



November 7<sup>th</sup>, 2024

Norfolk County  
Planning Department  
12 Gilbertson Drive,  
Simcoe, Ontario N3Y 3N3

Hand-delivered

Attention: Committee of Adjustment and Andrew Wallace, Planner

Dear Madam or Sir:

**RE: Schuyler Farms - 573 Highway 6, Port Dover Surplus Farm Dwelling Severance**

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We are the solicitors for Schuyler Farms Limited.

Please find enclosed the Surplus Farm Dwelling Severance application and new septic installation permit and inspection confirmation (in lieu of the existing on-site sewage evaluation) for the surplus dwelling at the subject-noted property.

Please process this application for the earliest possible Committee of Adjustment date.

Please contact the undersigned if you require any further information.

Yours truly,

**BRIMAGE LAW GROUP**

Per:

A handwritten signature in blue ink, appearing to read 'Nathan Kolomaya', is written over a horizontal line.

Nathan Kolomaya  
NK

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☒ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 337 030 20500 0000

**A. Applicant Information**

**Name of Owner** Schuyler Farms Limited c/o Brett Schuyler

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 383 Concession 14 Townsend

**Town and Postal Code** Simcoe, Ontario N3Y 4K3

**Phone Number** \_\_\_\_\_

**Cell Number** 519-427-9696

**Email** brett@schuylerfarms.ca

**Name of Applicant** Same as owner

**Address** \_\_\_\_\_

**Town and Postal Code** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_

**Name of Agent** Brimage Law Group - Nathan Kolomaya  
**Address** 21 Norfolk Street Noth  
**Town and Postal Code** Simcoe, Ontario N3Y 4L1  
**Phone Number** 519-426-5840  
**Cell Number** \_\_\_\_\_  
**Email** nkolomaya@brimage.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

Bank of Montreal - Corporate Finance Division - Diversified Industries  
First Canadian Place, 100 King Street West, 18th Floor, Toronto, Ontario M5X 1A1

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PT LT 7 CON 2 WOODHOUSE AS IN NR562081; NORFOLK COUNTY

Municipal Civic Address: 573 Highway 6, Port Dover

Present Official Plan Designation(s): Agricultural

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Agricultural and single-family residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:  
Single-family dwelling and accessory buildings (see sketch)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

N/A

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

Agricultural and single-family residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:



### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	297.34m	30m	12.1.2(b)(i)	207.86m	NIL
Lot depth	658m	N/A	N/A	658m	N/A
Lot width	Irregular				
Lot area	17.806ha	40ha	12.1.2(a)(i)	16.742ha	N/A Surplus Dwelling Severance
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 89.48m

Depth: Irregular

Width: Irregular

Lot Area: 10642sqm

Present Use: Single-family residential

Proposed Use: Single-family residential

Proposed final lot size (if boundary adjustment): N/A

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: N/A

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Description of land intended to be retained in metric units:

Frontage: 207.86m

Depth: 658m

Width: Irregular

Lot Area: 16.742ha

Present Use: Agricultural

Proposed Use: Agricultural

Buildings on retained land: None

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: See attached Schedule  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☒ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☒ Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

Severance of existing surplus dwelling

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

Severance of existing surplus dwelling

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☒ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☒ Individual wells

☐ Communal wells

☐ Other (describe below)

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### Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

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### Storm Drainage

☐ Storm sewers

☒ Open ditches

☐ Other (describe below)

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2. Existing or proposed access to subject lands:

☐ Municipal road

☒ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Highway 6

## G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



## I. Transfers, Easements and Postponement of Interest


The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

 _____ Owner/Applicant/Agent Signature	<u>November 1, 2024</u> _____ Date
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## J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Brett Schuyler, President,  
Schuyler Farms Limited am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Brimage Law Group - Nathan Kolomaya to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 _____ Owner	<u>2024/11/01</u> _____ Date
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_____ Owner	_____ Date
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**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, Nathan Kolomaya of Norfolk County, Province of Ontario

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County,



Owner/Applicant/Agent Signature

In the Province of Ontario

This 7<sup>th</sup> day of November,

A.D., 2024



A Commissioner, etc.

