

For Office Use Only:

File Number	Application Fee
Related File Number	Conservation Authority Fee
Pre-consultation Meeting	Well & Septic Info Provided
Application Submitted	Planner
Complete Application	Public Notice Sign

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
 Surplus Farm Dwelling Severance and Zoning By-law Amendment
 Minor Variance
 Easement/Right-of-Way

Property Assessment Roll Number: 541011011800**A. Applicant Information****Name of Owner** Dave & Eva Teichroeb

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 715 North Rd.
Town and Postal Code Langton, N0E 1G0
Phone Number 519-909-0224
Cell Number
Email evat2009@live.ca

Name of Applicant

Address
Town and Postal Code
Phone Number
Cell Number
Email

Name of Agent	Girard Engineering - Tom Sprague
Address	212 Main St. W
Town and Postal Code	Otterville, N0J 1R0
Phone Number	519-879-6875
Cell Number	
Email	info@girardengineering.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Part of Lot 6, Concession 4, North of Talbot Rd, Geographic Township of Middleton

Municipal Civic Address: 441 Highway 19

Present Official Plan Designation(s): Hamlet

Present Zoning: CR - Rural Commercial

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Seasonal farm market

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Farm market - to be removed and replaced

2 Greenhouses - to be removed

Existing Shed - to be removed

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

New seaasonl farm market complete with outdoor display

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

November 2018

-

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard	5.60m	9.0m		6.0m	3.0m
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	Usable floor area	300m ²		582.22m ²	282.22m ²

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

To allow for proposed building, parking area & permitted fire lane

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:

Depth:

Width: _____

Area: _____

Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

Previous restaurant and seasonal farm market

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
Owners knowledge of site

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

No change in use, new building only

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

No change in use, new building only

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)
-

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)
-

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Vienna Rd.

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-
-
-

I. Transfers, Easements and Postponement of Interest

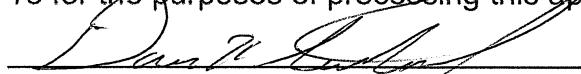
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.* 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature



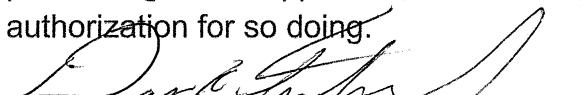
Date

J. Owner's Authorization

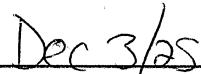
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Dave + Eva Teichroeb am/are the registered owner(s) of the lands that is the subject of this application.

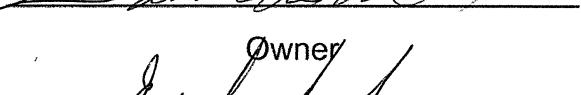
I/We authorize Girard Engineering - Tom Sprague to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



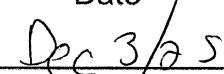
Owner



Date



Owner



Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20_____

A Commissioner, etc.

DINERS:

D&E FAMILY FARM MARKET

441 VIENNA ROAD
TILLSONBURG, ONTARIO, N4G 4G9

SEASONAL FARM MARKET

DESIGNED BY:

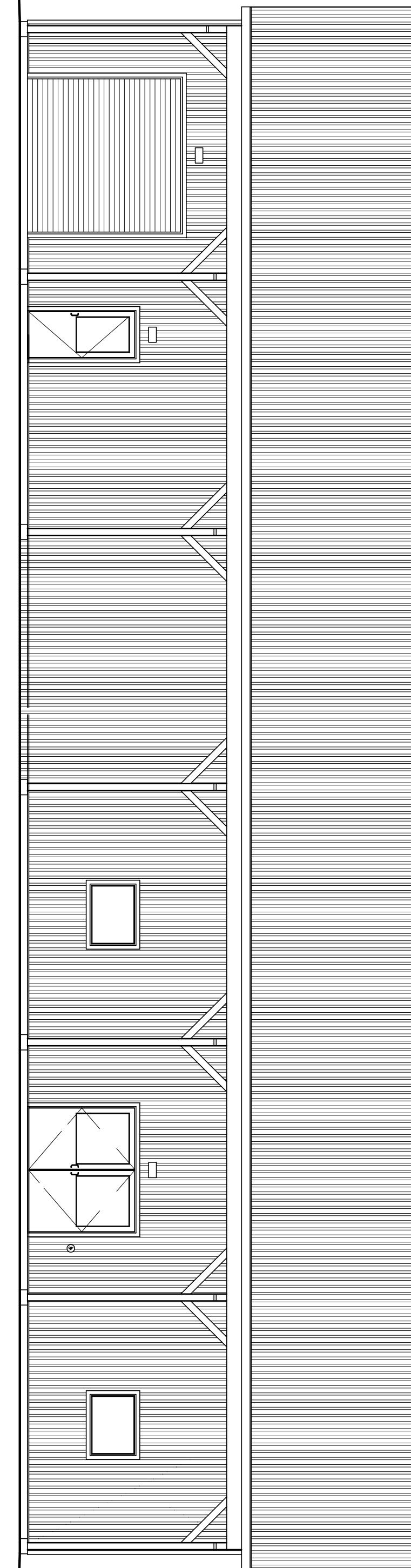
girard
ENGINEERING
247B 153 ONTARIO INC.
WOODSTOCK, ONTARIO
TEL: 519-937-9875
EMAIL: INFO@GIRARDENGINEERING.CA

