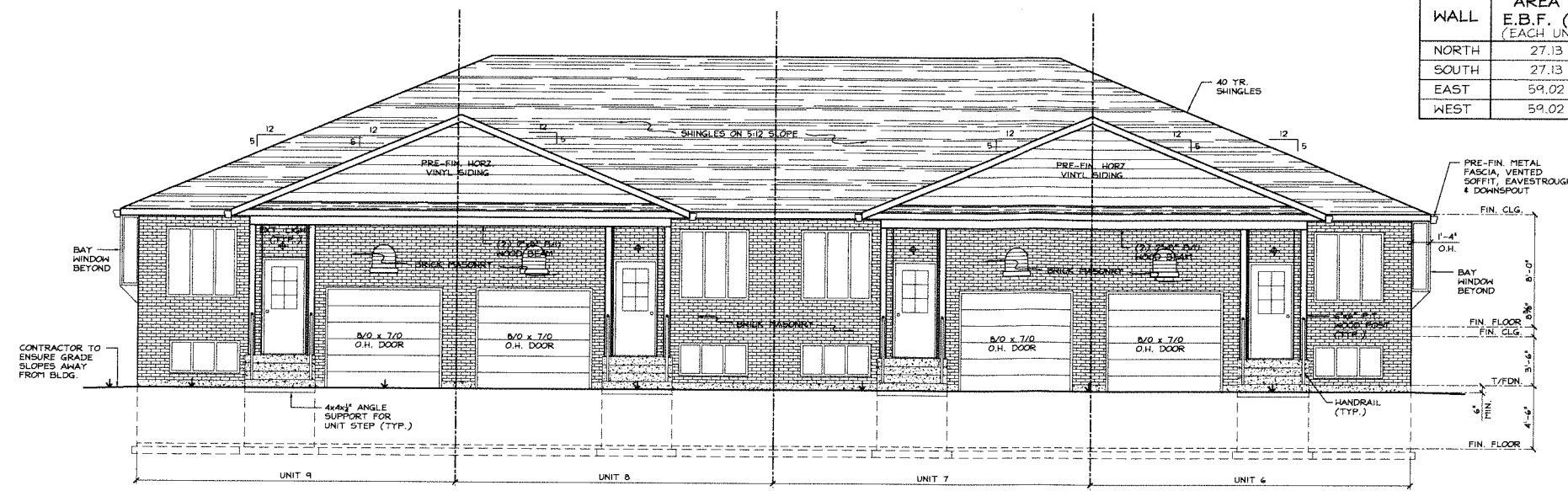
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
PART OF LOTS 1 & 10
BLOCK 32 - R.P. 182
(BLOCKS 1-3, PLAN 37M-71)
WINDHAM STREET
NORFOLK COUNTY

CLIENT: **MAYBERRY HOMES**

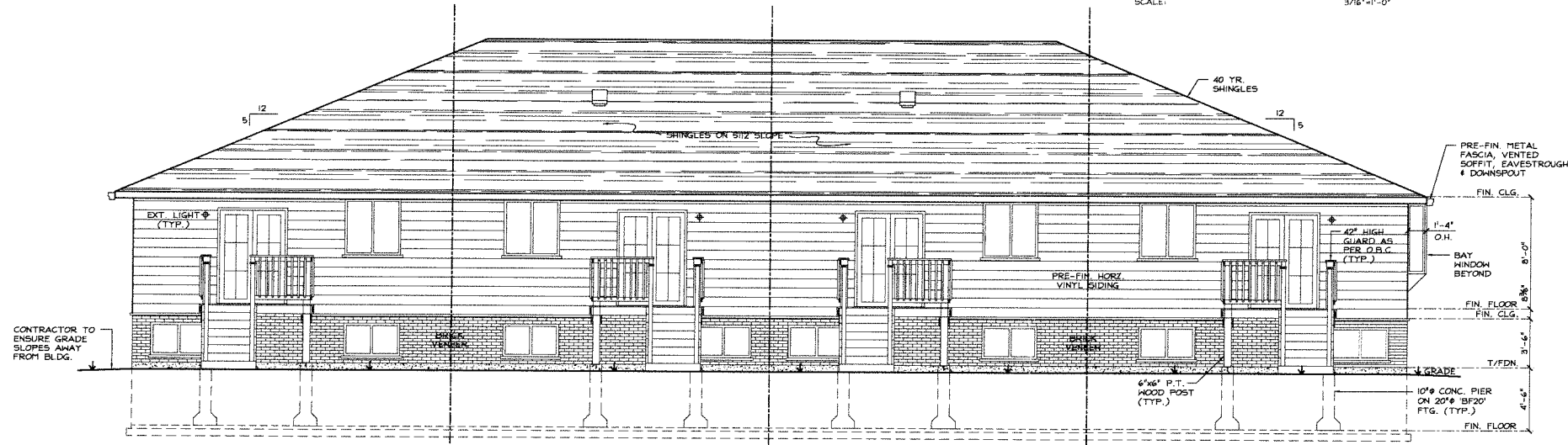
TYPICAL ROAD SECTION DETAILS & NOTES

DESIGN: R.W.P.	SCALE: 1:250
DRAWN: K.P.B.	JOB No:
CHECKED: R.W.P.	10968
SHEET: 6 of 6	DWG. No:
DATE: SEPT. 6/18	10968-6

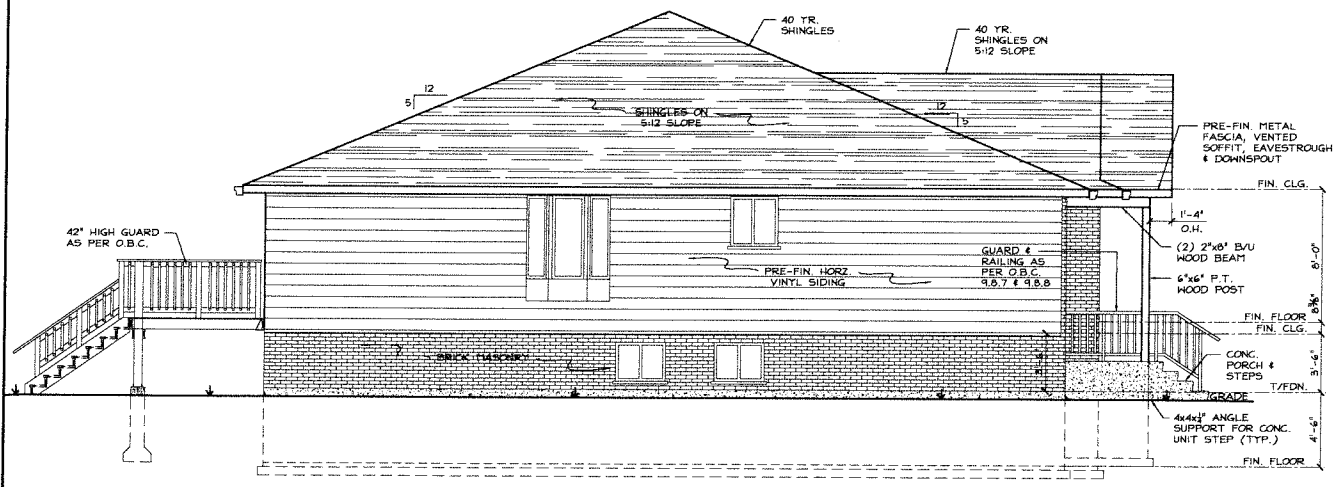
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS					
WALL	AREA OF E.B.F. (m ²) (EACH UNIT)	L.D. (M.)	PERMITTED MAX. % OPENINGS	PROP. % OF OPENINGS	F.R.R. (HRS)
NORTH	27.13	19.38	100%	23.3	---
SOUTH	27.13	16.06	100%	38.6	---
EAST	59.02	7.40	49.4%	7.56	---
WEST	59.02	1.84	8.68%	7.56	---