						Crops
Classification	Township	Concession	Lot	Roll Number	Acres	
Farm	Woodhouse	6	7	33 10 337 020 09000	84	Corn
Farm	Woodhouse	6	7	33 10 337 020 08600	48.93	Corn
Farm	Windham	13	5,6	33 10 403 025 10900	60.57	Soybeans
Farm	Townsend	14	9	33 10 336 070 81600	16	Soybeans
Farm	Townsend	14	7 to 12	33 10 336 070 81500	88.55	apples
Farm	Townsend	14	12	33 10 336 070 73700	67.05	Apple
Farm	Townsend	14	8	33 10 336 070 71600	97.05	Soybeans
Farm	Townsend	14	8,9	33 10 336 070 71650	27	Soybeans
Farm	Townsend	14	8	33 10 336 070 71700	28.26	Soybeans
Farm	Woodhouse	6	8	33 10 337 020 08500	62.29	Apple
Farm	Woodhouse	6	4	33 10 337 010 20300	48.16	Apple
Farm	Townsend	12	5	33 10 336 070 33000	47.13	Apple
Farm	Townsend	13	9,10	33 10 336 070 58300	198.97	Apple
Farm	Townsend	13	7	33 10 336 070 59000	57.45	Cherry
Farm	Townsend	13	6	33 10 336 070 60100	115.68	Apple
Residential	Townsend	13	6	33 10 336 070 60100	1	Less than 10 years old
Residential	Townsend	13	6	33 10 336 070 60208	0.55	Severed
Farm	Townsend	13	4,5	33 10 336 070 61500	62.01	50% Apple, 50% Cherry
Farm	Townsend	13	4	33 10 336 070 62400	110.33	50% Apple, 50% Cherry
Farm	Townsend	14	7,8	33 10 336 070 71400	133.06	Cherry
Residential	Townsend	14	7,8	33 10 336 070 71400	1	Less than 10 years old
Farm	Townsend	14	10,11	33 10 336 070 73100	139.68	Apple
Residential	Townsend	14	10,11	33 10 336 070 73100	1	Less than 10 years old
Farm	Townsend	14	4,5	33 10 336 070 82400	133.35	Apple
Farm	Woodhouse	6	6	33 10 337 010 19500	47.27	Soybeans
Farm	Woodhouse	6	5,6	33 10 337 010 20005	140.74	Cherry
Farm	Townsend	13	5	33 10 336 070 60300	48.28	Apple
Farm	Townsend	13	7,8	33 10 336 070 59500	143.79	Cherry
Farm	Townsend	14	10	33 10 336 070 72600	24.13	Apple
Farm	Woodhouse			33 10 337 010 21100	160.6	Soybeans
Farm	Woodhouse	6	7	33 10 337 020 09300	44	Corn
Farm	Windham	13	1,2	33 10 403 025 12050	81.16	Apple
Farm	Townsend	14	14,15	33 10 336 080 62950	83.85	Corn
Farm	Woodhouse	6	13	33 10 337 020 01700	88.24	Soybeans
Farm	Woodhouse	6	8	33 10 337 020 00800	49.03	Soybeans
Farm	Townsend	12	6	33 10 336 070 31000	51.58	Apple
Farm	Townsend	14	15,16	33 10 336 080 60900	109.68	Corn
Farm	Townsend	14	19	33 10 336 080 55900	66.13	Soybeans
Farm				28 10 339 080 42100	67.73	Soybeans
Farm	Townsend	13 7,8		33 10 336 070 52500	129.14	Cherry
Farm	Townsend	13	5	33 10 336 070 60400	40.20	Apple
Farm	Townsend	12	8	33 10 336 070 28100	52.28	Cherry
Farm	Townsend	12	8	33 10 336 070 27800	20.85	Cherry
Farm	Townsend	12	9	33 10 336 070 27600	39.74	Cherry
Farm	Townsend	12	7,8	33 10 336 070 28200	17.20	Corn
Farm	Townsend	12	8,9	33 10 336 070 28500	25.00	Cherry
Farm	Townsend	12	8	33 10 336 070 27910	1.25	Cherry
Farm	Townsend	12	8	33 10 336 070 27930	1.56	Cherry
Farm	Townsend	12	8	33 10 336 070 27920	2.18	Cherry
Residential	Townsend	12	8	33 10 336 070 27805	1.00	Cherry
Farm	Townsend	12	13	33 10 336 080 24300	73.38	Apple
Farm	Townsend	12	11	33 10 336 070 26000	98.00	Apple
Farm	Townsend	12	12	33 10 336 070 25800	97.61	Apple
Farm	Townsend	11	12	33 10 336 070 05600	41.43	Apple
Farm	Townsend	12	10	33 10 336 070 23700	79.88	Apple
Farm	Townsend	11	10	33 10 336 070 07400	99.84	Cherry
Farm	Townsend	9	8	33 10 336 050 54800	77.65	Cherry
Farm	Woodhouse	2	3	33 10 337 030 22400	193.58	Cherry

LANDS TO BE  
RETAINED

LOT

CONCESSION

LANDS TO BE  
SEVERED

7 PART 2  
37R - 393

PART 1  
37R - 393

210.635 (P1 & M)  
207.857

N77°50'30"E

— — — — —

## WIDENING

BBY

**REGISTERED**

PLAN 330 1

PLAN

311.592 (311.548 P1)

— — — — —

(P1 & M

14.25

\_\_\_\_\_

HIGHWAY 6

**SOUTHEAST CORNER-  
LOT 7, CONCESSION 2**

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE, OR ALTER THIS PLAN, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD.

**LEGEND**

(P1) - 37R-22

(P2) - 37R-393

THIS PLAN IS IN METRIC AND CAN BE CONVERTED  
TO IMPERIAL BY MULTIPLYING BY 3.2808

THIS IS NOT A PLAN OF SURVEY AND SHALL NOT  
BE USED FOR PURPOSES OTHER THAN THE  
PURPOSE INDICATED IN THE TITLE BLOCK.

	EXISTING	PROPOSED	REMAINDER
AREA (sq.m)	17.806 Ha	10642 sq.m	16.742 Ha
% LOT COVERAGE	0.3%	4.7%	0.0%
FRONTAGE	297.34m	89.48m	207.86m
WIDTH	294m (IRREG.)	78.76m (IRREG.)	294m (IRREG.)
DEPTH	658m (IRREG.)	130.61m (IRREG.)	658m (IRREG.)