MUNICIPALITY:

NORFOLK COUNTY
50 COLBORNE ST S,
SIMCOE, ONTARIO, N3Y 2Z4
PHONE: (519) 426-5970

CONSTRUCTED BY:

WOLF HOMES INC.
PHONE: (519) 403-5251
EMAIL: WOLFHOMES20@GMAIL.COM



APPROVED BY:

CONSTRUCTION NOTES AND SPECIFICATIONS

1. GENERAL

- 1.1. THIS PLAN IS NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED NORFOLK COUNTY.
- 1.2. THIS PLAN IS TO BE USED FOR FENCING AND GARDEN ONLY. ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THIS PLAN MUST NOT BE USED TO TEST THE DESIGNED BUILDING.
- 1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN OWNER, THE CITY AND THE COUNTY.
- 1.4. THIS PLAN IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF GIRARD ENGINEERING.
- 1.5. PLANS FOR CONTRACTING TO THE CONTRACTOR MUST:

 - 1.5.1. PROVIDE FOR ALL EXISTING UTILITIES, CONDUITS, EXCAVATING, ETC., WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARKS, SURVEY POINTS, EXISTING SERVICES, CONDUITS, ETC., AND THE DISCREPANCIES TO THE ENGINEER PROVIDED.
 - 1.5.2. DRAUL ALL UTILITY LOCATIONS AND REQUIRE PERMITS AND LICENSES.
 - 1.5.3. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THIS PLAN ARE CORRECT.
 - 1.5.4. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THIS PLAN ARE CORRECT.
 - 1.5.5. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THIS PLAN ARE CORRECT.
 - 1.5.6. THE CONTRACTOR SHALL ISSUE ALL LIABILITY FOR ANY DAMAGE TO EXISTING UTILITIES.
 - 1.6. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WILL BE INSTALLED BY OWNER'S CONTRACTOR UPON APPLICATION AND APPROPRIATE PAYMENT TO ORIGINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL DEFECTED PROPERTY TO ORIGINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL PUBLIC UNDERGROUND SERVICES TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL BUILDING CODE PART 7, PLUMBING, THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OSS) AND COMPLIANCE WITH LOCAL APPLICABLE CODES AND REGULATIONS WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.
 - 1.7. CONTRACTOR'S RESPONSIBILITY FOR CONTRACTING OWNER AGREE PRIOR TO COMMENCING WORK TO ARRANGE FOR CONTRACTOR TO PROVIDE A DETAILED DRAUL OF EXISTING UTILITIES AND OTHER FEATURES AS WELL AS AN APPROPRIATE DRAUL OF NEW FEATURES AS THEY ARE LOCATED AND IDENTIFIED IN THIS PLAN.
 - 1.8. A GENERAL REVIEW FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXISTING UTILITIES BEING INSPECTED AT CONTRACTOR'S EXPENSE.
 - 1.9. THE PLANTER BOXES ARE TO BE REMOVED BY THE CONTRACTOR AND PLACED ON THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE PLANTER BOXES AND RESTORING THE GROUND TO ITS PREVIOUS STATE.
 - 1.10. PLANTER BOXES ARE TO BE REMOVED BY THE CONTRACTOR AND PLACED ON THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING THE GROUND TO ITS PREVIOUS STATE.
 - 1.11. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE PLANTER BOXES AND RESTORING THE GROUND TO ITS PREVIOUS STATE.
 - 1.12. THE CONTRACTOR IS RESPONSIBLE FOR RESTORING THE GROUND TO ITS PREVIOUS STATE.
 - 1.13. SITE SERVING CONTRACTOR IS TO TERMINATE ALL SERVICES 10 METERS FROM FOUNDATION WALL.
 - 1.14. MAINTAINING THE GROUND SURFACE APPROXIMATELY 10 CM ABOVE GROUND LEVEL IS REQUIRED FOR EARTH RETENTION OF EXISTING UTILITIES AND OTHER FEATURES AS THEY ARE LOCATED AND IDENTIFIED IN THIS PLAN.
 - 1.15. MAINTAINING THE GROUND SURFACE APPROXIMATELY 10 CM ABOVE GROUND LEVEL IS REQUIRED FOR EARTH RETENTION OF EXISTING UTILITIES AND OTHER FEATURES AS THEY ARE LOCATED AND IDENTIFIED IN THIS PLAN.