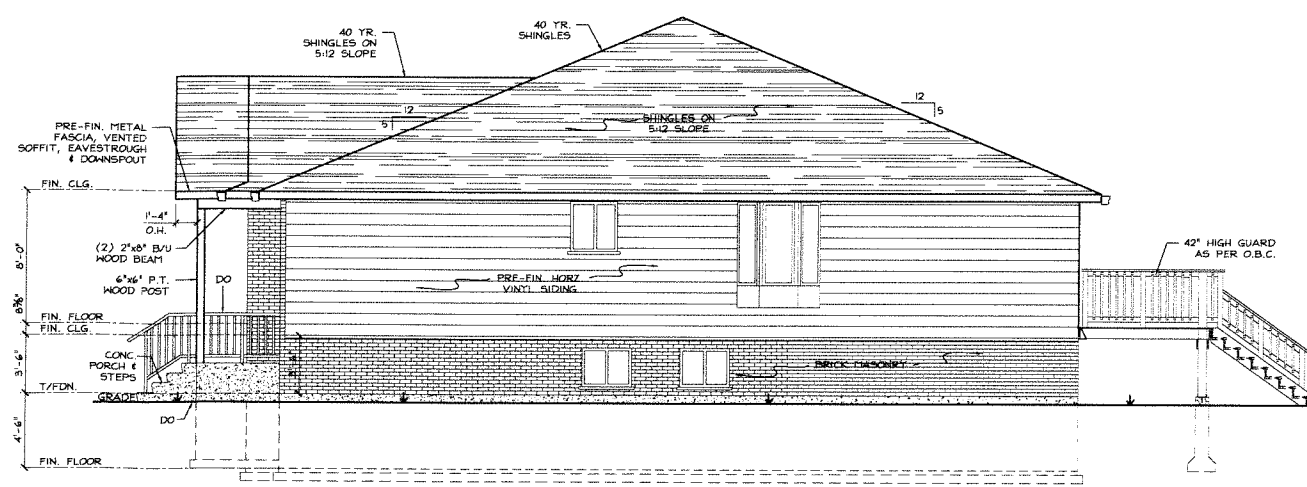
FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



REAR (NORTH) ELEVATION
SCALE: 3/16"=1'-0"



LEFT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

NO.	REVISION	DATE	BY

J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS

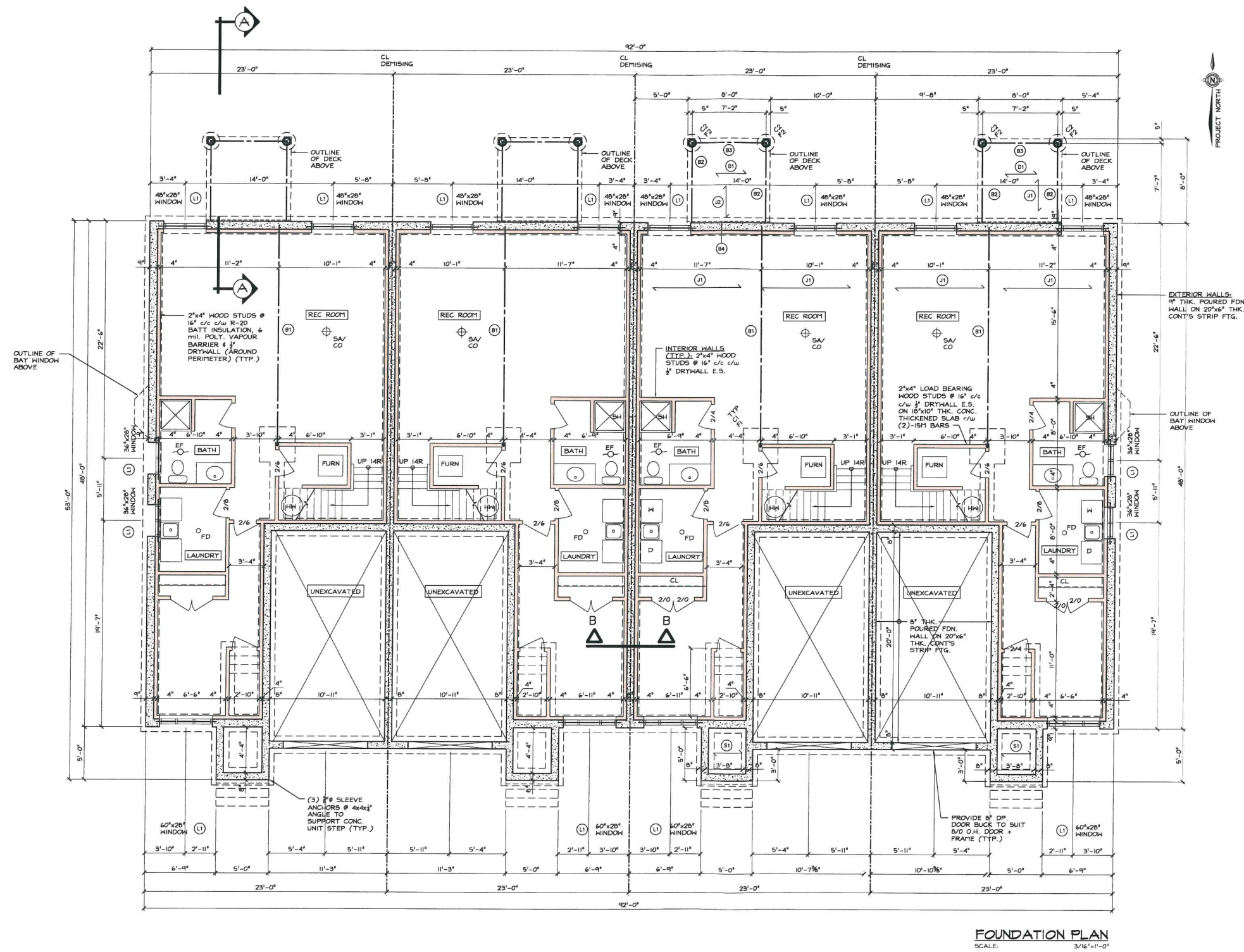
440 HARDY ROAD, UNIT #1, BRAMFORD - ONTARIO, N3T 5L8
TEL: (519) 753-2858 FAX: (519) 753-4283 www.cohooneg.com

PROJECT:
PROPOSED 4-UNIT STREET TOWNHOUSES PHASE 2
UNITS 11 TO 14
WINDHAM STREET
PT. LOT 1, ALL LOT 10 BL. 32, R.P. 182
NORFOLK COUNTY

CLIENT:
MAYBERRY HOMES

ELEVATIONS

DESIGN: J.C.T.	SCALE: AS SHOWN
DRAWN: A.J.J./I.A.C.	JOB No: 10968
CHECKED: R.W.P.	
SHEET: 1 of 4	DWG. No: PH2-S1
DATE: APR 11, 2019	



- NOTES:**
- ALL FOUNDATIONS TO HAVE A MINIMUM COVER OF 4'-0".
 - ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 3000 P.S.F.
 - CONCRETE TO HAVE A MINIMUM 28 DAY STRENGTH OF 3750 P.S.I. (25 MPa).
 - ALL REINFORCING STEEL TO HAVE A MINIMUM YIELD STRENGTH OF 60 K.S.I. (DEFORMED BARS).
 - MINIMUM COVER ON ALL REINFORCING STEEL IS 2 1/2".
 - ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
 - CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
 - VERIFICATION OF SOIL BEARING CAPACITY
 - INSPECTION OF REINFORCING
 - DRAWINGS NOT TO BE SCALED.