**JEWITT AND DIXON LTD.**  
**ONTARIO LAND SURVEYORS**

650 IRELAND ROAD, SIMCOE, ONTARIO, N3Y 4K2

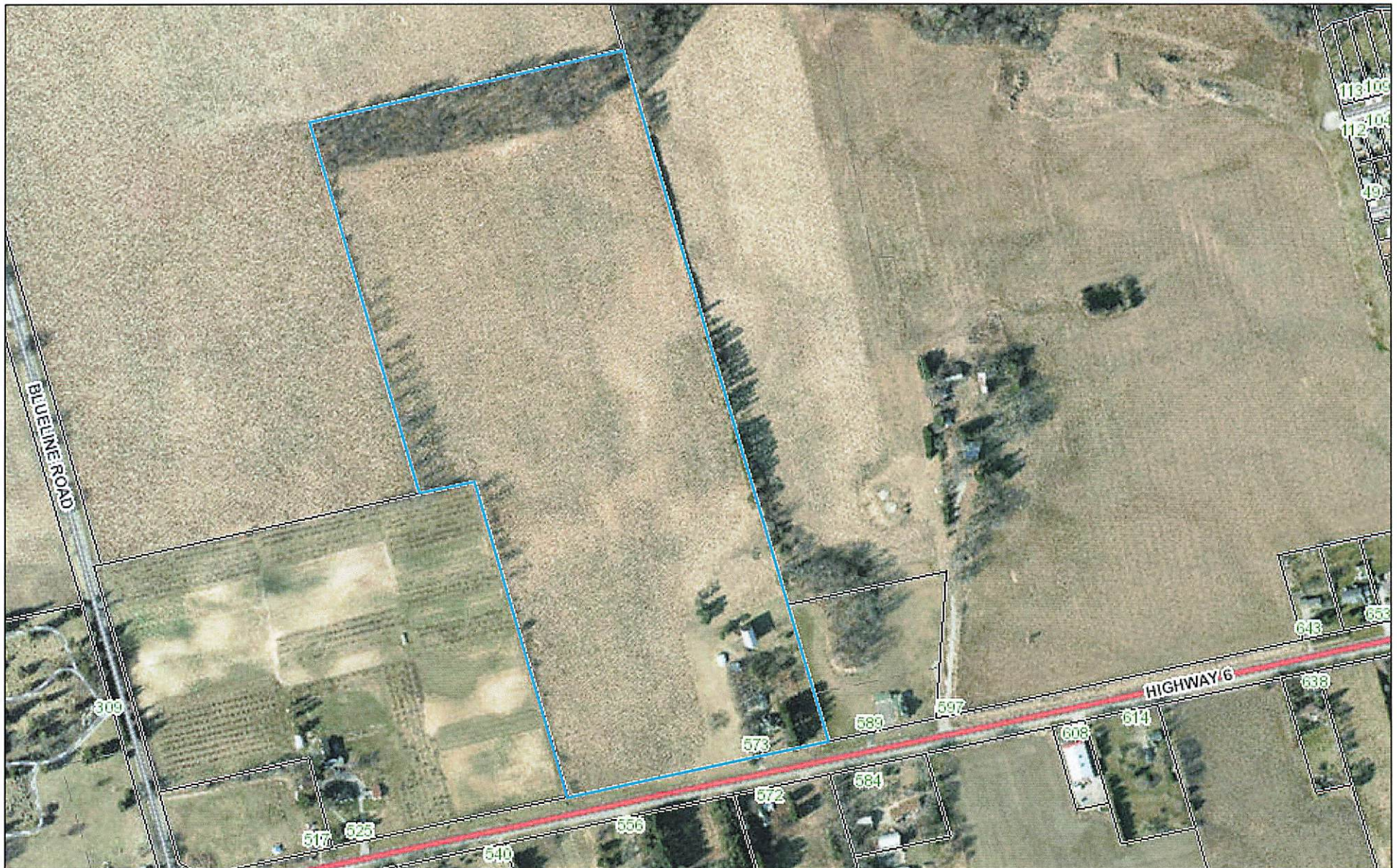
PHONE: (519) 426-0842

E-mail: [info@jewittdixon.com](mailto:info@jewittdixon.com)

JOB # 24-4074 CLIENT : BRIMAGE

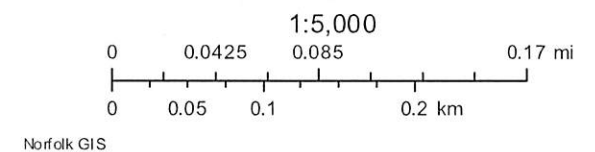


# MAP NORFOLK - Community Web Map



11/7/2024, 2:06:43 PM

- ☐ Land Parcels
- ☐ Road Labels
- ☐ Civic Address
- ☐ DraftPlan
- ☐ Plan Lines





**Norfolk County Building Department**  
**Inspection Report**  
**PRSEP20241057**

Inspection Date: August 01, 2024  
Address: 573 HIGHWAY 6, Nanticoke, ON

Building Inspector: Josh Evans  
Inspection: Septic Backfill Inspection  
Inspection Outcome: **Passed**

**Deficiencies / Comments / Notes:**

Met Montague Construction onsite at time of inspection

1. 4500L Reid's tank installed as per plan
2. Setbacks OK
3. Effluent filter and risers installed

OK to backfill

Josh Evans  
Building Inspector 1  
(226) 667-3655 Ext. 8214  
[josh.evans@norfolkcounty.ca](mailto:josh.evans@norfolkcounty.ca)

**Inspection Requests:**

Phone: 519-426-5870 | 226-NORFOLK ext. 4677 (INSP) and leave a message

Email: [inspections@norfolkcounty.ca](mailto:inspections@norfolkcounty.ca)

Portal: <https://permits.norfolkcounty.ca/CityViewPortal/>

Please include your name, civic address, permit number, type of inspection and the date of the inspection request. Inspection requests must be in by 3:00pm, 1-2 days in advance to be conducted. The inspector will contact you prior to the inspection to setup an approximate time.

**Website:**

<https://www.norfolkcounty.ca/business/building-in-norfolk-county/>

**Community Development Division - Building Department**

12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016



# Septic Permit PRSEP20241057

This permit is issued pursuant to the Building Code Act, S.O. 1992, c.23.  
Issue date:

## PROPERTY INFORMATION

ADDRESS 573 HIGHWAY 6, Nanticoke, ON  
ROLL NO. 3310337030205000000  
LEGAL  
DESCRIPTION WDH CON 2 PT LOT 7, REG, 44.00AC FR D.,  
ZONING A - Agricultural [1-Z-2014]

## PURPOSE OF CONSTRUCTION

REPLACE SEPTIC TANK

## PERMIT INFORMATION

CURRENT USE SEPTIC TANK

CONSTRUCTION TYPE

PROPOSED USE TANK REPLACEMENT

COST OF CONSTRUCTION \$420.00

## CONTACT INFORMATION

OWNER GOODE HOWARD HILLARY  
573 HIGHWAY 6 RR 2  
PORT DOVER, ON N0A 1N2

APPLICANT Neil Montague Construction Ltd.  
RR#1  
Jarvis, ON NOA 1J0

## COMMENTS

Inspection requests: 226-NORFOLK, 226-667-3655 extension 4677 (INSP), [inspections@norfolkcounty.ca](mailto:inspections@norfolkcounty.ca), or Online Portal.

