

For Office Use Only:

File Number	<u>BNPL2022035</u>	Application Fee	<u>\$2,886.00</u>
Related File Number	<u>BN-050/2009</u>	Conservation Authority Fee	<u> </u>
Pre-consultation Meeting	<u> </u>	Well & Septic Info Provided	<u> </u>
Application Submitted	<u>January 24, 2022</u>	Planner	<u>N. Goodbrand</u>
Complete Application	<u>January 31, 2022</u>	Public Notice Sign	<u> </u>

Check the type of planning application(s) you are submitting.

- ☒ Consent/Severance/Boundary Adjustment (VALIDATION CERTIFICATES) ,
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 3310-401-0020-5500; 3310-401-0020-5450

A. Applicant Information

Name of Owner POLYMEDS LIMITED

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address c/o PJ Kursell 24 Sheildmark Crescent

Town and Postal Code Thornhill ON L3T 3T5

Phone Number 416.777.7024

Cell Number

Email PJ.Kursell@raymondjames.ca

Name of Applicant POLYMEDS LIMITED

Address c/o PJ Kursell 24 Sheildmark Crescent

Town and Postal Code Thornhill ON L3T 3T5

Phone Number 416.777.7024

Cell Number

Email PJ.Kursell@raymondjames.ca

Name of Agent Adam Kowalsky, Cobb & Jones LLP

Address 23 Argyle Street, PO Box 548

Town and Postal Code Simcoe, Ontario N3Y 4N5

Phone Number 519-428-0170

Cell Number 519-428-2420

Email akowalsky@cobbjones.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner ☒ Agent ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

None

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

See Schedule "A" and Plan 37-10110 at Schedule "B"

Municipal Civic Address: 381, 387 Cedar Street, Simcoe ON N3Y 2J2

Present Official Plan Designation(s): Urban residential

Present Zoning: Community Institutional Zone (IC)

2. Is there a special provision or site specific zone on the subject lands?

☒ Yes ☐ No If yes, please specify:

14.637 - min. rear yard & interior side yard adjacent to rear lot line to 1.6 metres (see Schedule A section 4)

3. Present use of the subject lands:

381, 387 Cedar Street, Simcoe ON N3Y 2N2 (Roll 3310-401-0020-5500) - medical clinic, offices

383 Cedar Street, Simcoe ON N3Y (Roll 3310-401-0020-5450 - duplex dwelling, residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

381, 387 Cedar Street, Simcoe ON N3Y 2N2 (Roll 3310-401-0020-5500) - medical clinic, offices

383 Cedar Street, Simcoe ON N3Y (Roll 3310-401-0020-5450) - duplex dwelling, residential

No material changes to either lands since approved severance under BN-050/2009

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

N/A

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

in excess of thirty (30) years

9. Existing use of abutting properties:

Uses as per Neighborhood Commercial (CN) and Community Institutional (IC); residential dwellings

10. Are there any easements or restrictive covenants affecting the subject lands?

☒ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

See Schedule "A" section 5.

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: 23.04 metres (383 Cedar Street, Simcoe ON N3Y (Roll 3310-401-0020-5450))

Depth: 22.56 metres (irreg.) (see Parts 1, 2, 3 & 4 Plan 37R-10110, Sched. "B")

Width: 23.04 metres

Lot Area: 505.45 square metres

Present Use: duplex dwelling

Proposed Use: no change

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: 95 metres (381, 387 Cedar Street, Simcoe ON - Roll 3310-401-0020-5500)

Depth: 90 metres

Width: 128.93 metres

Lot Area: 1.11 ha (approx. 2.75 acres)

Present Use: medical clinic, office

Proposed Use: no change

Buildings on retained land: existing clinic

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: see Schedule "A" sec. 5; see parts 2&4, 5 37R-10110, Sched. "B"

Depth: _____

Width: _____
Area: _____
Proposed Use: mutual sanitary sewer easements

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:
persona knowledge, previous severance file BN-050/2009; zoning amendment file ZN-076/2008

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

N/A - Application is for validation certificates to validate/cure prior approved
severance

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

N/A - Application is for validation certificates to validate/cure prior approved
severance

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |

Sewage Treatment

- | | |
|---|---|
| <input checked="" type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |

Storm Drainage

- | | |
|--|---------------------------------------|
| <input checked="" type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |

-
2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Cedar Street, Simcoe

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

-
2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

See Schedule "A"

This applicant and relief requested is time sensitive as the Applicant has extend the completion of a sale of its lands to no later than March 31, 2022.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

POLYMEDS LIMITED

DocuSigned by:

Per:

Peter John Allan Kursell

Peter John Allan Kursell, Vice-President

I have the authority to bind the Corporation.

January 24, 2022

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Polymeds Limited am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Adam Kowalsky, Cobb & Jones LLP to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

POLYMEDS LIMITED

Per:

DocuSigned by:

Peter John Allan Kursell

Peter John (PJ) Allan Kursell, Vice-President

I have the authority to bind the Corporation.

January 24, 2022

Date

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

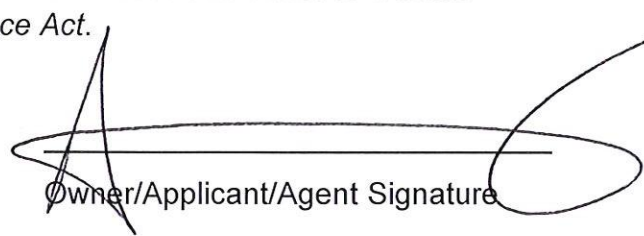
I, Adam Kowalsky of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

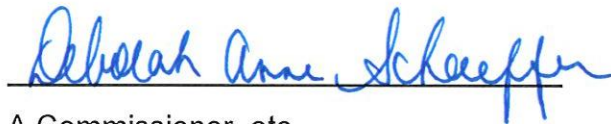
Norfolk County


Owner/Applicant/Agent Signature

In Province of Ontario

This 24 day of January

A.D., 2022


A Commissioner, etc.

Deborah Anne Schaeffer, a Commissioner, etc.,
Province of Ontario, for Cobb & Jones LLP,
Barristers and Solicitors.
Expires August 20, 2023

Schedule “A” to the January 24, 2022 Planning Department by POLYMEDS LIMITED

1. Type of Application

The Applicant is requesting validation certificates pursuant to section 57 of the *Planning Act* to retroactively cure a technical violation of the *Planning Act* and ratify the interest in lands intended to have been created by the approved severance.

The Severed Lands (described in section 2 below) were approved for severance from the Applicant’s Lands (described in 3 below) pursuant to the following Norfolk County Committee of Adjustment Decision:

File Number: BN-050/2009

Related File: ZN-076/2008 (site specific zoning 14.637)

Roll Number 3310-401-002-05500

Decision Date: August 20, 2009

By error or omission, the certificate issued January 28, 2010 in respect of the approved severance described only Parts 3 and 4 on Plan 37R-10110 when in fact the severance approved was for Parts 1, 2, 3 and 4, inclusive, on Plan 37R-10110. A copy of Plan 37R101100 is attached as Schedule “B”.

The transfer purporting to effect the approved severance was registered as Instrument No. NK31158 on February 2, 2010 without correcting the legal description of the Severed Lands on the issued certificate. A copy of the transfer and issued certificate is attached as Schedule “C”.

Copies of certain extracts from municipality’s file are attached as Schedule “D” to this Application and includes: Committee of Adjustment Decision dated August 20, 2009; Statute Sheet; Location of Lands Affected; and January 28, 2010 Public Works & Environmental Service Dept. release letter. Additionally, the Applicant has included a full PDF version of the municipality’s consent file with the electronic filing of the Application.

Please Note this Application is time sensitive as the Applicant has a real property sale scheduled to close no later than March 31, 2022.