- STRUCTURAL LEGEND:**
- (B1) - W8x35 STEEL BEAM WITH 2"x8" TOP PLATE
 - (B2) - (2) 2"x8" P.T. B/U WOOD BEAM
 - (B3) - (3) 2"x8" P.T. B/U WOOD BEAM
 - (B4) - 2"x8" P.T. WOOD HEADER c/w 1/2"x THRU BOLTS @ 18" c/c
 - (D1) - 5/4"x8" P.T. WOOD DECK BOARDS
 - (J1) - 2"x8" WOOD FLOOR JOISTS @ 16" c/c
 - (J2) - 2"x8" P.T. WOOD JOISTS @ 16" c/c
 - (L1) - (2) 2"x8" B/U WOOD BEAM
 - (S1) - 6" THK. CONC. SLAB r/w 10M BARS @ 8" c/c E.W. + 10M DOWELS @ 24" c/c BENT 18"
 - C1 - 3 1/2"x0.188" HSS STEEL POST @ 18"
 - C2 - 6"x6" P.T. WOOD POST
 - F1 - 40"x40"x12" THK. FTG.
 - F2 - 10" CONC. PIER ON 20" CONC. FTG. (AS BY 'BIGFOOT' '8220')

- ARCHITECTURAL LEGEND:**
- SA - DENOTES SMOKE ALARM AND CO DETECTOR WITH AUDIBLE/VISUAL ALARMS AND INTERCONNECTED AT EACH UNIT
 - EF - DENOTES EXHAUST FAN
 - FD - DENOTES FLOOR DRAIN

NO.	REVISION	DATE (MM/DD/YY)	BY
2	AS PER COUNTY COMMENTS	10/15/15	A.J.J.
1	REVISE UNIT DIMENSIONS	08/25/15	A.J.J.

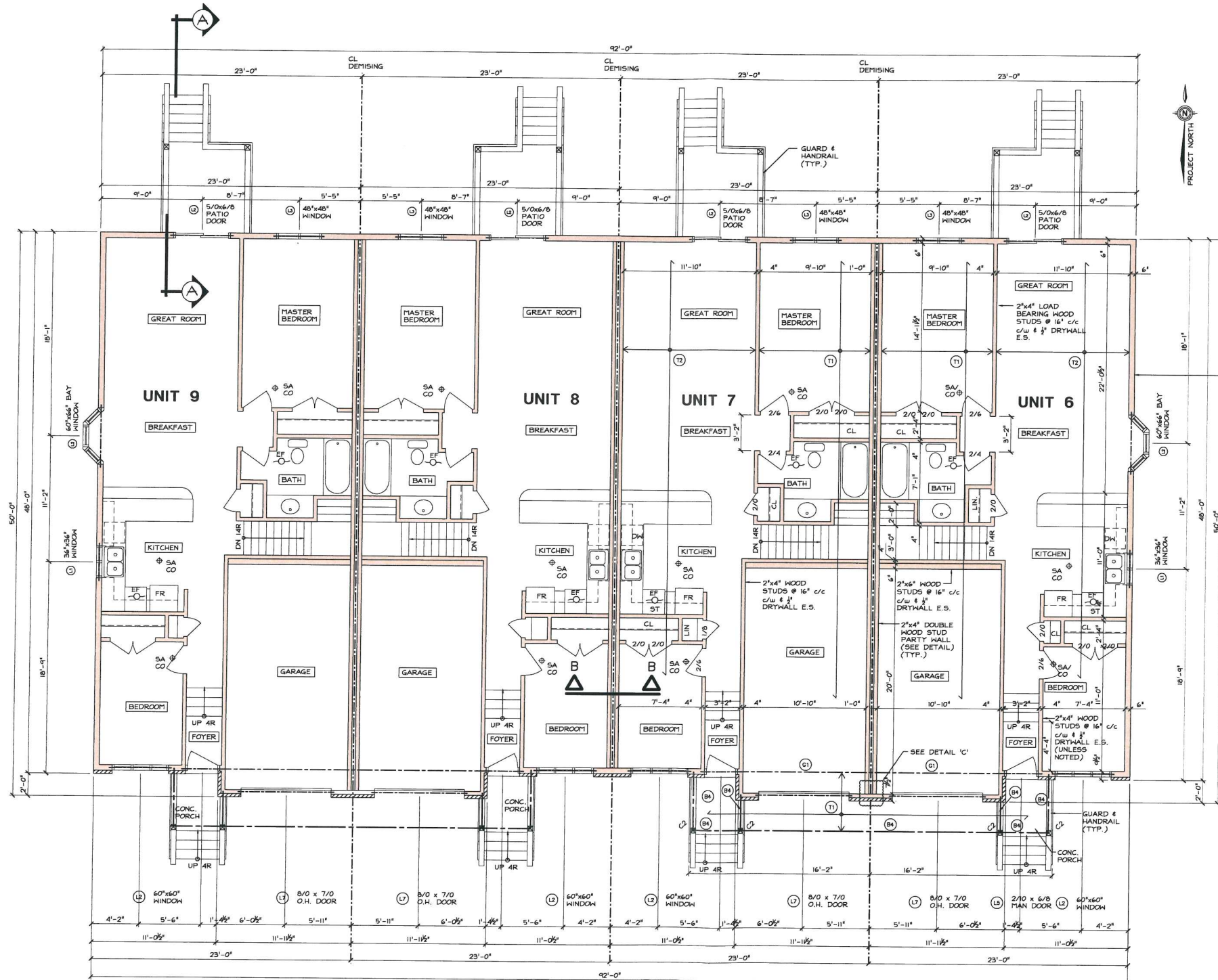
J.H. COHOON ENGINEERING LIMITED
CONSULTING ENGINEERS
440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL. (519) 753-2856 FAX. (519) 753-4263 www.cohooneng.com

PROJECT:
PROPOSED 4-UNIT STREET TOWNHOUSES PHASE 2
UNITS 11 TO 14
WINDHAM STREET
PT. LOT 1, ALL LOT 10 BL. 32, R.P. 182
NORFOLK COUNTY

CLIENT:
MAYBERRY HOMES

FOUNDATION PLAN

DESIGN:	J.C.T.	SCALE:	AS SHOWN
DRAWN:	A.J.J./I.A.C.	JOB No:	
CHECKED:	R.W.P.		10968
SHEET:	2 of 4	DWG. No:	
DATE:	APR 11, 2019		10968-S2