1. GENERAL, CONTINUED

- 1.16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PHASE, INCLUDING THE SUPPLY OF INSULATION AND RELOCATION OF ALL NECESSARY SIGNALS, DELAYATORS, MARKERS AND BARRIERS, ETC., IN ACCORDANCE WITH THE STANDARDS OF NORFOLK COUNTY AND THE MTO MANUAL OF UNIFORM STAFF CODE, OPERATIONAL POLICIES, AND THE CONTRACTOR SHALL USE THE APPROPRIATE UTILITY AND STRUCTURE LOCATIONS SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE CONTRACTOR SHALL INFORM THE OWNERS OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND THE CONTRACTOR SHALL USE THE APPROPRIATE UTILITY AND STRUCTURE LOCATIONS SHOWN ON THE CONTRACT DRAWINGS PRIOR TO ANY WORK BEING DONE ON PRIVATE PROPERTY.
- 1.17. THE POSITION OF POLE LINE CONDUITS, WATERMANS, SEIVERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE CONTRACTOR SHALL INFORM THE OWNERS OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND THE CONTRACTOR SHALL USE THE APPROPRIATE UTILITY AND STRUCTURE LOCATIONS SHOWN ON THE CONTRACT DRAWINGS PRIOR TO ANY WORK BEING DONE ON PRIVATE PROPERTY.
- 1.18. THE CONTRACTOR SHALL USE THE APPROPRIATE UTILITY AND STRUCTURE LOCATIONS SHOWN ON THE CONTRACT DRAWINGS PRIOR TO ANY WORK BEING DONE ON PRIVATE PROPERTY.

3. EROSION AND SEDIMENT CONTROL, CONTINUED

- 1.19. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO COMPLETION OF PROJECT, BUT PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 1.20. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 1.21. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 1.22. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 1.23. MAINTAIN MINIMUM OF ONE LANE OF TRAFFIC IN BOTH DIRECTIONS AT ALL TIMES ON WORK AREA.
- 1.24. ALL CONCRETE SURFACES TO BE MAINTAINED IN A SATISFACTORIE MANNER AT ALL TIMES.
- 1.25. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 1.26. DUST MITIGATION MEASURES TO BE IMPLEMENTED TO REDUCE AND CONTROL DUST WITHIN THE WORK AREA.

2. COMMON CONTROL MEASURES

- 2.1. ALL WORKS ON CONSTRUCTION SITES SHALL COMPLY WITH THE ONTARIO STANDARDS AND DIRECTIVES.
- 2.2. TRAFFIC CONTROL MEASURES TO BE UNDERTAKEN TO COMPLY WITH THE ONTARIO STANDARDS AND DIRECTIVES.
- 2.3. MAINTAIN MINIMUM OF ONE LANE OF TRAFFIC IN BOTH DIRECTIONS AT ALL TIMES ON WORK AREA.
- 2.4. ALL CONCRETE SURFACES TO BE MAINTAINED IN A SATISFACTORIE MANNER AT ALL TIMES.
- 2.5. CONTRACTOR MUST ERECT AN EROSION AND SEDIMENTATION FENCE PRIOR TO ERECTING OVERHEAD, ENGINES ARE REQUESTED TO REFER TO THE SECTION OF THE DRAWINGS WHICH HAS BEEN REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.
- 2.6. DUST MITIGATION MEASURES TO BE IMPLEMENTED TO REDUCE AND CONTROL DUST WITHIN THE WORK AREA.

3. EROSION AND SEDIMENT CONTROL

- 3.1. CONDUCT EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED AND TEMPORARY COVERS ESTABLISHED.
- 3.2. ALL EARTH FENCING TO BE INSTALLED PRIOR TO ANY AREA GRAVING, EXCAVATING OR DEMOLITION COMMENCING.
- 3.3. EARTH FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES, ALL STOCCLES TO BE KEPT.
- 3.4. EROSION PROTECTION TO BE PROVIDED AROUND ALL EXCAVATIONS, DITCHES AND TRENCHES.
- 3.5. ADDITIONAL EROSION CONTROL MEASURES TO BE PROVIDED AS DETERMINED BY THE ENGINEER AND CONTRACTOR TO PRODUCE ALL ADDITIONAL FLOOR DRAIN CONDUIT STRUCTURES.
- 3.6. DUST MITIGATION MEASURES TO BE PROVIDED AS DETERMINED BY THE ENGINEER AND CONTRACTOR TO PROTECT ALL DUST PLAGUE, KNOCKED DUST, SWEEPING, HEAVY EQUIPMENT, ETC.
- 3.7. NO TEMPORARY NETTING OR EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER.
- 3.8. CONTRACTOR TO CLEAR ROCKWORK AND SIDEWALKS OR SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.

DRAWING LIST:

100 - SITE PLAN
200 - PRE-DEVELOPMENT PLAN
201 - GRADING PLAN
300 - SEDIMENT & EROSION CONTROL PLAN
A3 - BUILDING ELEVATIONS

SITE PLAN APPROVAL -

1ST SUBMISSION

NOVEMBER 13, 2025

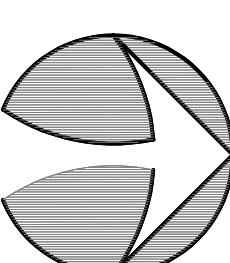
ISSUED FOR:

NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE SIGNER AND ARE NOT TO BE LEMOVED UNLESS AUTHORIZED BY THE ENGINEER.