2. Legal Description and Property Information – Applicant’s Lands (Retained Lands)

Municipal Address	381, 387 Cedar Street, Simcoe ON N3Y
Roll	3310-401-0020-5500
Pin	50222-0111 (LT)
Legal Described	FIRSTLY: PT LT 1, BLK 40, PL 182, PT 2, 3 37R223, SAVE & EXCEPT PT 1 37R2361 & PTS 3 & 4 ON 37R10110; SUBJECT TO AN EASEMENT OVER PT 5 ON 37R10110 IN FAVOUR OF PT LT 1, BLK 40, PL 182, PTS 1 & 2 ON 37R10110 AS IN NK31158; SUBJECT TO AN EASEMENT OVER PT 5 ON 37R10110 IN FAVOUR OF PT LT 1, BLK 40, PL 182, PTS 3 & 4 ON 37R10110 AS IN NK31158; TOGETHER WITH AN EASEMENT OVER PT LT 1, BLK 40, PL 182, PT 4 ON 37R10110 AS IN NK31158; SECONDLY: LT 3, BLK 40, PL 182; PT LT 1, BLK 40, PL 182, PT 1 37R233, PT 1 37R2361,SAVE & EXCEPT PTS 1 & 2 ON 37R10110; TOGETHER WITH AN EASEMENT OVER PT LT 1, BLK 40, PL 182, PT 2 ON 37R10110 AS IN NK31158; NORFOLK COUNTY Being all of PIN 50222-0111 (LT)

3. Legal Description and Property Information – Severed Lands

Municipal Address	383 Cedar Street, Simcoe ON N3Y
Roll	3310-401-0020-5450
Pin	50222-0102 (LT) and 50222-0104 (LT)
Legal Described	<p>PT LT 1, BLK 40, PL 182, PTS 1 & 2 ON 37R10110; TOGETHER WITH AN EASEMENT OVER PT LT 1, BLK 40, PL 182, PT 5 ON 37R10110 AS IN NK31158; SUBJECT TO AN EASEMENT OVER PT 2 ON 37R10110 IN FAVOUR OF LT 3, PT LT 1, BLK 40, PL 182, PT 1 ON 37R233, PT 1 ON 37R2361, SAVE & EXCEPT PTS 1 & 2 ON 37R10110 AS IN NK31158; NORFOLK COUNTY</p> <p>PT LT 1, BLK 40, PL 182, PTS 3 & 4 ON 37R10110; TOGETHER WITH AN EASEMENT OVER PT LT 1, BLK 40, PL 182, PT 5 ON 37R10110 AS IN NK31158; SUBJECT TO AN EASEMENT OVER PT 4 ON 37R10110 IN FAVOUR OF PT LT 1, BLK 40, PL 182, PTS 2 & 3 ON 37R223, SAVE & EXCEPT PT 1 ON 37R2361 & PTS 3 & 4 ON 37R10110 AS IN NK31158; NORFOLK COUNTY</p>

4. Special Provision or Site Specific Zone

Special provision/site specific zoning 14.637, changing IC minimum rear yard and interior side yard adjacent to rear lot liens to 1.6M, was an approved zoning amendment under File No. ZN-076/2008 and was related to the approved severance.

5. Easements

In accordance with the condition of the approved severance, the transfer purporting to effect the severance registered as Instrument No. NK31158 included mutual easements between the Retained Land and the Severed Lands for sanitary sewers; specifically:

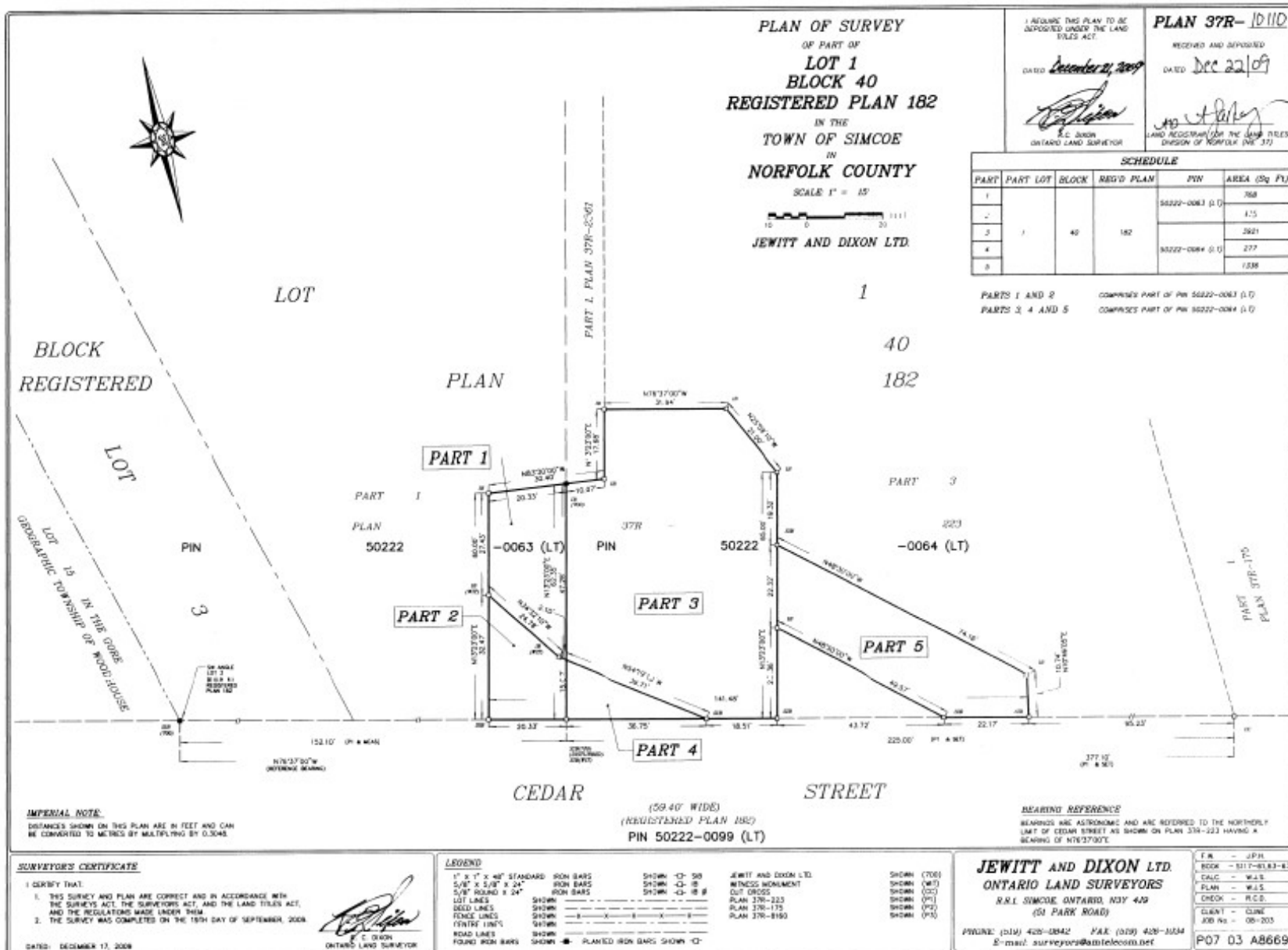
- The Severed Lands are subject to easements over part 2 and 4 in favour of the Retained Lands; and
- The Retained Lands are subject to easement over Part 5 in favour of the Severed Lands.

6. Draft Validation Certificates

The Applicant submits draft forms of validation certificates for both Applicant/Retained Lands and the Severed Lands in word documents with its electronic submission of this Applicant.