EXTERIOR WALL (TYP.):
 - PRE-FIN. HORIZ. VINYL SIDING
 - (BRICK MASONRY BOTTOM 3'-6")
 - "TYVEK" AIR BARRIER
 - 1/2" HALL SHEATHING
 - 2"x4" WOOD STUDS @ 16" c/c
 - c/w R-24 BATT INSULATION
 - 6 mil. POLY. VAPOUR BARRIER
 - 1/2" DRYWALL

MAIN FLOOR PLAN
 SCALE: 3/16"=1'-0"
 AREA = 4503.7 sq (418.4 sm)

- NOTES:**
- ALL STEEL TO CONFORM TO CSA G40.21 GR44W or 50W.
 - ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 or 2.
 - ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE.
 - CONTRACTOR/STEEL FABRICATOR IS REQUIRED TO FIELD MEASURE THE STRUCTURE PRIOR TO FABRICATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
 - THE MINIMUM BEARING DISTANCE ON MASONRY WALLS ARE:
 FOR BEAMS - 6"
 FOR LINTELS - 8"
 - ALL LUMBER TO BE S.P.F. No. 2 or BETTER.
 - DESIGN LOADS:
 ROOF: 21.7 P.S.F. (LIVE-SNOW)
 8.4 P.S.F. (LIVE-RAIN)
 20.0 P.S.F. (DEAD)
 50.1 P.S.F. (TOTAL)
 - DRAWINGS NOT TO BE SCALED.

- STRUCTURAL LEGEND:**
- (B) - (2) 2"x8" B/U WOOD BEAM
 - (L) - (3) 2"x10" B/U WOOD BEAM
 - (U) - (2) 2"x10" B/U WOOD BEAM
 - (A) - (2) 2"x10" B/U WOOD BEAM + 4x4x1/4 ANGLE
 - (C) - (2) 2"x10" B/U WOOD BEAM + 6x4x5/16 ANGLE
 - (T) - PRE-ENG. WOOD GIRDER TRUSS c/w JOIST HANGERS
 - (R) - PRE-ENG. WOOD ROOF TRUSSES @ 16" c/c (FLAT)
 - (Z) - PRE-ENG. WOOD CATHEDRAL ROOF TRUSSES @ 16" c/c
 - C2 - 6"x6" P.T. WOOD POST
 - P1 - 12" CONC. PIER

- ARCHITECTURAL LEGEND:**
- SA CO - DENOTES SMOKE ALARM AND CO DETECTOR WITH AUDIBLE/VISUAL ALARMS AND INTERCONNECTED AT EACH UNIT
 - EF - DENOTES EXHAUST FAN
 - DENOTES FIRE SEPARATION BETWEEN UNITS WITH 1 HR. F.R.R. AS PER O.B.C. 9.10.9.14 (3) AND S.T.C. RATING OF 50 AS PER O.B.C. 9.11.2.1 (1).

NO.	REVISION	DATE (MM/DD/YY)	BY
2	AS PER COUNTY COMMENTS	10/15/15	A.J.J.
1	REVISE UNIT DIMENSIONS	08/25/15	A.J.J.



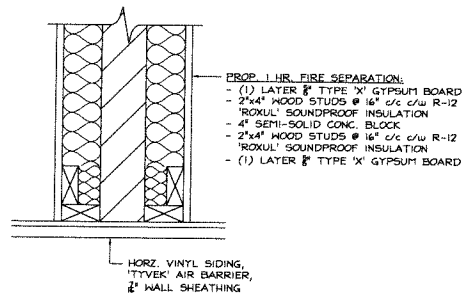
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PROJECT: **PROPOSED 4-UNIT STREET TOWNHOUSES PHASE 2**
 UNITS 11 TO 14 WINDHAM STREET
 PT. LOT 1, ALL LOT 10 BL. 32, R.P. 182 NORFOLK COUNTY