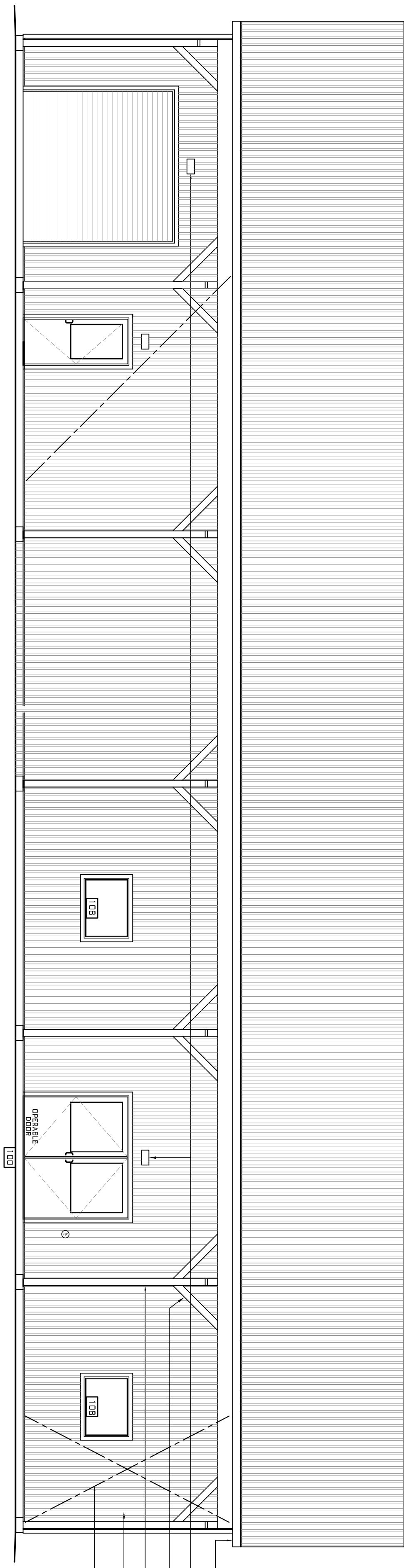


25' 5 1/2" TOTAL BUILDING HEIGHT

CONSTRUCTION NORTH

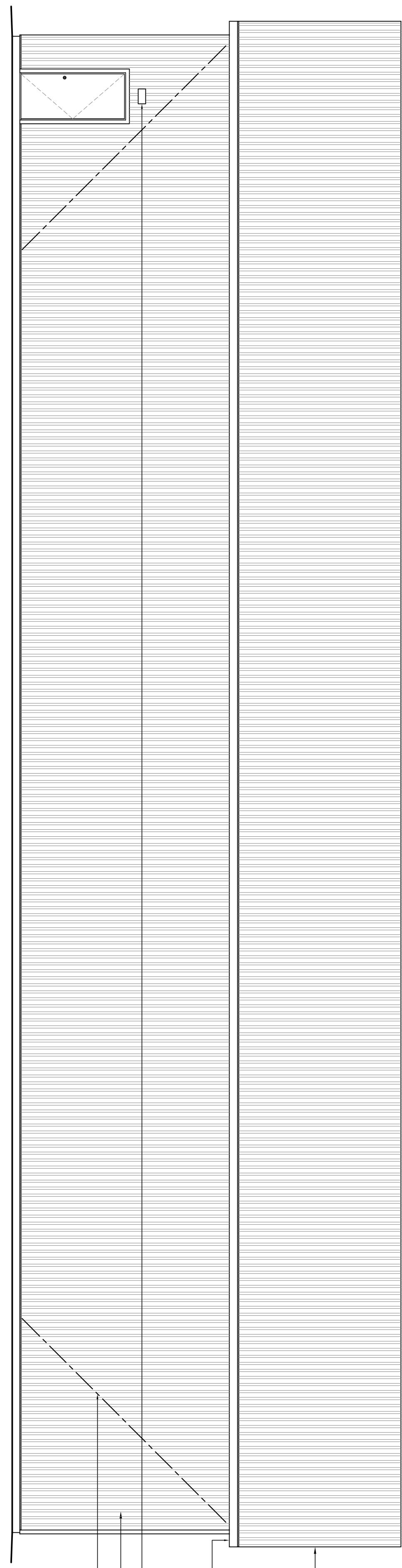


BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES,
SHALL REVIEW ALL DRAWINGS AND ENTHALY DIMENSIONS AS THE
RELEASER OF DRAWINGS. NO PARTS OF THE DESIGN OR SPECIFICATIONS
SHALL BE COPIED OR REPRODUCED IN WHOLE OR IN PART.
THESE DRAWINGS ARE TO BE READ AND NOT TO BE REPALED.