No person shall construct or demolish a building or cause a building to be constructed or demolished unless a permit has been issued therefore by the chief building official.

Except as authorized by the building code, a person shall not occupy or use a building or part of a building that is newly erected or installed or permit it to be occupied or used until a permit has been issued therefore by the chief building official.

Neither the issuance of this permit nor the carrying out of inspections by Norfolk County shall relieve the owner or contractor from full responsibility for compliance with all applicable statutes, regulations and by-laws, and with all agreements entered into by the owner or applicable said lands, pursuant to statutory law.

Subject to the provisions of the Building Code Act, the chief building official may revoke a permit issued under this Act if it was issued on mistaken, false or incorrect information; if, after six months after its issuance, the construction or demolition in respect of which it was issued has not, in the opinion of the chief building official, been seriously commenced; if the construction or demolition of the building is, in the opinion of the chief building official, substantially suspended or discontinued for a period of more than one year; if it was issued in error; if the holder requests in writing that it be revoked; or if a term of the agreement under clause 8.(3)(c) has not been complied with.

Pursuant to subsection 13.(1) of the Building Code Act, persons to whom this building permit is issued are instructed **NOT TO COVER CONSTRUCTION UNTIL THE REQUIRED INSPECTIONS HAVE BEEN COMPLETED AND APPROVED BY A NORFOLK COUNTY BUILDING INSPECTOR AS LISTED IN BY-LAW 2008-174 AS AMENDED.**

I have read and understand the above.

ISSUED BY: Josh Evans

AS PER:

  
Signature of owner or authorized agent

Date



Signature of building inspector

Fritz R. Enzlin CBCO, CRBO  
Chief Building Official  
Director, Building

## Community Development Division - Building Department

12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4N5 - 519-426-5870 | 226-NORFOLK Extension 6016

PLAN OF SURVEY  
OF PART OF  
LOT 7  
CONCESSION 2  
IN THE GEOGRAPHIC  
TOWNSHIP OF WOODHOUSE  
IN  
NORFOLK COUNTY

SCALE: 1 : 1000

JEWITT AND DIXON LTD.

METRIC NOTE:

DISTANCES AND COORDINATES ARE METRIC AND CAN  
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

I REQUIRE THIS PLAN TO BE  
DEPOSITED UNDER THE  
LAND TITLES ACT.

DATED NOVEMBER 28, 2024

R. C. DIXON  
ONTARIO LAND SURVEYOR

PLAN 37R-11786

RECEIVED AND DEPOSITED

DATED 2024/12/27

Hazekiah David  
REPRESENTATIVE FOR THE  
LAND REGISTRAR FOR THE LAND  
TITLES DIVISION OF NORFOLK (No. 37)

SCHEDULE

PART	LOT	CONCESSION	PIN	AREA (SQ.M)
1	PART LOT 7	CONCESSION 2	PART OF PIN 50239-0214(LT)	167997.877 sq.m
2	PART LOT 7	CONCESSION 2	PART OF PIN 50239-0214(LT)	10642.577 sq.m

PARTS 1 & 2 COMPRISE ALL OF PIN 50239-0214 (LT)

ROAD ALLOWANCE BETWEEN LOTS 6 & 7 (19.312m WIDE)

BLUELINE ROAD (AS WIDENED BY 37R-6508)

LEGEND

2.5cm X 2.5cm X 1.2m STANDARD	IRON BARS	SHOWN	-□-	SIB
1.6cm X 1.6cm X 0.6m	IRON BARS	SHOWN	-□-	IB
1.6cm ROUND X 0.6m	IRON BARS	SHOWN	-□-	IB Ø
DEED LINES	SHOWN	---		
FENCE LINES	SHOWN	-X-X-		
CENTRE LINES	SHOWN	---		
ROAD LINES	SHOWN	---		
FOUND IRON BARS	SHOWN	-■-		
PLANTED IRON BARS	SHOWN	-□-		
JEWITT AND DIXON LTD.	SHOWN	(700)		
MINISTRY OF TRANSPORTATION	SHOWN	(MTO)		
J. B. DODD, O.L.S.	SHOWN	(996)		
K.S. HUSTED, O.L.S.	SHOWN	(1592)		
WITNESS MONUMENT	SHOWN	(WT)		
ORIGIN UNKNOWN	SHOWN	(OU)		
PLAN 37R-22	SHOWN	(P1)		
PLAN 37R-6537	SHOWN	(P2)		
PLAN 37R-2888	SHOWN	(P3)		
PLAN 37R-6508	SHOWN	(P4)		
PLAN OF SURVEY BY H. V. JEWITT, O.L.S. DATED NOVEMBER 30, 1970 (WO.22-65)	SHOWN	(P5)		
INSTRUMENT No. NR562081 (PIN 50239-0214)	SHOWN	(D1)		

NOTE:

BEARINGS ARE GRID AND WERE DERIVED FROM SIMULTANEOUS GPS OBSERVATIONS ON MONUMENT A TO B, SHOWN HEREON HAVING A BEARING OF N77°59'30"E [UTM ZONE 17, (81° WEST LONGITUDE) NAD83 (CSRS) (2010)]

TO CONVERT (P1) BEARINGS TO GRID BEARINGS  
- ADD 00°30'00" TO THE NORTHWEST BEARINGS  
- SUBTRACT 00°30'00" FROM THE NORTHEAST BEARINGS

DISTANCES SHOWN ON THIS PLAN ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY 0.99982136