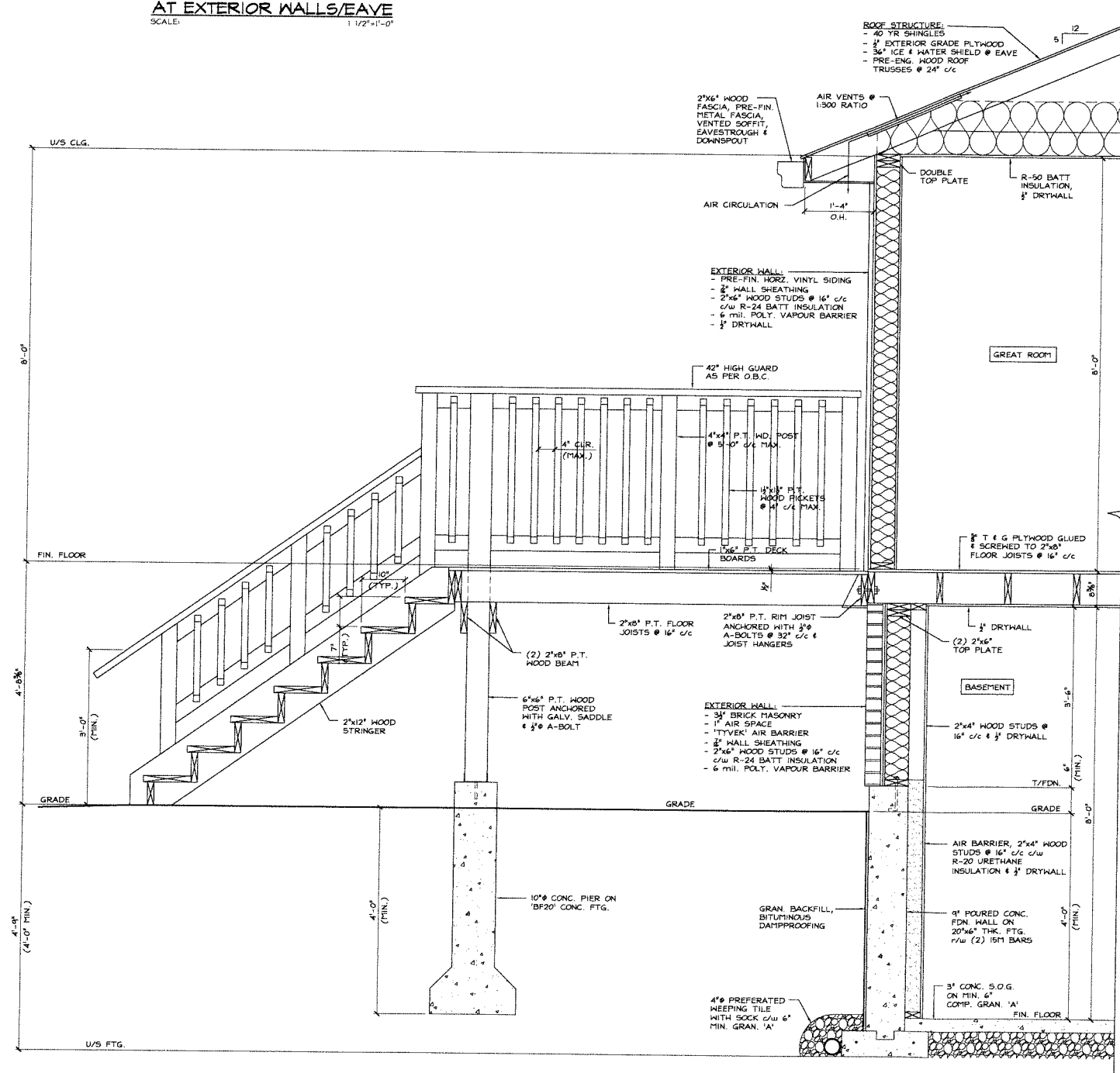
CLIENT: **MAYBERRY HOMES**

MAIN FLOOR PLAN

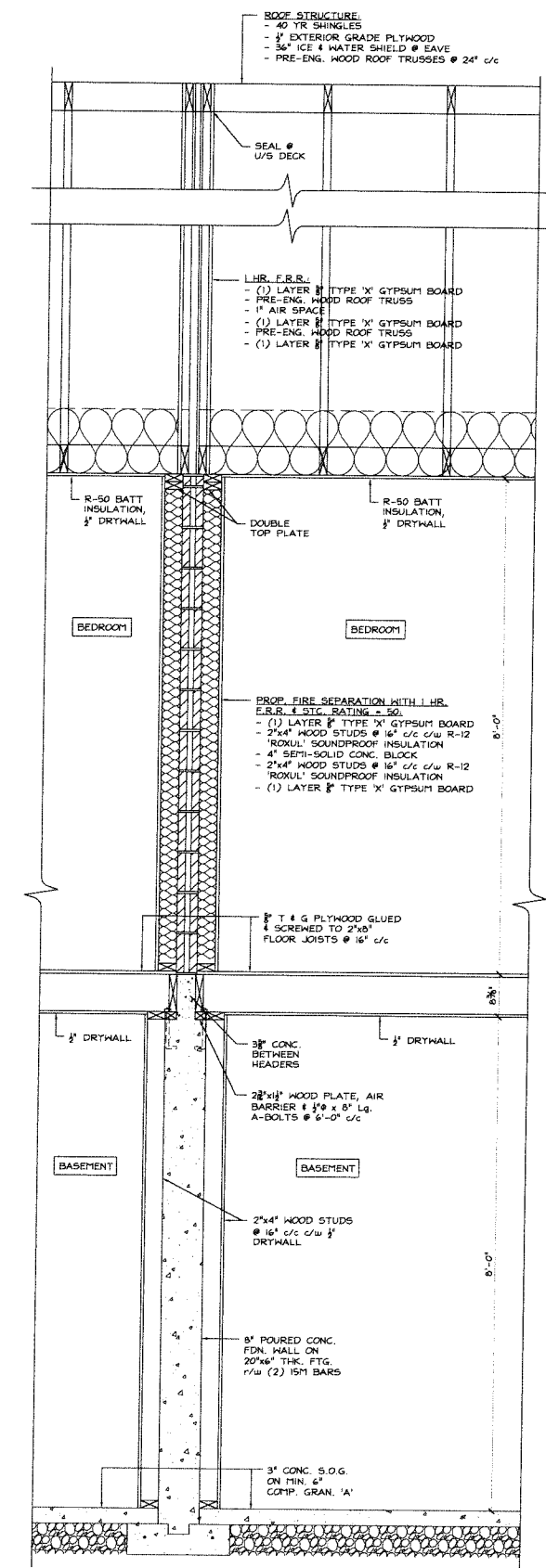
DESIGN: J.C.T.	SCALE: AS SHOWN
DRAWN: A.J.J./I.A.C.	JOB No: 10968
CHECKED: R.W.P.	JWG. No:
SHEET: 3 of 4	PH-S3
DATE: APR 11, 2019	



**DETAIL 'C' - PARTY WALL PLAN VIEW
AT EXTERIOR WALLS/EAVE**
SCALE: 1/2"=1'-0"



X-SECTION 'A-A'
SCALE: 3/4"=1'-0"



X-SECTION 'B-B' - TYP. PARTY WALL
SCALE: 3/4"=1'-0"

1	AS PER COUNTY COMMENTS	10/15/15	A.J.J.
NO.	REVISION	DATE	BY



440 HARDY ROAD, UNIT #1, BRANTFORD, ONTARIO, N3T 5L8
TEL: (519) 753-2856 FAX: (519) 753-4283 www.cohooneng.com

PROJECT:
**PROPOSED 4-UNIT STREET
TOWNHOUSES PHASE 2**
UNITS 11 TO 14
WINDHAM STREET
PT. LOT 1, ALL LOT 10 BL. 32, R.P. 182
NORFOLK COUNTY

CLIENT:
MAYBERRY HOMES

**X-SECTIONS
'A-A' & 'B-B'**

DESIGN:	J.C.T.	SCALE:	AS SHOWN
DRAWN:	A.J.J./I.A.C.	JOB No.:	10968
CHECKED:	R.W.P.	DWG. No.:	PH2-S4
SHEET:	4 of 4	DATE:	APR 11, 2019

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN OF SURVEY OF PARTS OF BLOCKS 1, 2 and 3 REGISTERED PLAN 37M-71 NORFOLK COUNTY

SCALE - 1 : 200



WEST & RUUSKA LTD.