The certificates affirm the legal descriptions of each of the Retained Lands and Severed Lands as current described in Land Titles including with reference to the mutual easements to have been established under transfer NK31158.

Schedule "B" to the January 24, 2022 Planning Department by POLYMEDS LIMITED



Properties

PIN	50222 - 0064 LT	Interest/Estate	Fee Simple	<input checked="" type="checkbox"/> Split
Description	PT LT 1 BLK 40 PL 182 DESIGNATED AS PARTS 3 AND 4, 37R-10110 NORFOLK COUNTY BEING PART OF THE PIN.			
	TOGETHER WITH AN EASEMENT FOR PURPOSES AS SET OUT IN SCHEDULE "A" OVER PART 5, 37R-10110, NORFOLK COUNTY, BEING PART OF THE PIN.			
	SUBJECT TO AN EASEMENT FOR PURPOSES AS SET OUT IN SCHEDULE "B" OVER PART 4, 37R-10110, NORFOLK COUNTY, BEING PART OF THE PIN			
Address	CEDAR ST SIMCOE			

PIN	50222 - 0063 LT	Interest/Estate	Fee Simple	<input checked="" type="checkbox"/> Split
Description	PT LT 1 BLK 40 PL 182 DESIGNATED AS PARTS 1 AND 2, 37R-10110 NORFOLK COUNTY BEING PART OF THE PIN			
	SUBJECT TO AN EASEMENT FOR PURPOSES AS SET OUT IN SCHEDULE "B" OVER PART 2, 37R-10110 NORFOLK COUNTY, BEING PART OF THE PIN			
Address	CEDAR ST SIMCOE			

Consideration

Consideration \$0.00

Transferor(s)

The transferor(s) hereby transfers the land to the transferee(s).

Name JOHNSTON, JAMES GREGORY
Address for Service c/o Family Medical Centre,
387 Cedar Street,
Simcoe, ON N3Y 2J2

I am at least 18 years of age.

The property is not ordinarily occupied by me and my spouse, who is not separated from me, as our family residence.

This document is not authorized under Power of Attorney by this party.

Writ Number	Name	Statement
09-0000127	JOHNSTON, GREGORY JOHN	The party is not one and the same as the party named in this writ

Name KURSELL, PETER ALEXANDER
Address for Service c/o Family Medical Centre,
387 Cedar Street,
Simcoe, ON N3Y 2J2

I am at least 18 years of age.

The property is not ordinarily occupied by me and my spouse, who is not separated from me, as our family residence.

This document is not authorized under Power of Attorney by this party.

Name POLYMEDS LIMITED
Address for Service c/o Family Medical Centre,
387 Cedar Street,
Simcoe, ON N3 2J2

I, Peter Alexander Kursell, President and James Gregory Johnston, Secretary,, have the authority to bind the corporation.

This document is not authorized under Power of Attorney by this party.

LRO # 37 Transfer

Registered as NK31158 on 2010 02 01 at 14:59

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 2 of 8

Transferee(s)		Capacity	Share
Name	CLINE, THOMAS ALTON,	Trustee	
Date of Birth	1939 01 26		
Address for Service	39 Colborne Street North Simcoe, ON N3Y 4N5		

Statements

The Committee of Adjustment for Norfolk County has consented to the severance herein. See Schedules
Schedule: See Schedules

Signed By

Thomas Alton Cline 39 Colborne Street North, P.O. Box 528 acting for Transferor(s) Signed 2010 02 01
Simcoe
N3Y 4N5

Tel 5194266763

Fax 5194262055

I am the solicitor for the transferor(s) and the transferee(s) and this transfer is being completed in accordance with my professional standards.

I have the authority to sign and register the document on behalf of all parties to the document.

Thomas Alton Cline 39 Colborne Street North, P.O. Box 528 acting for Transferee(s) Signed 2010 02 01
Simcoe
N3Y 4N5

Tel 5194266763

Fax 5194262055

I am the solicitor for the transferor(s) and the transferee(s) and this transfer is being completed in accordance with my professional standards.

I have the authority to sign and register the document on behalf of all parties to the document.

Submitted By

CLINE, BACKUS, NIGHTINGALE & MCARTHUR 39 Colborne Street North, P.O. Box 528 2010 02 01
Simcoe
N3Y 4N5

Tel 5194266763

Fax 5194262055

Fees/Taxes/Payment

Statutory Registration Fee	\$60.00
Provincial Land Transfer Tax	\$0.00
Total Paid	\$60.00

LAND TRANSFER TAX STATEMENTS

In the matter of the conveyance of: 50222 - 0064 PT LT 1 BLK 40 PL 182 DESIGNATED AS PARTS 3 AND 4, 37R-10110
NORFOLK COUNTY BEING PART OF THE PIN.

TOGETHER WITH AN EASEMENT FOR PURPOSES AS SET OUT IN
SCHEDULE "A" OVER PART 5, 37R-10110, NORFOLK COUNTY, BEING
PART OF THE PIN.

SUBJECT TO AN EASEMENT FOR PURPOSES AS SET OUT IN
SCHEDULE "B"
OVER PART 4, 37R-10110, NORFOLK COUNTY, BEING PART OF THE
PIN

50222 - 0063 PT LT 1 BLK 40 PL 182 DESIGNATED AS PARTS 1 AND 2, 37R-10110
NORFOLK COUNTY BEING PART OF THE PIN

SUBJECT TO AN EASEMENT FOR PURPOSES AS SET OUT IN
SCHEDULE "B"
OVER PART 2, 37R-10110 NORFOLK COUNTY, BEING PART OF THE PIN

BY: JOHNSTON, JAMES GREGORY
KURSELL, PETER ALEXANDER
POLYMEDS LIMITED

TO: CLINE, THOMAS ALTON, Trustee

1. CLINE, THOMAS ALTON,

I am

- ☐ (a) A person in trust for whom the land conveyed in the above-described conveyance is being conveyed;
- ☐ (b) A trustee named in the above-described conveyance to whom the land is being conveyed;
- ☒ (c) A transferee named in the above-described conveyance;
- ☐ (d) The authorized agent or solicitor acting in this transaction for _____ described in paragraph(s) () above.
- ☐ (e) The President, Vice-President, Manager, Secretary, Director, or Treasurer authorized to act for _____ described in paragraph(s) () above.
- ☐ (f) A transferee described in paragraph () and am making these statements on my own behalf and on behalf of _____ who is my spouse described in paragraph () and as such, I have personal knowledge of the facts herein deposed to.

3. The total consideration for this transaction is allocated as follows:

(a) Monies paid or to be paid in cash	0.00
(b) Mortgages (i) assumed (show principal and interest to be credited against purchase price)	0.00
(ii) Given Back to Vendor	0.00
(c) Property transferred in exchange (detail below)	0.00
(d) Fair market value of the land(s)	0.00
(e) Liens, legacies, annuities and maintenance charges to which transfer is subject	0.00
(f) Other valuable consideration subject to land transfer tax (detail below)	0.00
(g) Value of land, building, fixtures and goodwill subject to land transfer tax (total of (a) to (f))	0.00
(h) VALUE OF ALL CHATTELS - items of tangible personal property	0.00
(i) Other considerations for transaction not included in (g) or (h) above	0.00
(j) Total consideration	0.00

4.