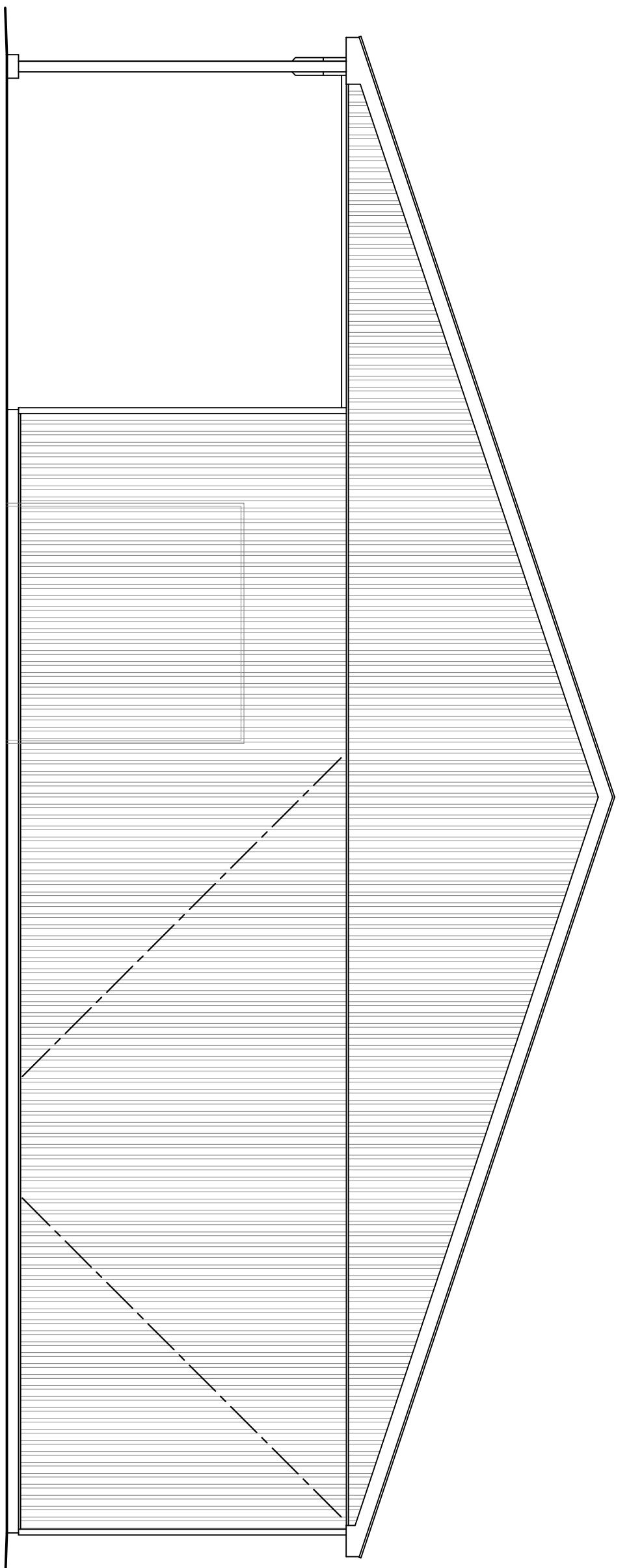
FRONT (EAST) ELEVATION

SCALE: 1/8 = 1'-0"