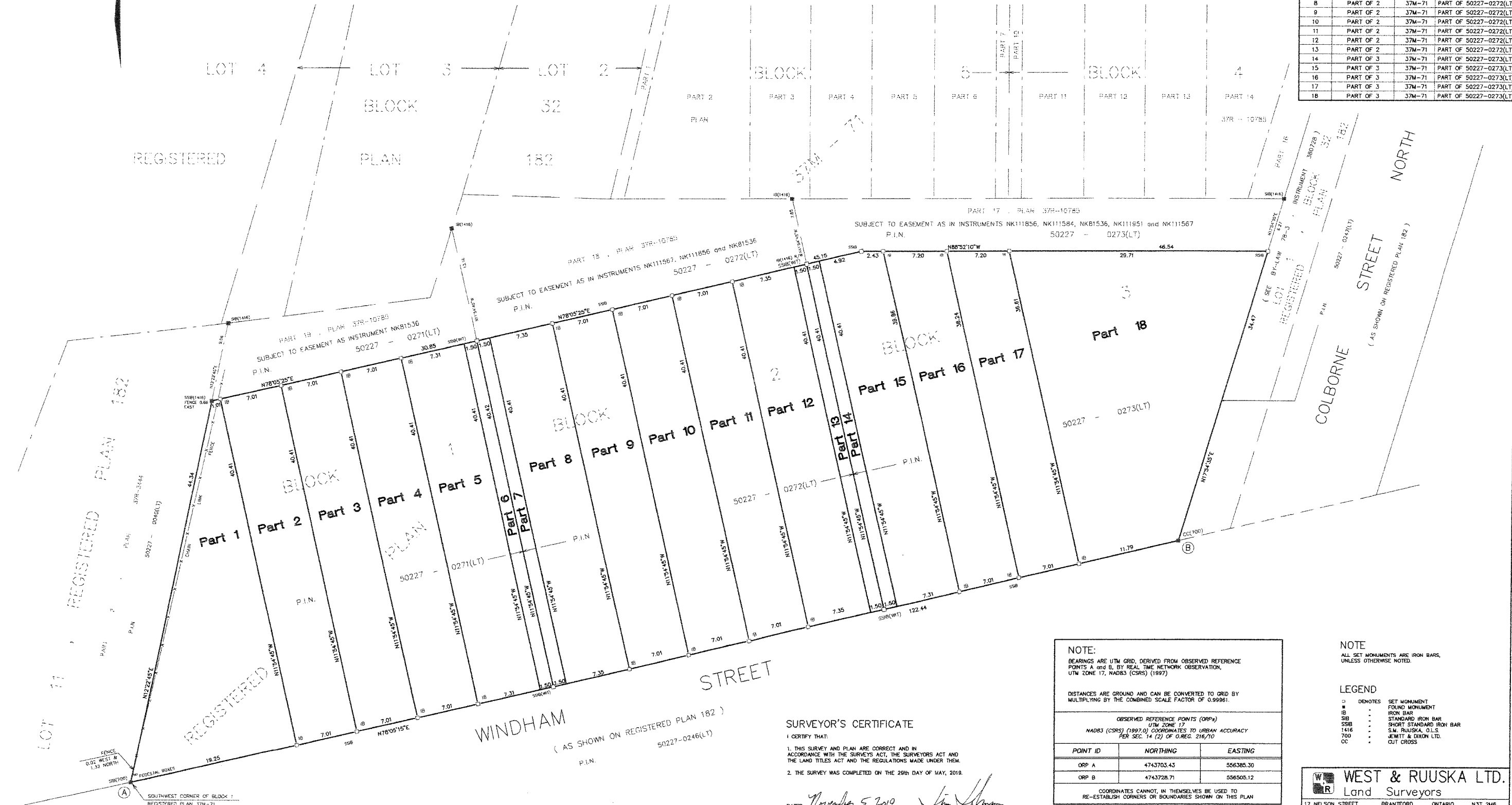


PARTS 1, 2, 3, 4, 5 and 6 COMPRISE PART OF P.I.N. 50227-0271(LT).
PARTS 7, 8, 9, 10, 11, 12 and 13 COMPRISE PART OF P.I.N. 50227-0272(LT).
PARTS 14, 15, 16, 17 and 18 COMPRISE PART OF P.I.N. 50227-0273(LT).

PLAN 37R-11264
RECEIVED AND DEPOSITED
DATED November 28, 2019
JIM JOHNSON, O.L.S.
REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF NORFOLK (No. 37)

SCHEDULE

PART	BLOCK	PLAN	P.I.N.
1	PART OF 1	37M-71	PART OF 50227-0271(LT)
2	PART OF 1	37M-71	PART OF 50227-0271(LT)
3	PART OF 1	37M-71	PART OF 50227-0271(LT)
4	PART OF 1	37M-71	PART OF 50227-0271(LT)
5	PART OF 1	37M-71	PART OF 50227-0271(LT)
6	PART OF 1	37M-71	PART OF 50227-0271(LT)
7	PART OF 2	37M-71	PART OF 50227-0272(LT)
8	PART OF 2	37M-71	PART OF 50227-0272(LT)
9	PART OF 2	37M-71	PART OF 50227-0272(LT)
10	PART OF 2	37M-71	PART OF 50227-0272(LT)
11	PART OF 2	37M-71	PART OF 50227-0272(LT)
12	PART OF 2	37M-71	PART OF 50227-0272(LT)
13	PART OF 2	37M-71	PART OF 50227-0272(LT)
14	PART OF 3	37M-71	PART OF 50227-0273(LT)
15	PART OF 3	37M-71	PART OF 50227-0273(LT)
16	PART OF 3	37M-71	PART OF 50227-0273(LT)
17	PART OF 3	37M-71	PART OF 50227-0273(LT)
18	PART OF 3	37M-71	PART OF 50227-0273(LT)



NOTE:
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A and B, BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (1997)

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99961.

OBSERVED REFERENCE POINTS (ORP):
UTM ZONE 17
NAD83 (CSRS) (1997), COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10

POINT ID	NORTHING	EASTING
ORP A	4743703.43	556385.30
ORP B	4743728.71	556505.12

COORDINATES CANNOT, IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

NOTE
ALL SET MONUMENTS ARE IRON BARS, UNLESS OTHERWISE NOTED.

LEGEND

- DENOTES SET MONUMENT
- FOUND MONUMENT
- IRON BAR
- STANGARD IRON BAR
- SHORT STANDARD IRON BAR
- 1416 S.W. RUUSKA, O.L.S.
- 700 JEWITT & DIXON LTD.
- CC OUT CROSS

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 29th DAY OF MAY, 2019.

DATED November 5, 2019
JIM JOHNSON
ONTARIO LAND SURVEYOR

WEST & RUUSKA LTD.
Land Surveyors
17 NELSON STREET, BRANTFORD, ONTARIO, N3T 2M6
Telephone (519) 752-8641
DRAWN BY: Ted S. KUTYLA, CST, OET Q130023

PROPERTY DESCRIPTION: BLOCK 1, PLAN 37M71; SUBJECT TO AN EASEMENT IN GROSS OVER PT 19 37R10785 AS IN NK81536; SUBJECT TO AN EASEMENT IN GROSS OVER PT 19 37R10785 AS IN NK125262; NORFOLK COUNTY

PROPERTY REMARKS: FOR THE PURPOSE OF THE QUALIFIER THE DATE OF REGISTRATION OF ABSOLUTE TITLE IS 2014/02/07.

ESTATE/QUALIFIER: FEE SIMPLE
LT ABSOLUTE PLUS

RECENTLY: SUBDIVISION FROM 50227-0269

PIN CREATION DATE: 2015/07/14

OWNERS' NAMES: 1498745 ONTARIO LTD.

CAPACITY SHARE: RCWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT TO SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPHS 3 AND 14 AND *						
** PROVINCIAL SUCCESSION DUTIES AND EXCEPT PARAGRAPH 11 AND ESCHEATS OR FORFEITURE **						
** TO THE CROWN UP TO THE DATE OF REGISTRATION WITH AN ABSOLUTE TITLE. **						
NK59685	2013/02/22	CHARGE	\$700,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK70082	2014/05/07	NOTICE	\$2	THE CORPORATION OF NORFOLK COUNTY		C
37M71	2015/07/06	PLAN SUBDIVISION				C
37R10785	2015/07/29	PLAN REFERENCE				C
NK81536	2015/08/07	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	THE CORPORATION OF NORFOLK COUNTY	C
NK81537	2015/08/07	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK81536 (PTS 1, 7, 10, 16, 17, 18 & 19 37R10785)						
NK122765	2019/08/22	NO SUB AGREEMENT		THE CORPORATION OF NORFOLK COUNTY	1498745 ONTARIO LTD.	C
NK122772	2019/08/22	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK122765						
NK123034	2019/08/30	CHARGE	\$2,327,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK125262	2019/11/05	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	ENBRIDGE GAS INC.	C
37R11264	2019/11/22	PLAN REFERENCE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

PROPERTY DESCRIPTION:

BLOCK 2, PLAN 37M71; SUBJECT TO AN EASEMENT IN GROSS OVER PT 18 37R10785 AS IN NK81536; SUBJECT TO AN EASEMENT OVER PT 18 37R10785 IN FAVOUR OF PART 3 ON 37R10785 AS IN NK111567; SUBJECT TO AN EASEMENT OVER PT 18 37R10785 IN FAVOUR OF PARTS 1 & 2, 37R10785 AS IN NK111856; SUBJECT TO AN EASEMENT IN GROSS OVER PT 18 37R10785 AS IN NK125262; NORFOLK COUNTY

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY REMARKS:

FOR THE PURPOSE OF THE QUALIFIER THE DATE OF REGISTRATION OF ABSOLUTE TITLE IS 2014/01/07.