Explanation for nominal considerations:

s) other: Conveyance to implement severance

5. The land is not subject to an encumbrance

6. Other remarks and explanations, if necessary.

1. Other remarks & explanations: Sole purpose of conveyance is to implement severance

PROPERTY Information Record

A. Nature of Instrument: Transfer
LRO 37 Registration No. NK31158 Date: 2010/02/01

B. Property(s):
PIN 50222 - 0064 Address CEDAR ST Assessment 3310401 - 00205400
SIMCOE Roll No
PIN 50222 - 0063 Address CEDAR ST Assessment 3310401 - 00205500
SIMCOE Roll No

C. Address for Service: 39 Colborne Street North
Simcoe, ON N3Y 4N5

D. (i) Last Conveyance(s): PIN 50222 - 0064 Registration No. NR351896
PIN 50222 - 0063 Registration No. NR409860

(ii) Legal Description for Property Conveyed: Same as in last conveyance? Yes ☐ No ☒ Not known ☐

SCHEDULE "A"

IN CONSIDERATION of the sum of Two Dollars (\$2.00) now paid by the Transferee to the Transferors, receipt which is acknowledged the Transferors grant to the Transferee his heirs, administrators, successors and assigns an easement and rights:

1. to enter, construct, maintain, inspect, alter and repair the sanitary sewers including all appurtenances to it, on and under the lands described as:

Part of Lot 1, Block 40, Plan 182, designated as Part 5, 37R-10110 Norfolk County (being Part of PIN 50222-0064) which lands constitute the Servient Tenement.
2. for the servants, agents, contractors, and workers of the Transferee to enter with machinery, material, vehicles and equipment necessary for the use of the easement.

The Transferee covenants to fill in all excavations and as far as practicable restore the surface to the same condition as prior to the commencement of construction or of any subsequent work to it.

The Transferors covenant to keep the land clear of all brush, trees and other obstructions as may be necessary for the use of the easement.

The easement in this agreement is declared to be appurtenant to and for the benefit of the lands of the Transferee more particularly described as:

Part Lot 1, Block 40, Plan 182 designated as Parts 1 and 2, on Plan 37R-10110, Norfolk County being of PIN 50222-0063 which lands constitute Part of the Dominant Tenement;

-and-

Part Lot 1, Block 40, Plan 182 designated as Parts 3 and 4, on Plan 37R-10110, Norfolk County being Part of PIN 50222-0064 which lands constitute the balance of the Dominant Tenement.

DOMINANT TENEMENT

Part Lot 1, Block 40, Plan 182 designated as Parts 1 and 2, on Plan 37R-10110, Norfolk County being Part of PIN 50222-0063.

-and-

Part Lot 1, Block 40, Plan 182 designated as Parts 3 and 4, on Plan 37R-10110, Norfolk County being Part of PIN 50222-0064.

SERVIENT TENEMENT

Part of Lot 1, Block 40, Plan 182, designated as Part 5, 37R-10110 Norfolk County (being Part of PIN 50222-0064).

SCHEDULE "B"

IN CONSIDERATION of the sum of Two Dollars (\$2.00) now paid by the Transferors to the Transferee, receipt which is acknowledged the Transferors their heirs, administrators, successors and assigns reserve an easement and rights:

1. to enter, construct, maintain, inspect, alter and repair the sanitary sewers including all appurtenances to them, on and under the lands described as:

Part of Lot 1, Block 40, Plan 182 designated as Part 2, 37R-10110 Norfolk County, being Part of PIN 50222-0063 which lands constitute part of the Servient Tenement

-and-

Part of Lot 1, Block 40, Plan 182, designated as Part 4, 37R-10110, Norfolk County, being Part of PIN 50222-0064 which lands constitute part of the Servient Tenement

2. for the servants, agents, contractors, and workers of the Transferors to enter with machinery, material, vehicles and equipment necessary for the use of the easement.

The Transferors covenant to fill in all excavations and as far as practicable restore the surface to the same condition as prior to the commencement of construction or of any subsequent work to it.

The Transferee covenants to keep the land clear of all brush, trees and other obstructions as may be necessary for the use of the easement.

The easement in this agreement is declared to be appurtenant to and for the benefit of the lands of the Transferors more particularly described as:

Lot 3, Block 40, Plan 182; Part of Lot 1, Block 40, Plan 182, designated as Part 1, Plan 37R-233 and Part 1, Plan 37R-2361, Norfolk County (being PIN 50222-0063) SAVE & EXCEPT Parts 1 & 2, Plan 37R-10110 (being Part of PIN 50222-0063) which lands constitute part of the Dominant Tenement

-and-

Part Lot 1, Block 40, Plan 182, designated as Part 2 and 3, Plan 37R-223, SAVE & EXCEPT Part 1, Plan 37R-2361, Norfolk County (being PIN 50222-0064) SAVE & EXCEPT Parts 3 and 4, Plan 37R-10110 (being Part of PIN 50222-0064) which lands constitute part of the Dominant Tenement.

DOMINMANT TENEMENT

Lot 3, Block 40, Plan 182; Part of Lot 1, Block 40, Plan 182, designated as Part 1, Plan 37R-233 and Part 1, Plan 37R-2361, Norfolk County being PIN 50222-0063 SAVE & EXCEPT Parts 1 & 2, Plan 37R-10110, being Part of PIN 50222-0063.

-and-

Part Lot 1, Block 40, Plan 182, designated as Part 2 and 3, Plan 37R-223, SAVE & EXCEPT Part 1, Plan 37R-2361, Norfolk County being PIN 50222-0064 SAVE & EXCEPT Parts 3 and 4, Plan 37R-10110, being Part of PIN 50222-0064.

SERVIENT TENAMENT

Part of Lot 1, Block 40, Plan 182 designated as Part 2, 37R-10110 Norfolk County, being Part of PIN 50222-0063

-and-

Part of Lot 1, Block 40, Plan 182, designated as Part 4, 37R-10110, Norfolk County, being Part of PIN 50222-0064.



Planning Act

CERTIFICATE OF OFFICIAL

Under subsection 53(42) of The Planning Act, I certify that the consent of the Committee of Adjustment of The Corporation of Norfolk County was given on August 20, 2009, to a conveyance of the following lands:

PT LT 1 BLK 40 PL 182 DESIGNATED AS PARTS 3 AND 4 37R-10110
NORFOLK COUNTY BEING PART OF THE PIN

A handwritten signature in cursive script, appearing to read "Karen Judd", written over a horizontal line.

KAREN JUDD, ACST
Secretary-Treasurer
Committee of Adjustment

BN-050/2009
Dated this 28th day of January, 2010

Schedule "D" to the January 24, 2022 Planning Department by POLYMEDS LIMITED



Planning & Economic Development Services
22 Albert Street, Langton ON N0E 1G0
40 Colborne Street South, Simcoe ON N2Y 4N5
519-426-5870 • 519-875-4485 • 519-582-2100

COMMITTEE OF ADJUSTMENT DECISION

FILE NUMBER: BN-050/2009
RELATED FILE: ZN-078/2008
ROLL NUMBER: 3310-401-002-05500
DECISION DATE: AUGUST 20TH, 2009
DECISION: APPROVED

MOVED BY:

LOCATION: Part Lot 1, Plan 182 SIMCOE
(387 Cedar Street)

SECONDED BY:

Pursuant to Subsection 53(19) of The Planning Act, 1990, this Committee hereby APPROVES the application of:

PETER KURSELL, GREGORY JOHNSTON & POLYMEDS LIMITED

PROPOSAL: Sever a parcel having a frontage of 22.86 m. (75 ft.) a depth of 22.56 m. (74 ft.) and having an area of 505.58 sq.m. (5442 sq.ft) and retain a parcel having an area of 1.11 ha. (2.75 ac.) more or less as the creation of a lot in the urban area.