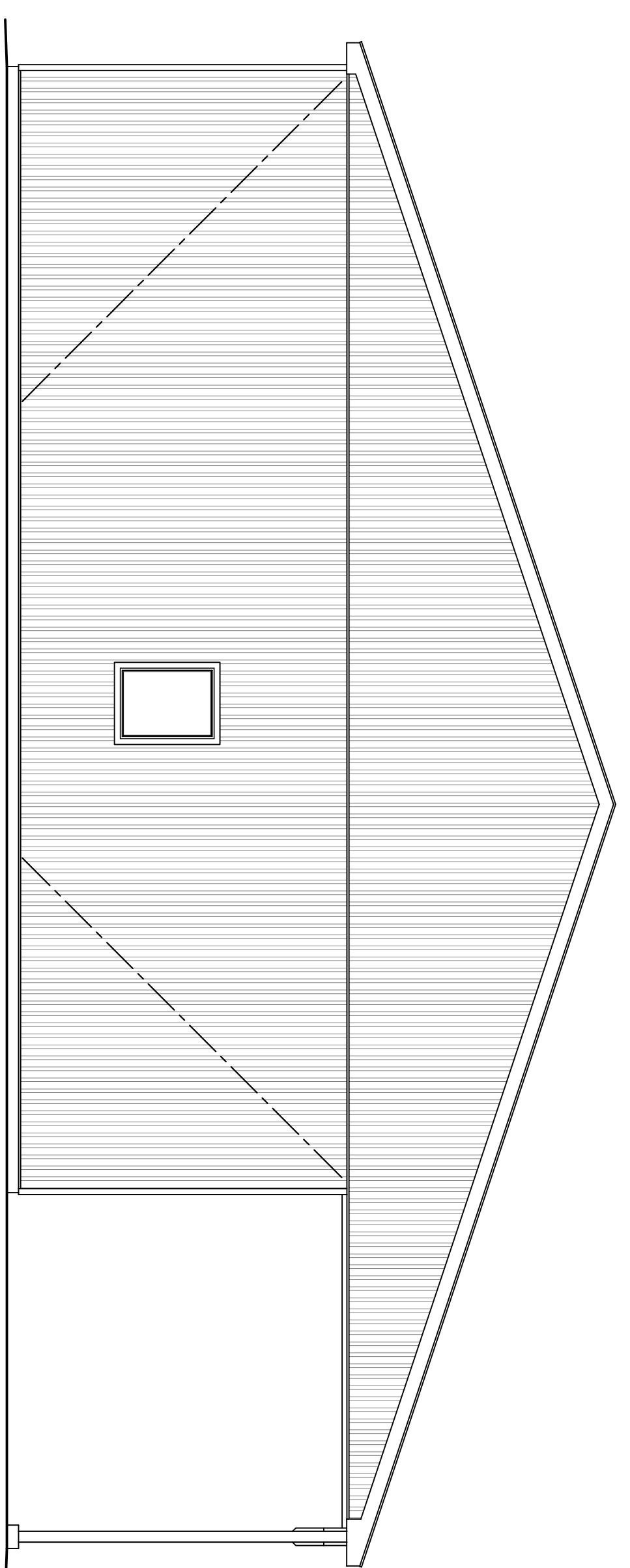
BACK (WEST) ELEVATION

SCALE: 1/8 = 1'-0"



SIDE (NORTH) ELEVATION

SCALE: 3/16 = 1'-0"



SIDE (SOUTH) ELEVATION

SCALE: 3/16 = 1'-0"

WOLF HOMES INC.
JOHN & LISA WOLF
415 10TH CONCESSION ROAD
LANGTON, ONTARIO, N0E 1G0
TEL: 1-519-943-5251
EMAIL: DFLULL@GMAIL.COM

girard ENGINEERING
2478153 ONTARIO INC.
WOODSTOCK OTTERVILLE
TEL: 1-519-879-9675
EMAIL: DFLULL@GIRARDENGINEERING.CA

DESIGNED BY:

DATE: NOVEMBER 25, 2025



DESIGNED FOR:

NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS
SOLICITED DRAWN THESE DRAWINGS BY THE ENGINEER.

**D&E FAMILY
FARM MARKET**
441 VIENNA ROAD
TILLSONBURG, ONTARIO N4G 4G9

SEASONAL FARM MARKET

BUILDING ELEVATIONS

SCALE:	3/16 = 1'-0" OR AS NOTED
DATE:	JULY 2025
DRAWING BY:	T. STRAUSS
DESIGNED BY:	M. VASANTHA
CHECKED BY:	M. VASANTHA
PROJECT NO.:	24-221

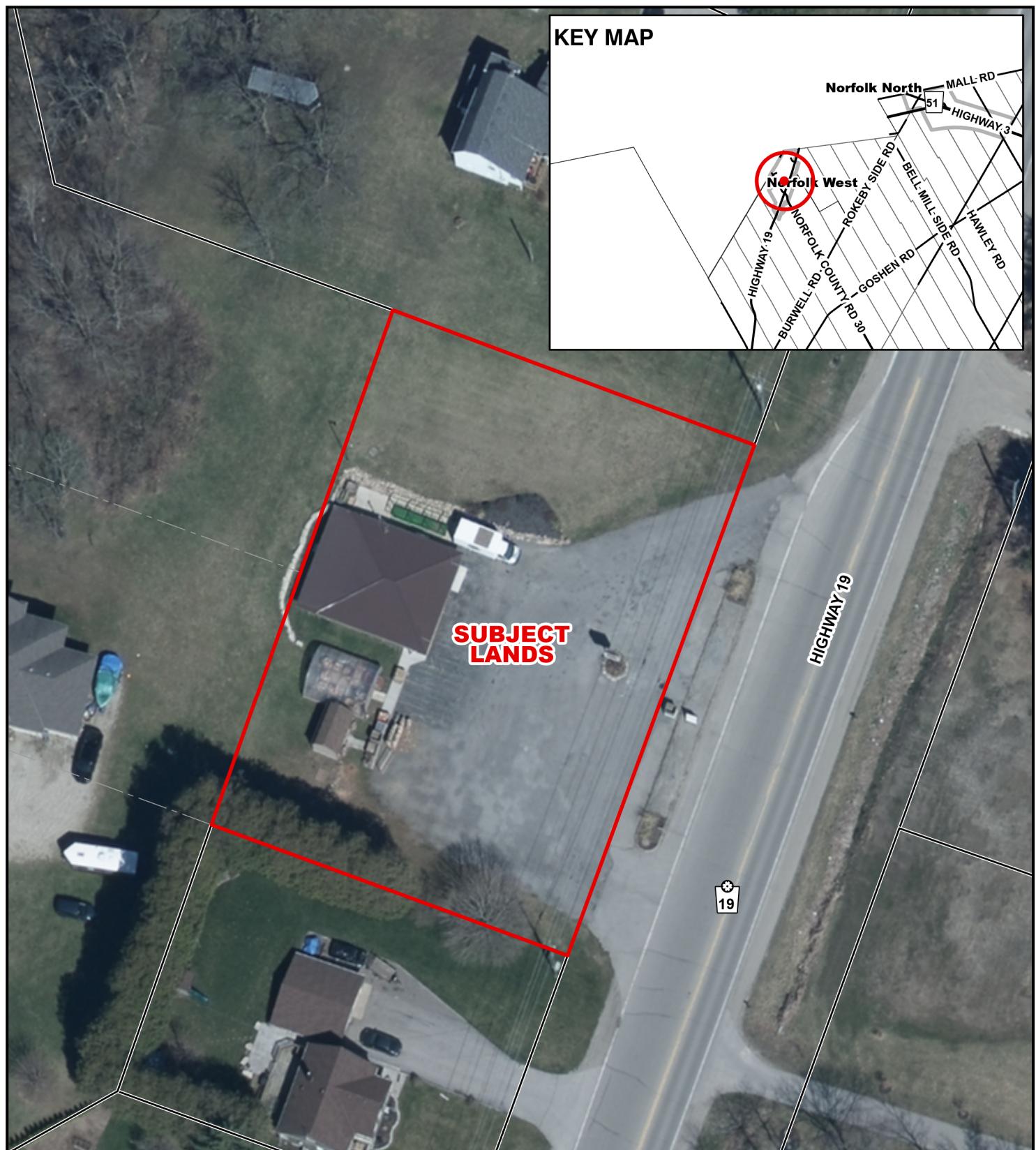
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MAP A