OBSERVED REFERENCE POINTS (ORP's) DERIVED FROM GPS OBSERVATIONS USING THE CANADIAN NATIONAL TRIANGULATION NETWORK (CNTN) NAD83 (CSRS) HTM2.0 (2010) COORDINATES ARE TO AN URBAN ACCURACY AS PER SEC. 14 (2) OF OREG. 215/10

POINT ID	NORTHING	EASTING
ORP A	4738322.449	565622.663
ORP B	4738200.579	5628874.791
ORP C	4738135.531	562370.179

COORDINATES CANNOT, IN THEMSELVES, BE USED TO  
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

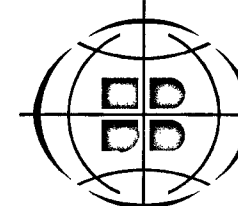
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 27TH DAY OF NOVEMBER, 2024

DATED: NOVEMBER 28, 2024

PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-86591



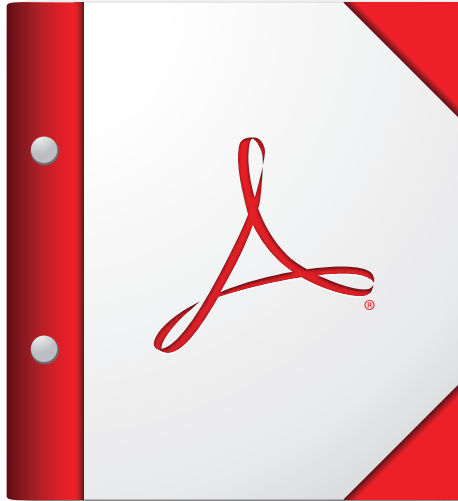
JEWITT AND DIXON  
ONTARIO LAND SURVEYORS  
A Division of Kim Husted Surveying Ltd.

650 Inland Rd., Simcoe, ON N3Y 4K2  
T: (519) 426-0842 www.jdwilbur.com

DRAWN BY:	CHECKED BY:	REFERENCE NO.:
J.L.M.	K.H.	24-54-079-00

DATED: NOVEMBER 28, 2024





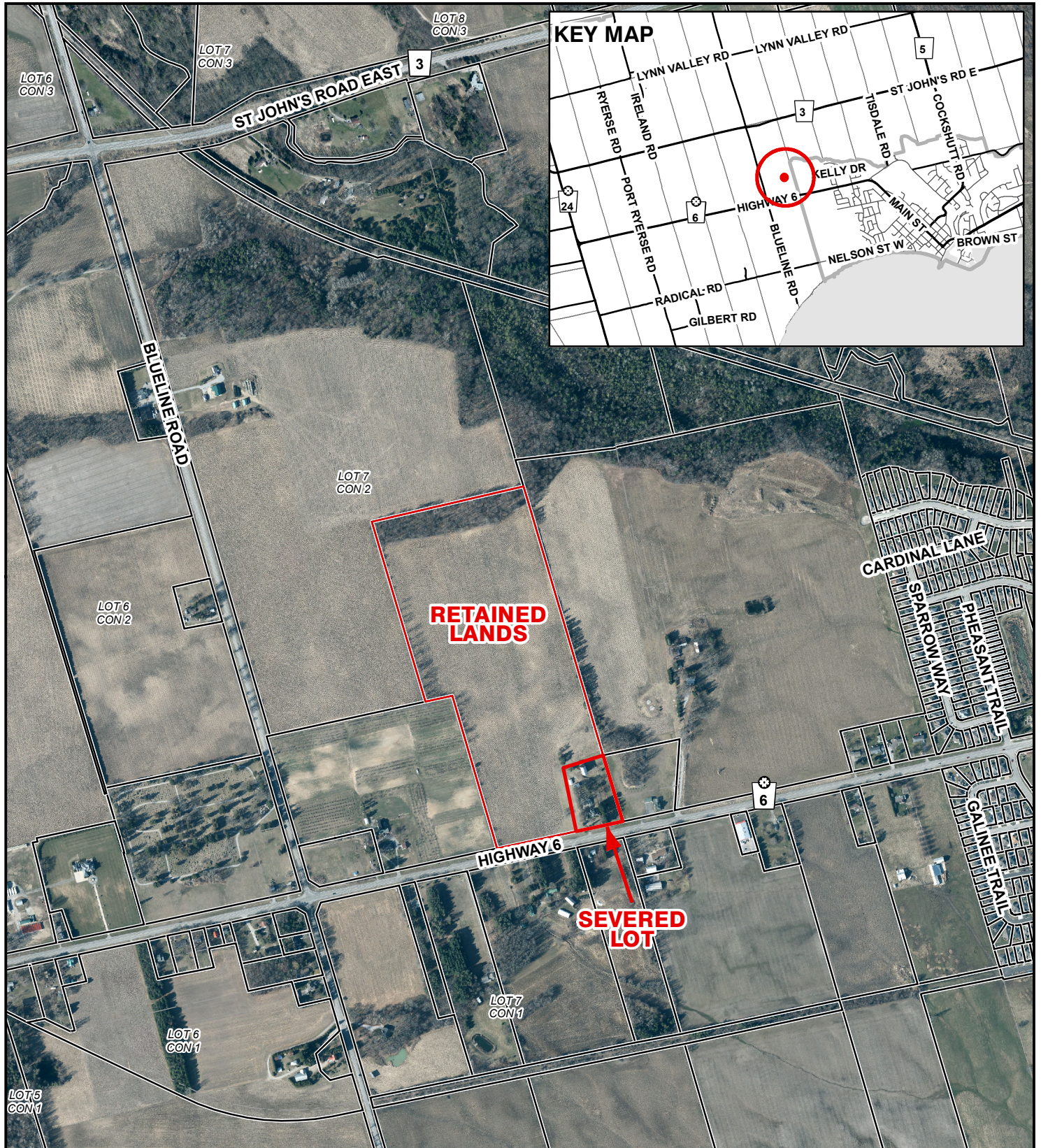
**For the best experience, open this PDF portfolio in  
Acrobat X or Adobe Reader X, or later.**