CONDITIONS:

1. Receipt of a letter from Norfolk County indicating that their requirements, financial or otherwise have been satisfied including:
 - a. Payment of any outstanding taxes.
2. Receipt of a letter from the Public Works and Environmental Services Department indicating that an inspection manhole has been installed on the retained lands to their satisfaction.
3. Receipt of a letter from the Public Works and Environmental Services Department indicating that the confirmation of the location of sanitary/water lines, dye testing of sanitary lines, and operational tests of water services has been completed to their satisfaction.
4. Receipt of a letter from the Public Works and Environmental Services Department indicating that any required easements have been finalized.
5. Receipt of a letter from the Public Works and Environmental Services Department indicating that water and sewer connections have been installed to the severed and retained parcels.
6. Receipt of five copies of the registered reference plan for the severed parcel of land.
7. Receipt of three copies of the deed for the severed parcel of land, or if filing by electronic registration, receipt of the PIN print-out and three copies of the Transfer in Preparation.
8. That the solicitor acting in the transfer provide an undertaking to provide the Secretary-Treasurer with a copy of the first page of the Received Transfer upon completion of the electronic registration.
9. That the above conditions must be fulfilled and the Certificate for consent be issued on or before AUGUST 20, 2010 after which time the consent will lapse.

REASON:

The application conforms to the Official Plan policy regarding severance in the urban area.

MEMBERS:

MARCEL VANHOOREN

DAN GOMA

GEORGE AYRES

JIM WYES

DERRIN TSCHIRHART

JIM MACCORM

HONOURABLE JUSTICE JOHN PRINGLE, Q.C.

MOTION CARRIED:

CHAIRMAN: RICHARD BARKER

CERTIFICATION:

I hereby certify this to be a true copy of the Committee of Adjustment decision and this decision was concurred with by a majority of the members who heard the application at a meeting duly held on August 20th, 2009.

SECRETARY-TREASURER:

KAREN JUDD, ACST

ADDITIONAL INFORMATION: If you require additional information regarding the application, please contact Karen Judd, Secretary-Treasurer for Norfolk County Committee of Adjustment, PO Box 128, 22 Albert St, Langton, ON N0E 1G0, (519) 875-4485 ext 1835; karen.judd@norfolkcounty.ca between 8:30 am and 4:30 pm

NOTICE OF CHANGES: You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be

notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

APPEALS:

Only individuals, corporations and public bodies may appeal decisions in respect of applications for consent to the Ontario Municipal Board. A notice of appeal may not be filed by an unincorporated association or group. However, a notice may be filed in the name of an individual who is a member of the association or group.

NOTICE OF LAST DAY FOR FILING OF APPEAL TO THE ONTARIO MUNICIPAL BOARD:

(The Planning Act, R.S.O. 1990, as amended, c.p. 13, Section 53(19)) Any person or public body may, not later than twenty days after the giving of a written decision, appeal the decision and/or any condition imposed by Norfolk County, Committee of Adjustment to the Ontario Municipal Board. If you wish to appeal to the OMB, a copy of an appellant form is available from the OMB website at www.omb.gov.on.ca. The appellant form, setting out reasons for the appeal, accompanied by the \$125.00 fee in the form of a certified cheque or money order, payable to the Minister of Finance must be filed with the Clerk of the Municipality on or before the following date:

SEPTEMBER 10TH, 2009



STATUS SHEET

FOR CONSENT OR MINOR VARIANCE APPLICATIONS

Roll Number: 3310-401-002-05500
File Number: BN-050/2009

Applicant: Peter Kursell, Gregory Johnston
& Polymeds Limited
387 Cedar Street
Simcoe, ON N3Y 4J2

Agent: Thomas A. Cline
Cline, Backus, Nightingale & McArthur
PO Box 528, 39 Colborne Street,
Simcoe ON N3Y 4N5

Phone: 519-426-4821

Phone: 519-426-2055

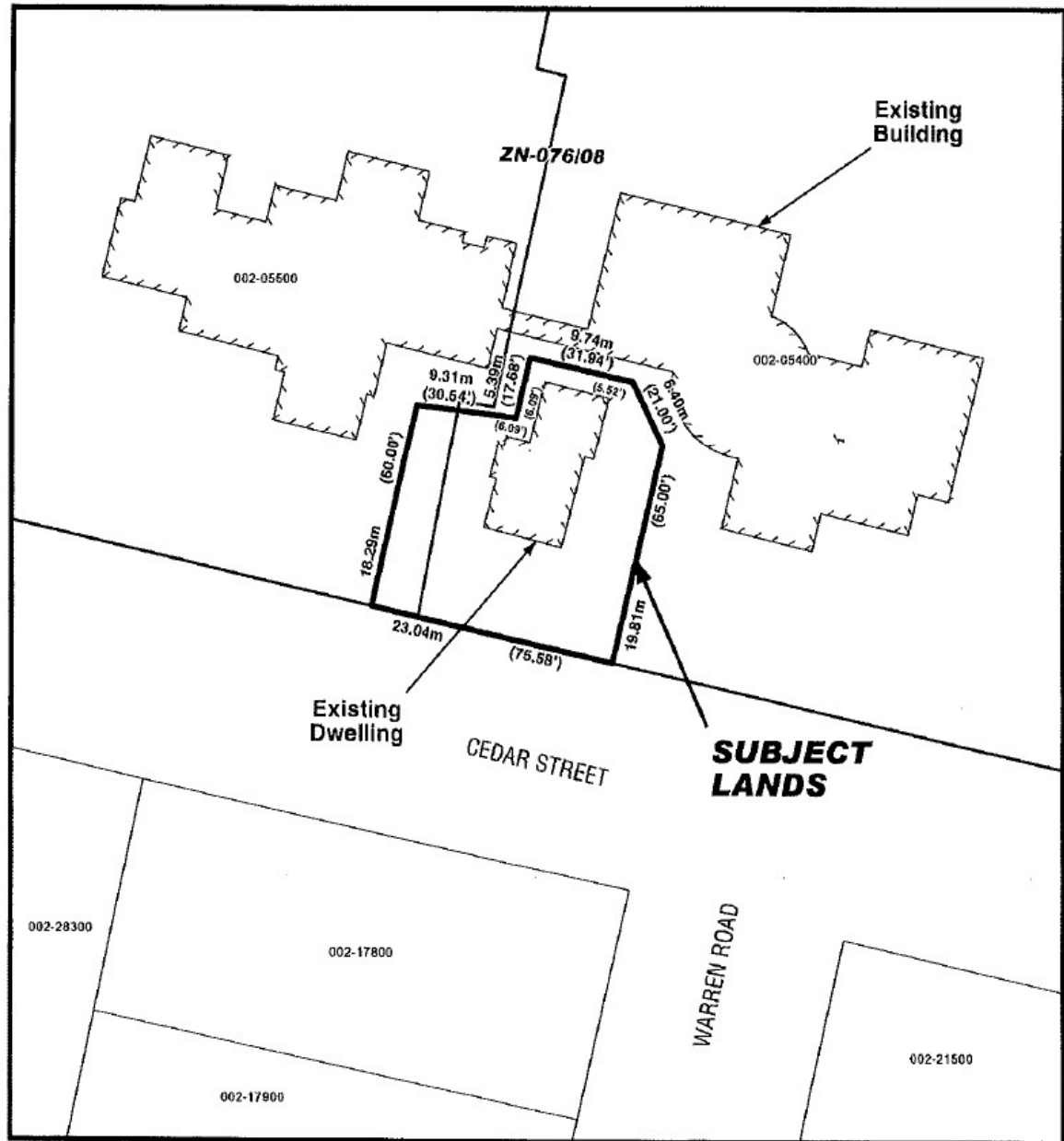
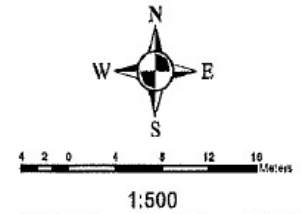
PROPOSAL:

Sever a parcel having a frontage of 22.86 m. (75 ft.) a depth of 22.56 m. (74 ft.) and having an area of 505.56 sq.m. (5442 sq.ft) and retain a parcel having an area of 1.11 ha. (2.75 ac.) more or less as the creation of a lot in the urban area.