ESTATE/QUALIFIER:

FEE SIMPLE
LT ABSOLUTE PLUS

RECENTLY:

SUBDIVISION FROM 50227-0269

PIN CREATION DATE:

2015/07/14

OWNERS' NAMES

1498745 ONTARIO LTD.

CAPACITY SHARE
ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT TO SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPHS 3 AND 14 AND *						
** PROVINCIAL SUCCESSION DUTIES AND EXCEPT PARAGRAPH 1 AND ESCHEATS OR FORFEITURE **						
** TO THE CROWN UP TO THE DATE OF REGISTRATION WITH AN ABSOLUTE TITLE. **						
NK59685	2013/02/22	CHARGE	\$700,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK70082	2014/05/07	NOTICE	\$2	THE CORPORATION OF NORFOLK COUNTY		C
37M71	2015/07/06	PLAN SUBDIVISION				C
37R10785	2015/07/29	PLAN REFERENCE				C
NK81536	2015/06/07	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	THE CORPORATION OF NORFOLK COUNTY	C
NK81537	2015/08/07	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK81536 (PTS 1, 7, 10, 16, 17, 18 & 19 37R10785)						
NK122765	2019/08/22	NO SUB AGREEMENT		THE CORPORATION OF NORFOLK COUNTY	1498745 ONTARIO LTD.	C
NK122772	2019/08/22	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK122765						
NK123034	2019/08/30	CHARGE	\$2,327,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK125262	2019/11/05	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	ENBRIDGE GAS INC.	C
37R11264	2019/11/22	PLAN REFERENCE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

50227-0273 (LT)

PROPERTY DESCRIPTION:

BLOCK 3, PLAN 37M71; SUBJECT TO AN EASEMENT IN GROSS OVER PT 17 37R10785 AS IN NK81536; SUBJECT TO AN EASEMENT OVER PT 17 ON 37R10785 IN FAVOUR OF PT 3 ON 37R10785 AS IN NK111957; SUBJECT TO AN EASEMENT OVER PT 17 ON 37R10785 IN FAVOUR OF PART 5,7,9 ON 37R10785 AS IN NK111984; SUBJECT TO AN EASEMENT OVER PT 17 ON 37R10785 IN FAVOUR OF PARTS 1 & 2, 37R10785 AS IN NK111856; SUBJECT TO AN EASEMENT OVER PT 17 ON 37R10785 IN FAVOUR OF PT 4 ON 37R10785 AS IN NK111951; SUBJECT TO AN EASEMENT IN GROSS OVER PT 17 37R10785 AS IN NK125262; NORFOLK COUNTY

PROPERTY REMARKS:

FOR THE PURPOSE OF THE QUALIFIER THE DATE OF REGISTRATION OF ABSOLUTE TITLE IS 2014/02/07.

ESTATE/QUALIFIER:

FEE SIMPLE
LT ABSOLUTE PLUS

RECENTLY:

SUBDIVISION FROM 50227-0269

PIN CREATION DATE:

2015/07/14

OWNERS' NAMES

1498745 ONTARIO LTD.

CAPACITY SHARE

BOWN

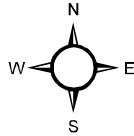
REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT TO SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPHS 3 AND 14 AND *						
** PROVINCIAL SUCCESSION DUTIES AND EXCEPT PARAGRAPH 1 AND ESCHEATS OR FORFEITURE **						
** TO THE CROWN UP TO THE DATE OF REGISTRATION WITH AN ABSOLUTE TITLE. **						
NK59685	2013/02/22	CHARGE	\$700,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK70082	2014/05/07	NOTICE	\$2	THE CORPORATION OF NORFOLK COUNTY		C
37M71	2015/07/06	PLAN SUBDIVISION				C
37R10785	2015/07/29	PLAN REFERENCE				C
NK81536	2015/08/07	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	THE CORPORATION OF NORFOLK COUNTY	C
NK81537	2015/08/07	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK81536 (PTS 1, 7, 10, 16, 17, 18 & 19 37R10785)						
NK122765	2019/08/22	NO SUB AGREEMENT		THE CORPORATION OF NORFOLK COUNTY	1498745 ONTARIO LTD.	C
NK122772	2019/09/22	POSTPONEMENT		DEGRANDISCO INC.	THE CORPORATION OF NORFOLK COUNTY	C
REMARKS: NK59685 TO NK122765						
NK123034	2019/08/30	CHARGE	\$2,327,000	1498745 ONTARIO LTD.	DEGRANDISCO INC.	C
NK125262	2019/11/05	TRANSFER EASEMENT	\$2	1498745 ONTARIO LTD.	ENBRIDGE GAS INC.	C
37R11264	2019/11/22	PLAN REFERENCE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