**Get Adobe Reader Now!**



CONTEXT MAP

Geographic Township of WOODHOUSE

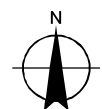


Legend

- Subject Lands
- Lands Owned

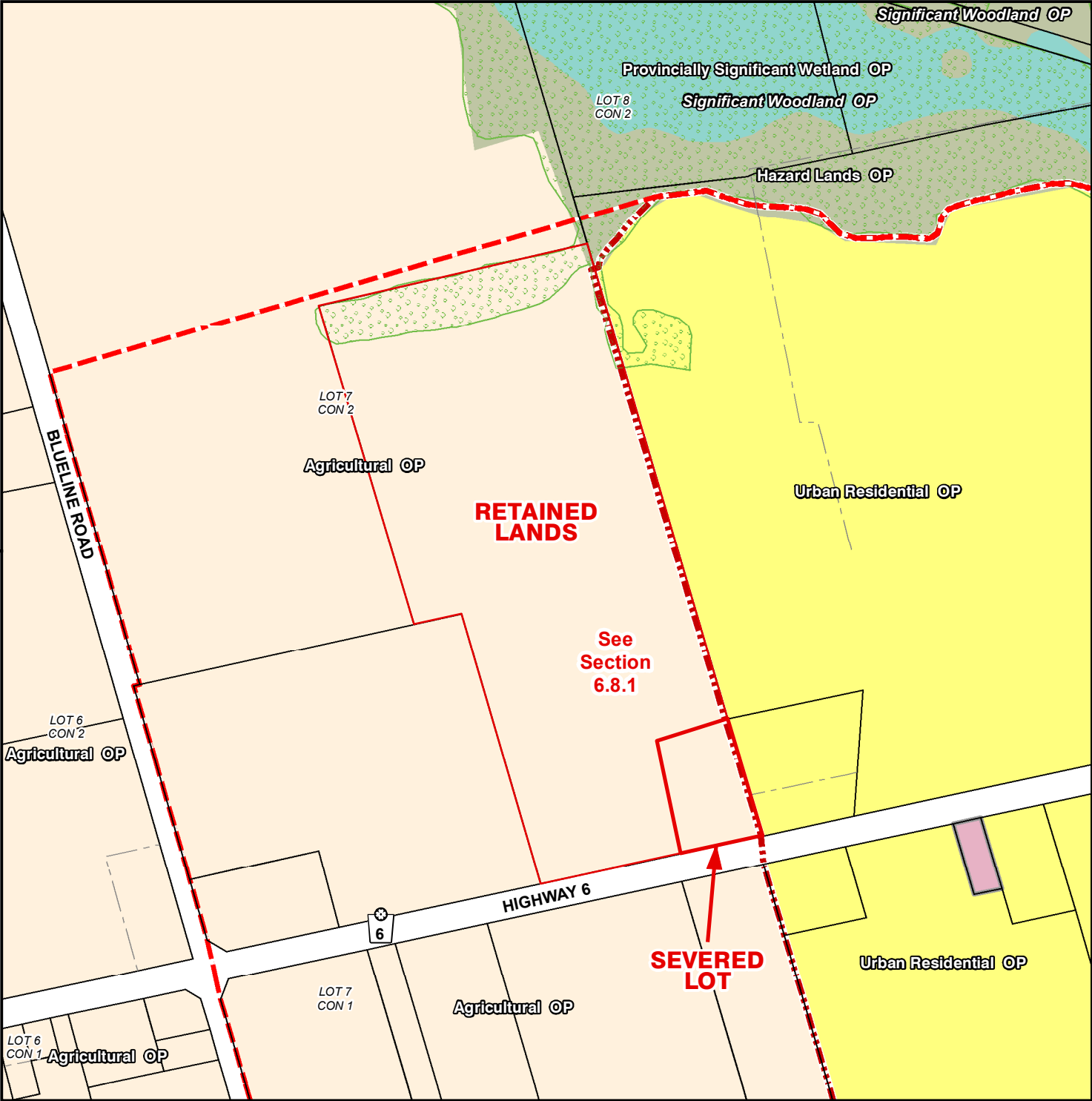
2020 Air Photo

2/19/2025



75 37.5 0 75 150 225 300 Meters





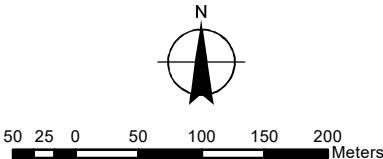
Legend

- Subject Lands
- Lands Owned

Official Plan Designations

- |                                  |                      |
|----------------------------------|----------------------|
| Agricultural                     | Commercial           |
| Hazard Lands                     | Special Policy Area  |
| Provincially Significant Wetland | Urban Area Boundary  |
| Urban Residential                | Significant Woodland |