ANPL2025376

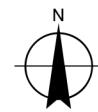
CONTEXT MAP

Geographic Township of MIDDLETON

**Legend**

Subject Lands

1/9/2026

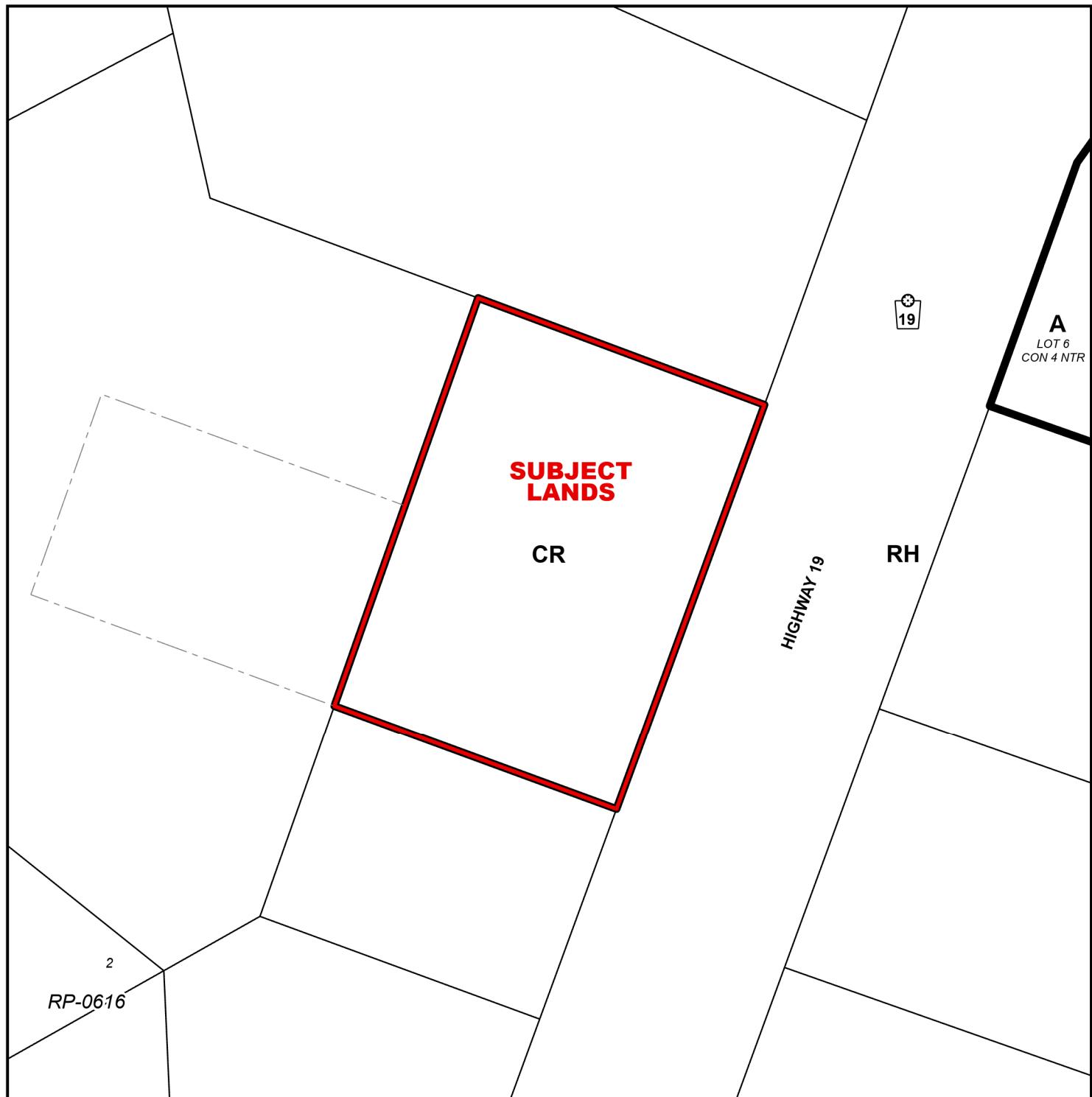


2020 Air Photo

4.52 25.0 4.5 9 13.5 18 Meters

ZONING BY-LAW MAP

Geographic Township of MIDDLETON

**LEGEND**

Subject Lands

ZONING BY-LAW 1-Z-2014