Application Received	May 6, 2009	
Sign Issued	May 7, 2009	
Application to Graphics	May 12, 2009	
Maps Returned		
Acknowledgement Letter Sent	May 12, 2009	
Circulation to Agencies	May 19, 2009	
Hearing Notice Sent	June 3/09	Aug 5/09
Date of Hearing	June 18, 2009	Aug 20/09
Report Mailed to Applicant/Agent	PULLED	Aug 13/09
Notice of Decision Sent		Aug 20/09
Appeal Period Expiry		Sept. 10/09
No Appeals Received Letter Sent		Sept 11/09
Appeal Received		N/A
Appeal & Fee Forwarded to OMB		N/A
Certificate Issued		Jul 28/10

ADDITIONAL COMMENTS:

Urban Area of SIMCOE



PUBLIC WORKS & ENVIRONMENTAL SERVICES DEPT.

183 MAIN STREET
DELHI ONTARIO N4B 2M3
TELEPHONE (519) 582-2100 OR 428-0020
FAX NUMBER (519) 582-4571

DATE: January 28, 2010

ATTENTION:

- ☐ Jim McIntosh
- ☐ Eric Gilbert
- ☒ Karen Judd
- ☐ Scott Peck
- ☐ Shirley Cater
- ☐ Mary Elder

SUBJECT: BN-050/2009, (Peter Kursell, Gregory Johnston & Polymeds Ltd.)

Please release the Committee of Adjustment Decision condition #2 as Public Works is satisfied that the existing sanitary inspection manhole on the retained parcel is acceptable.

Please release the Committee of Adjustment Decision condition #3 as Public Works has confirmed the location of the sanitary/water lines and operational test of water services have been completed to Public Works satisfaction.

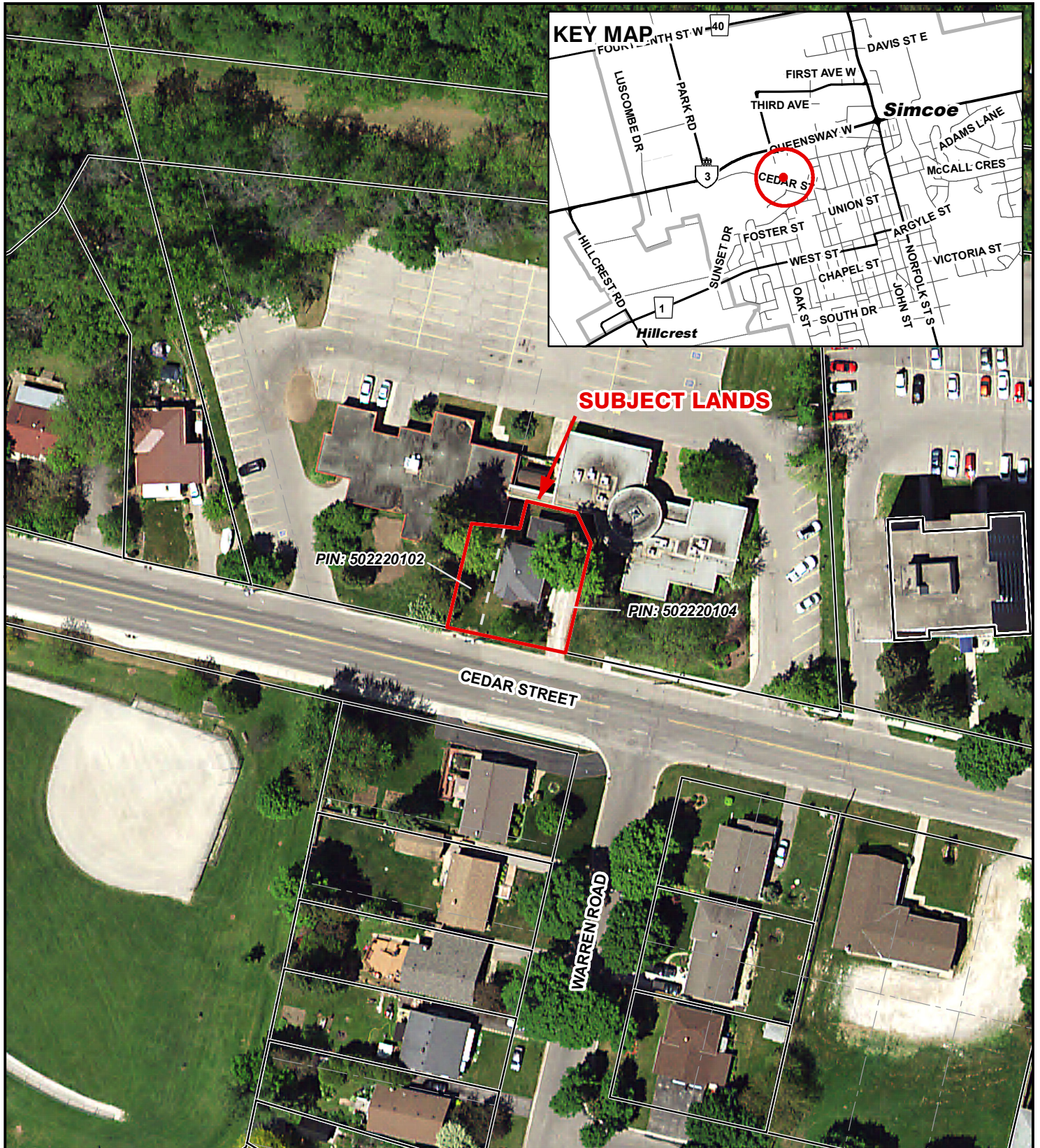
Please release the Committee of Adjustment Decision condition #4 as Public Works has received an undertaking regarding the registering of the required easements.

Please release the Committee of Adjustment Decision condition #5 as Public Works has confirmed that water and sewer connections are installed to the severed and retained parcels.


Note: The above conditions do not excluded any other requirements or approvals required by any Government Ministry or Act