2/19/2025

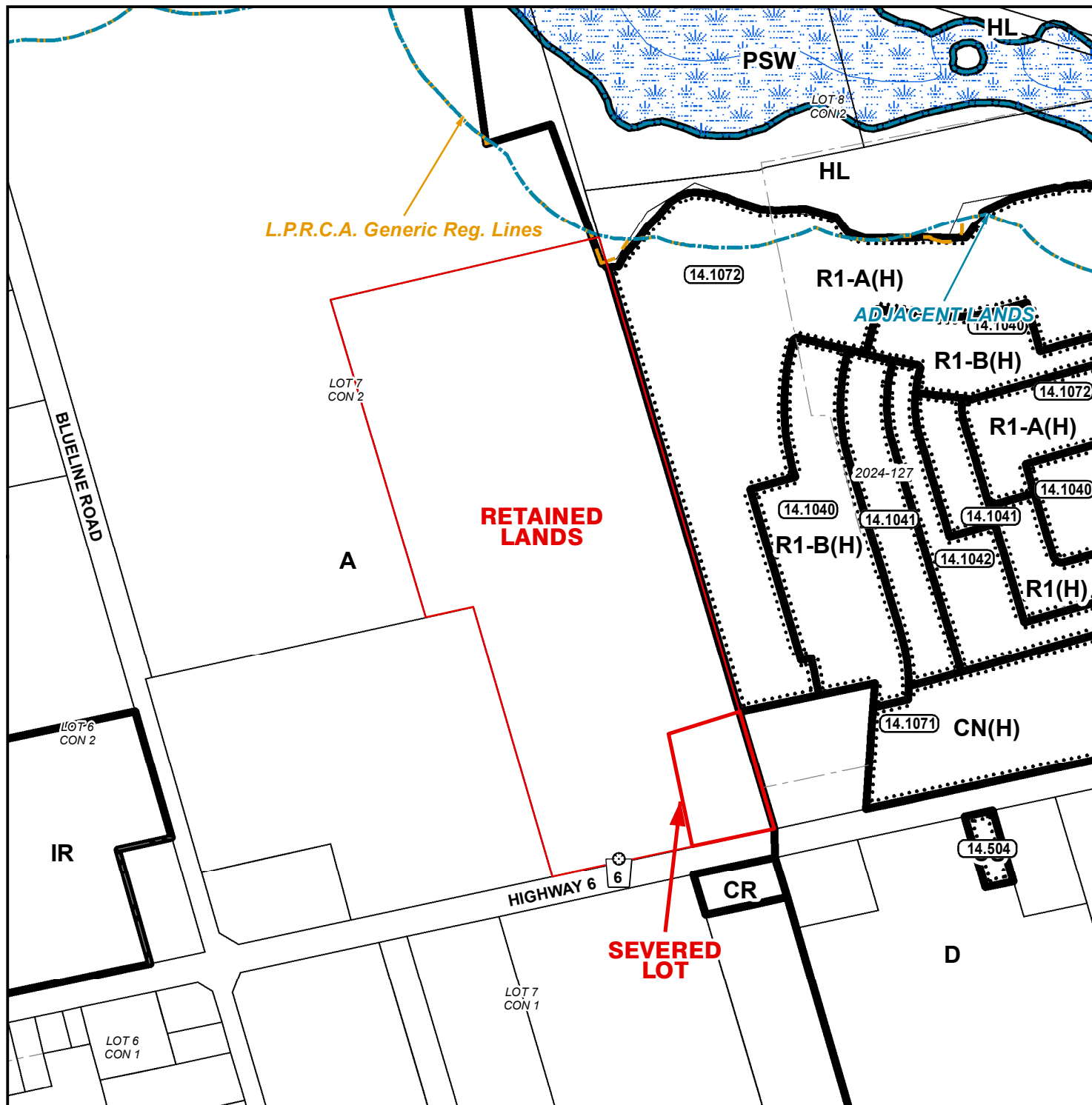


# MAP C

## ZONING BY-LAW MAP

Geographic Township of WOODHOUSE

BNPL2024406



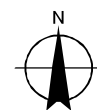
### LEGEND

- Subject Lands
- Lands Owned
- Adjacent Lands
- Wetland
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

- (H) - Holding
- A - Agricultural Zone
- CS - Service Commercial Zone
- CN - Neighbourhood Commercial Zone
- CR - Rural Commercial Zone
- D - Development Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone
- R1-A - Residential R1-A Zone
- R1-B - Residential R1-B Zone
- R2 - Residential R2 Zone
- IR - Rural Institutional Zone