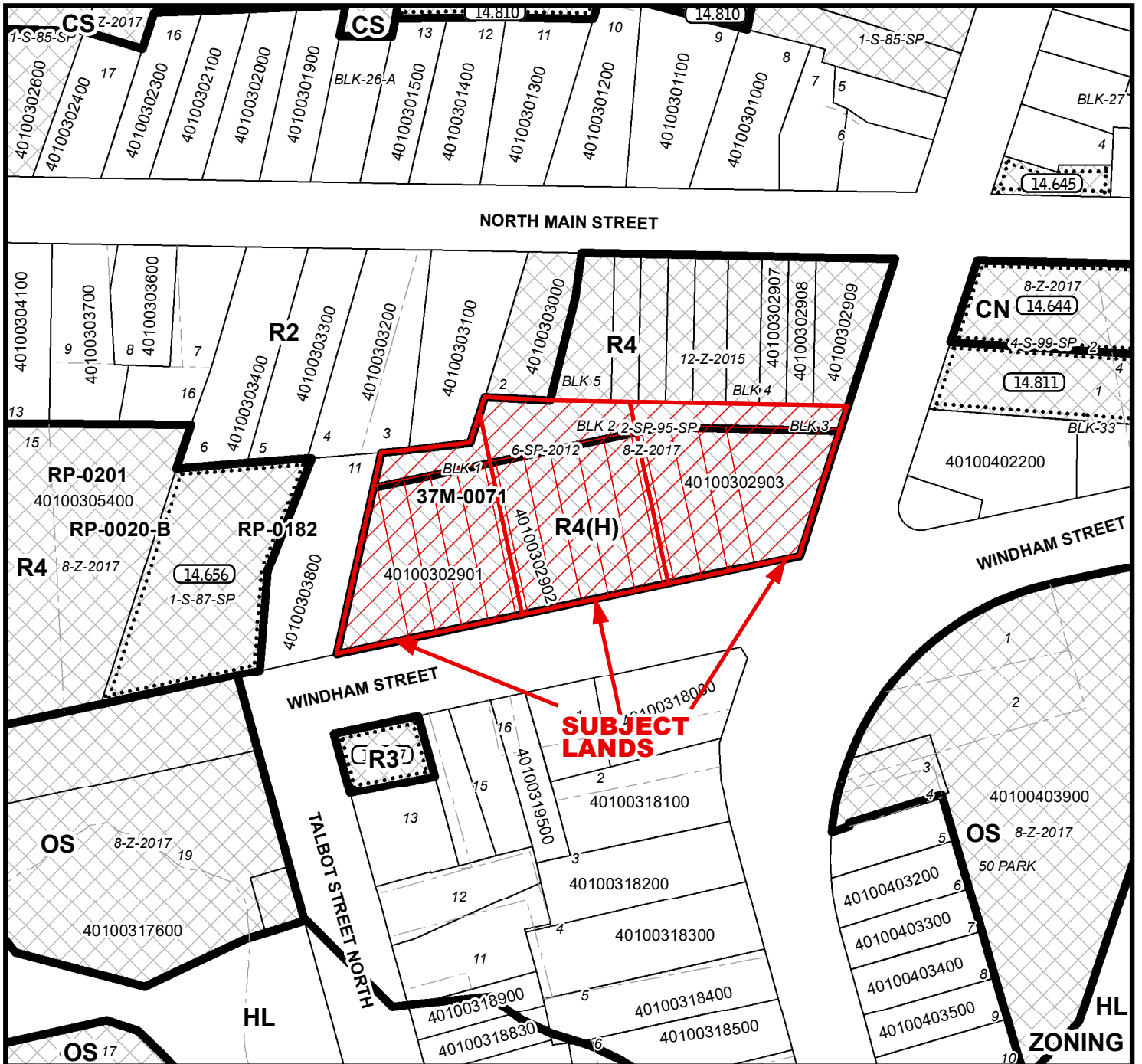
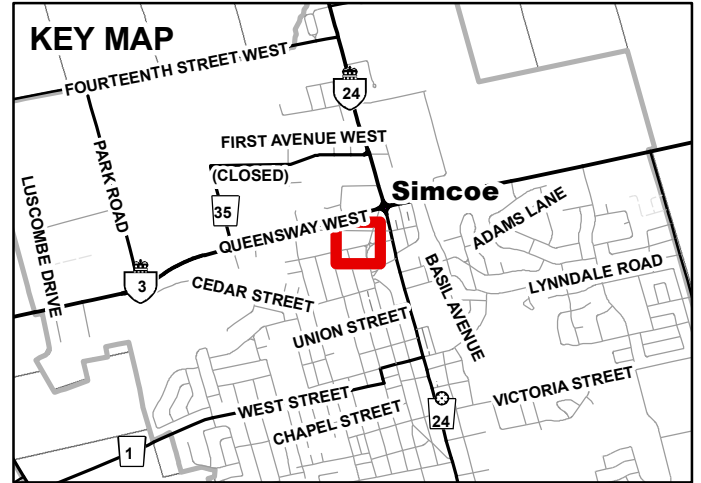
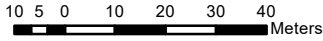
MAP 1

File Number: ZNPL2020073 & PLPL2020052

Urban Area of
SIMCOE



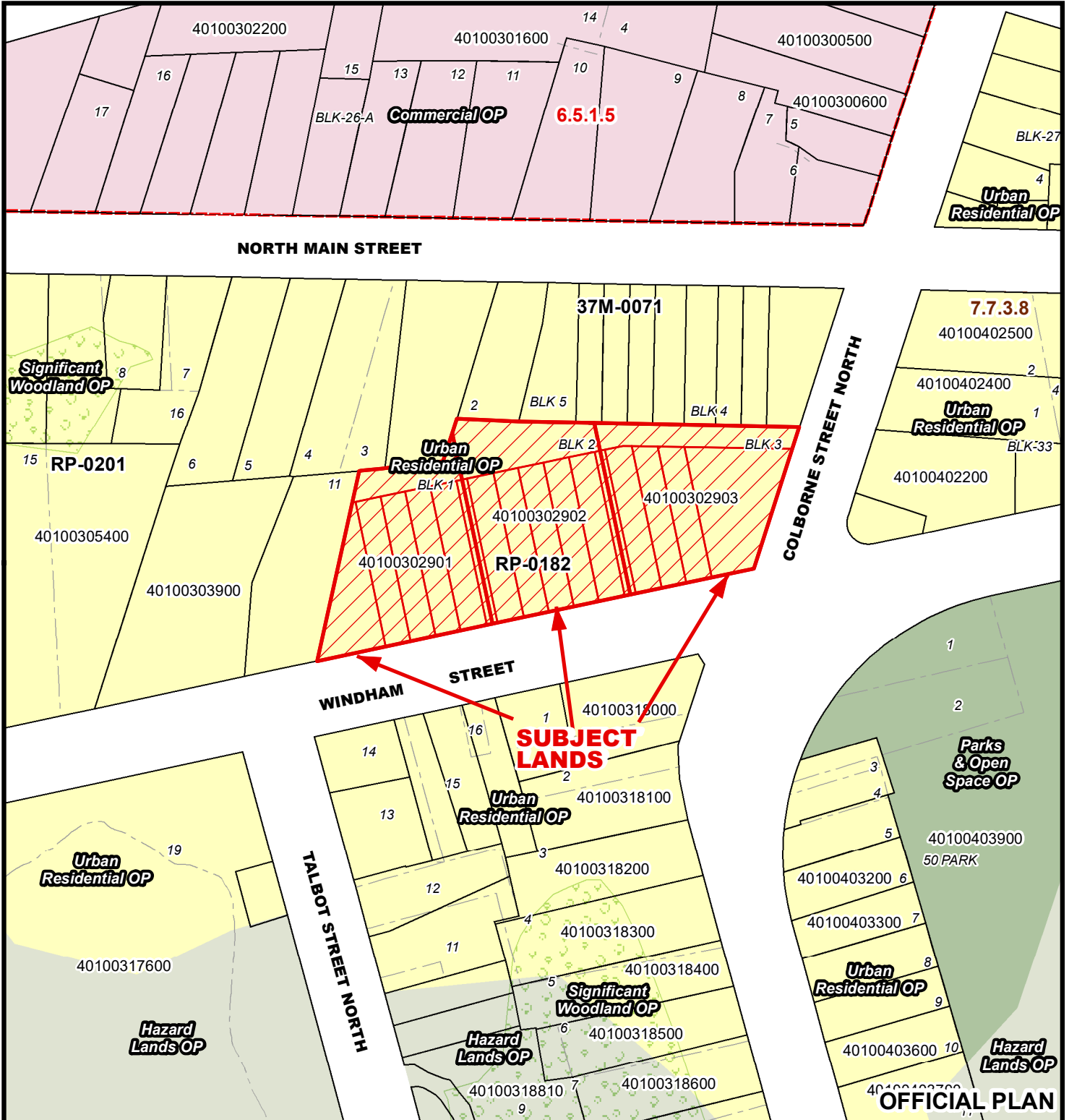
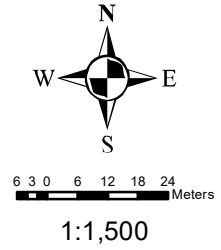
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MAP 2

File Number: ZNPL2020073 & PLPL2020052

Urban Area of SIMCOE



OFFICIAL PLAN

MAP 3

File Number: ZNPL2020073 & PLPL2020052

Urban Area of SIMCOE