MAP A
CONTEXT MAP
 Urban Area of SIMCOE

BNPL2022035

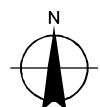


Legend

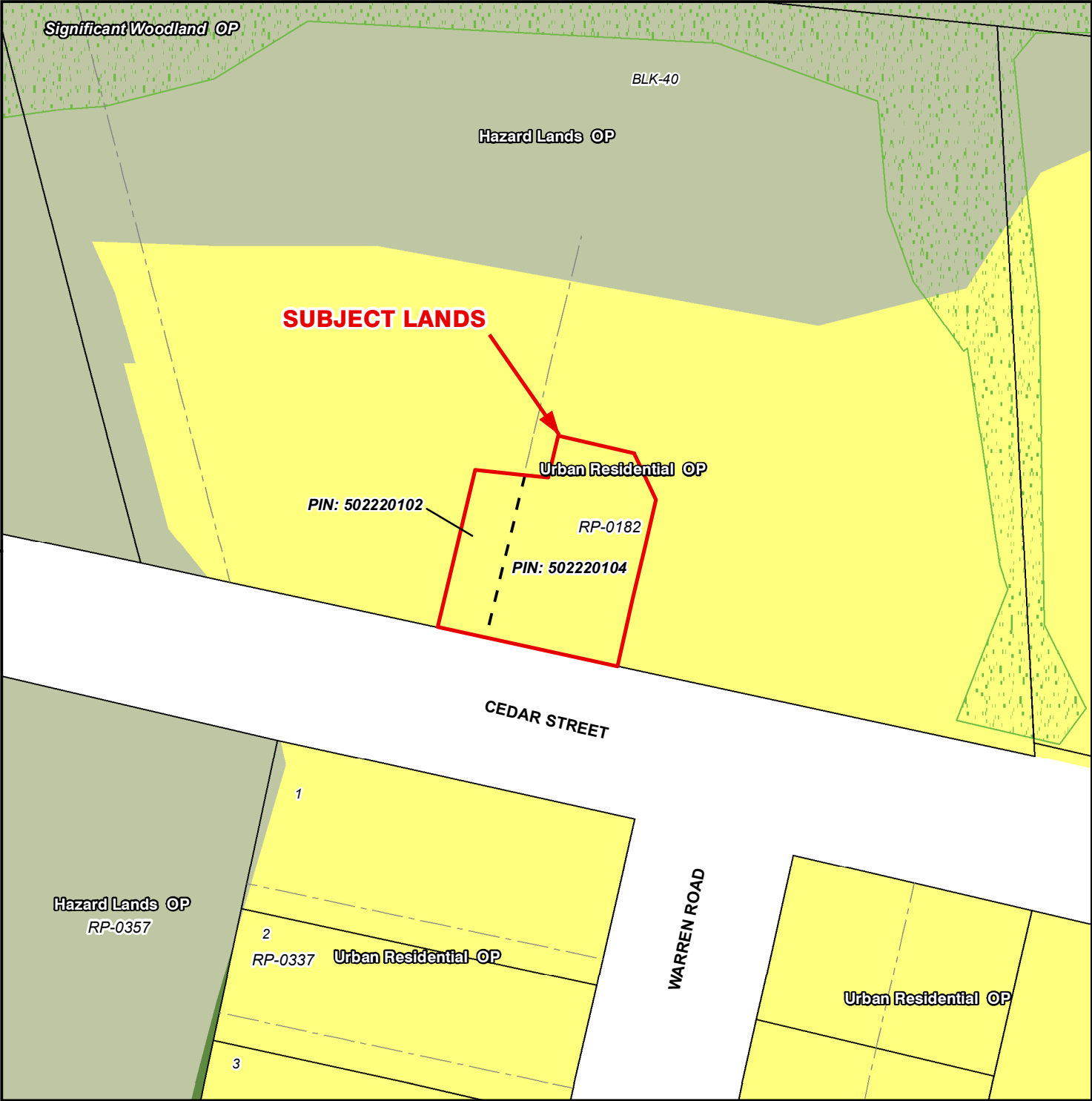
 Subject Lands

2020 Air Photo


2/1/2022








8 4 0 8 16 24 32
 Meters



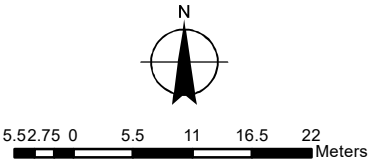
Legend

 Subject Lands

Official Plan Designations

- | | |
|--|--|
|  Hazard Lands |  Urban Area Boundary |
|  Urban Residential |  Significant Woodland |
|  Parks & Open Space | |