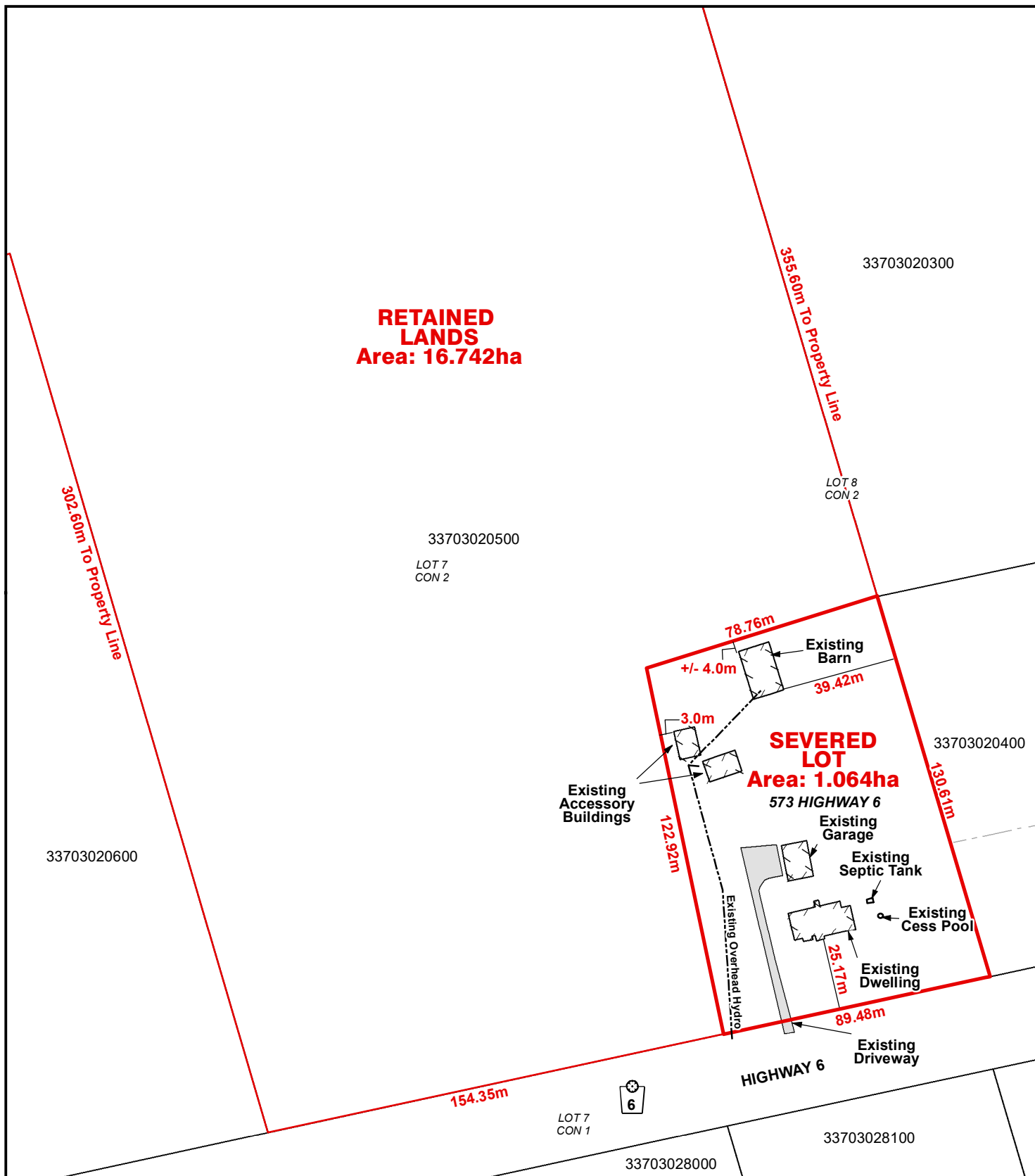
2/19/2025



50 25 0 50 100 150 200 Meters

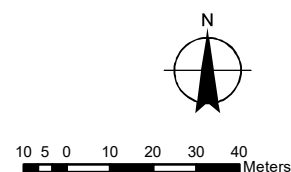
# CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



## Legend

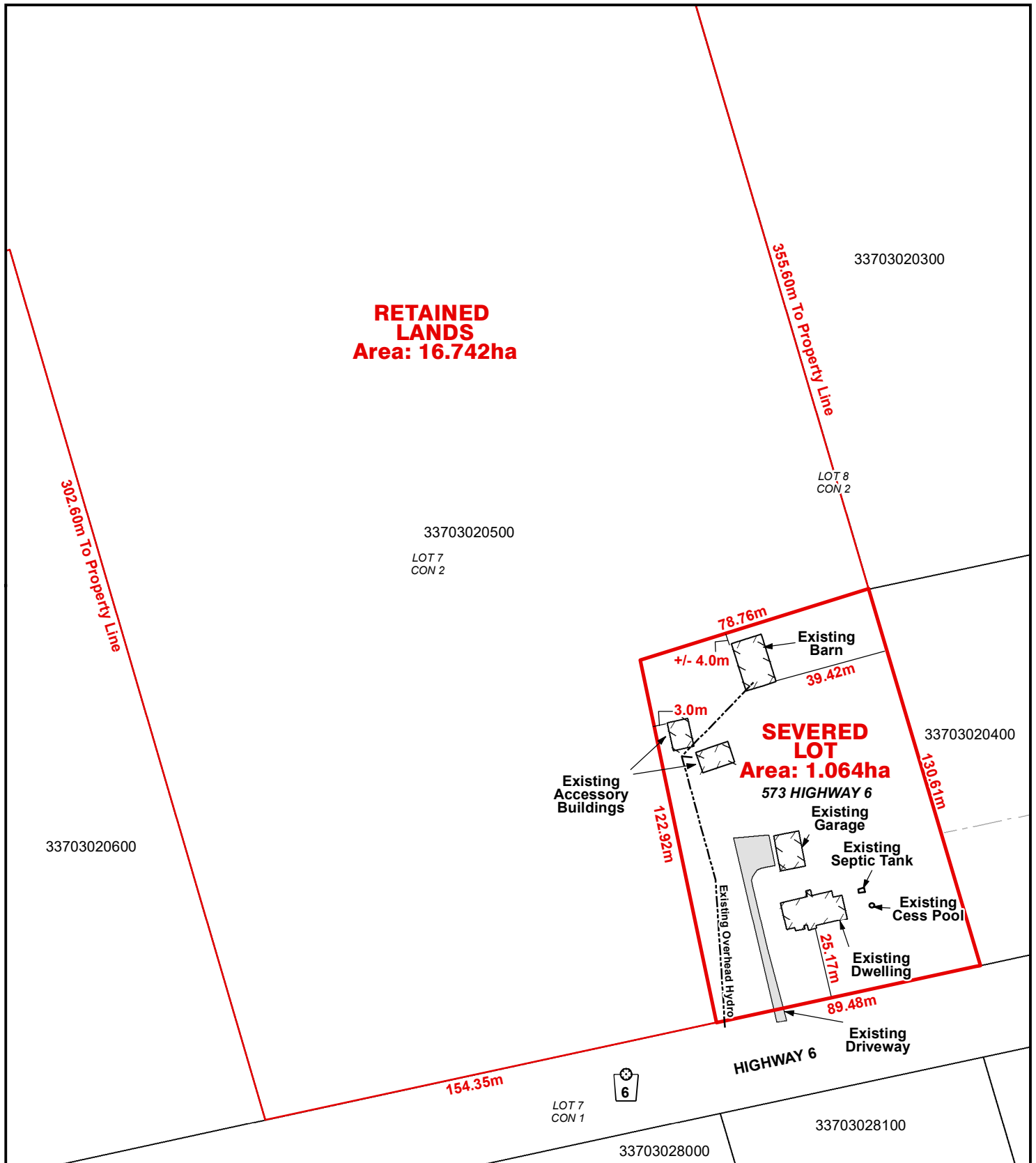
- Subject Lands
- Lands Owned





## CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



### Legend

- Subject Lands
- Lands Owned

2/19/2025