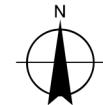
1/9/2026

(H) - Holding

A - Agricultural Zone

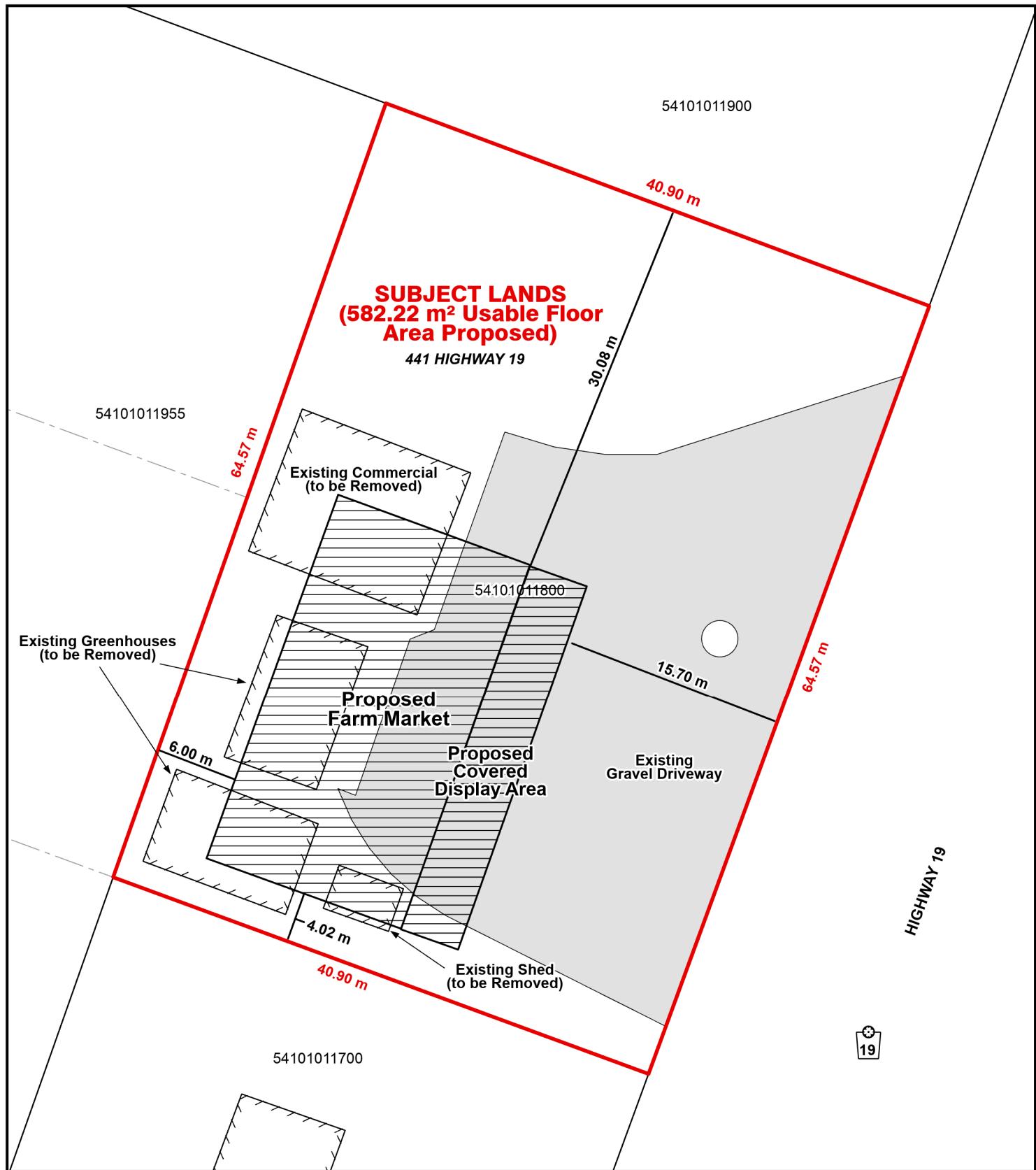
CR - Rural Commercial Zone

RH - Hamlet Residential Zone



6 3 0 6 12 18 24 Meters

CONCEPTUAL PLAN
Geographic Township of MIDDLETON



Legend

Subject Lands

1/9/2026



3 1.5 0 3 6 9 12 Meters