2/1/2022

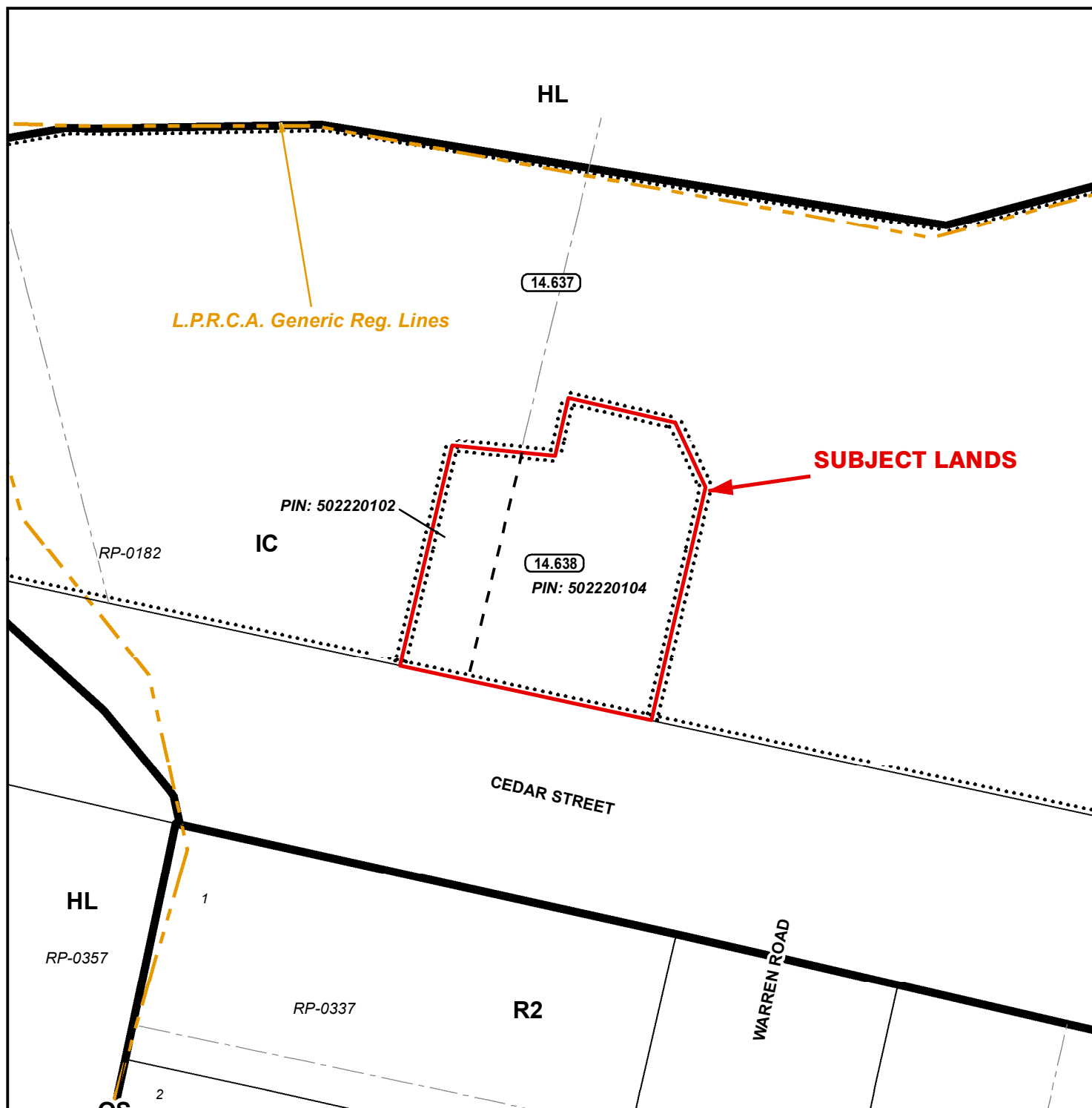


MAP C

ZONING BY-LAW MAP

Urban Area of SIMCOE

BNPL2022035



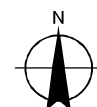
2/1/2022

LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

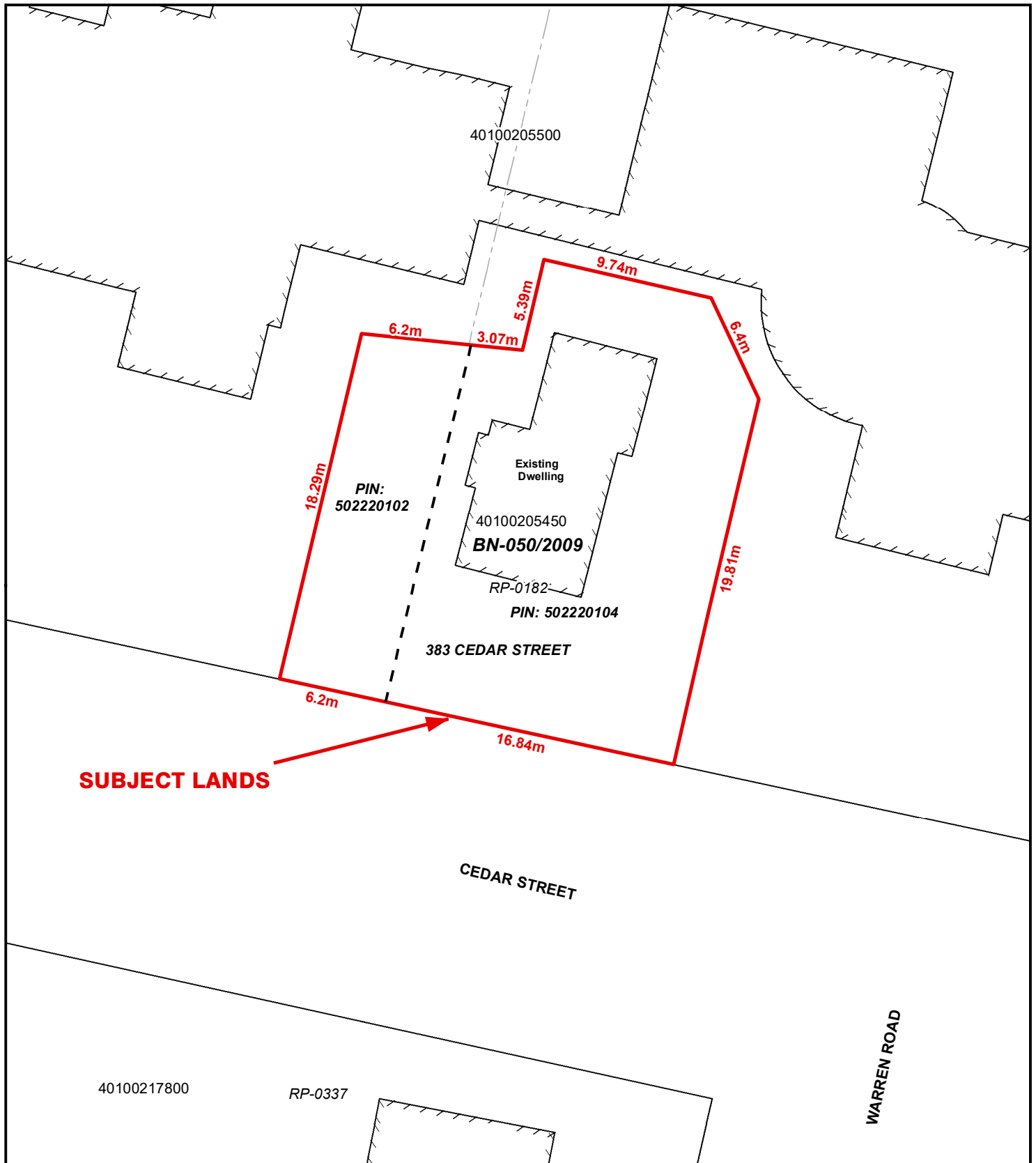
- (H) - Holding
- IC - Community Institutional Zone
- HL - Hazard Land Zone
- OS - Open Space Zone
- R2 - Residential R2 Zone



4 2 0 4 8 12 16 Meters

CONCEPTUAL PLAN

Urban Area of SIMCOE



SUBJECT LANDS

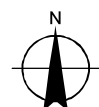
CEDAR STREET

WARREN ROAD

Legend

Subject Lands

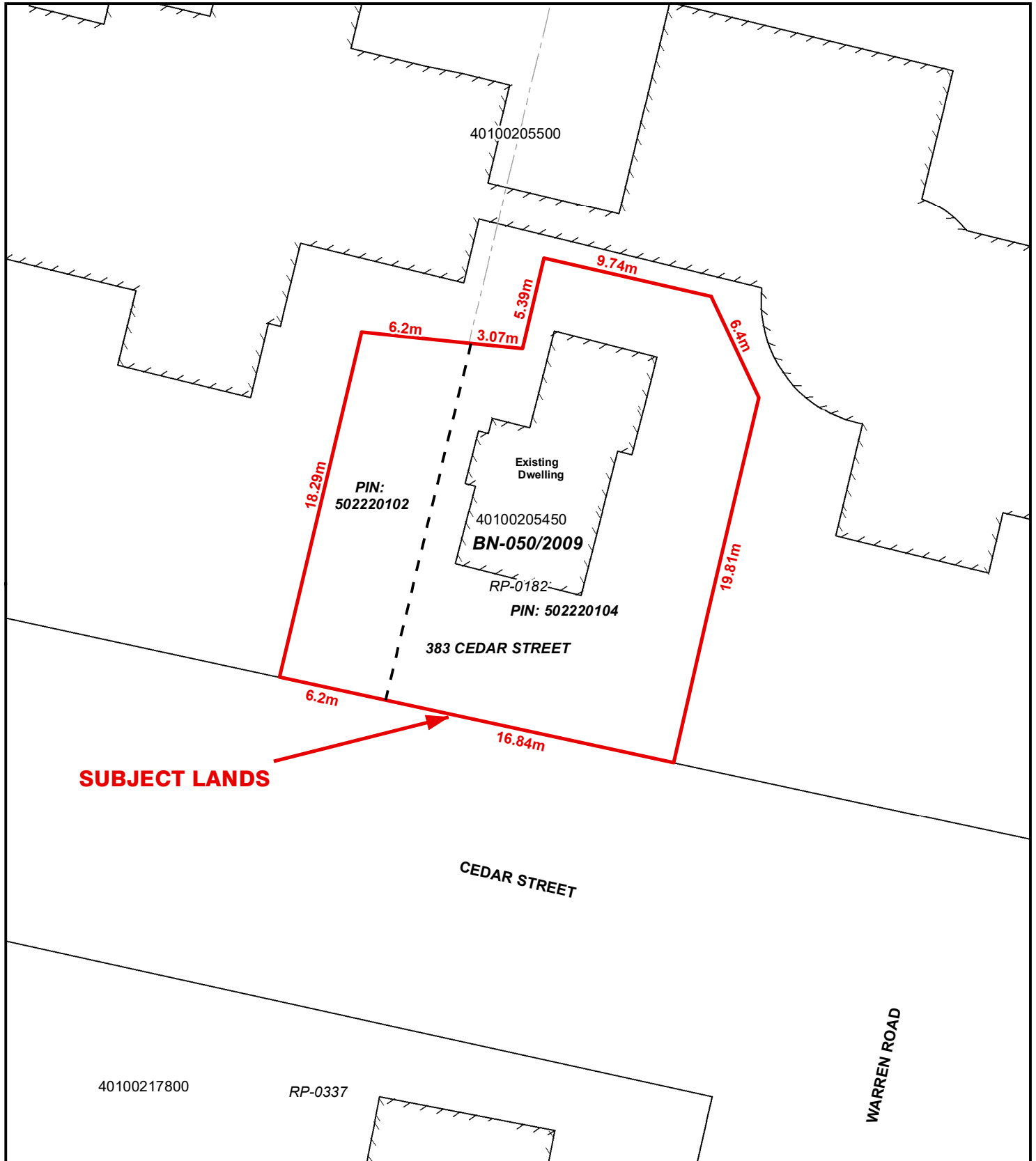
2/1/2022



2.5 1.25 0 2.5 5 7.5 10 Meters

CONCEPTUAL PLAN

Urban Area of SIMCOE

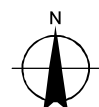


SUBJECT LANDS

Legend

Subject Lands

2/1/2022



2.5 1.25 0 2.5 5 7.5 10 Meters