

**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 541011011800

**A. Applicant Information**

**Name of Owner** Dave & Eva Teichroeb

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 715 North Rd.

Town and Postal Code Langton, N0E 1G0

Phone Number 519-909-0224

Cell Number \_\_\_\_\_

Email evat2009@live.ca

**Name of Applicant** \_\_\_\_\_

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

<b>Name of Agent</b>	Girard Engineering - Tom Sprague
Address	212 Main St. W
Town and Postal Code	Otterville, N0J 1R0
Phone Number	519-879-6875
Cell Number	
Email	info@girardengineeeng.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☒ Owner                      ☒ Agent                      ☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
 \_\_\_\_\_

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Part of Lot 6, Concession 4, North of Talbot Rd, Geographic Township of Middleton

Municipal Civic Address: 441 Highway 19

Present Official Plan Designation(s): Hamlet

Present Zoning: CR - Rural Commercial

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify:

3. Present use of the subject lands:

Seasonal farm market

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Farm market - to be removed and replaced

2 Greenhouses - to be removed

Existing Shed - to be removed

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

New seasonal farm market complete with outdoor display

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

November 2018

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard	5.60m	9.0m		6.0m	3.0m
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	Usable floor area	300m2		582.22m2	282.22m2



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

To allow for proposed building, parking area & permitted fire lane

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

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Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

Previous restaurant and seasonal farm market

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☒ Unknown

3. Provide the information you used to determine the answers to the above questions:  
Owners knowledge of site

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☒ No

If no, please explain:

No change in use, new building only

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☒ No

If no, please explain:

No change in use, new building only

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

## F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

### Water Supply

☐ Municipal piped water

☐ Communal wells

☒ Individual wells

☐ Other (describe below)

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### Sewage Treatment

☐ Municipal sewers

☐ Communal system

☒ Septic tank and tile bed in good working order

☐ Other (describe below)

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### Storm Drainage

☒ Storm sewers

☐ Open ditches

☐ Other (describe below)

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2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street:

Vienna Rd.

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## G. All Applications: Other Information

1. Does the application involve a local business? ☒ Yes ☐ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

## I. Transfers, Easements and Postponement of Interest

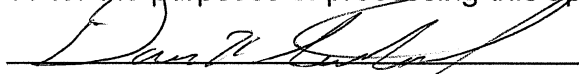
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

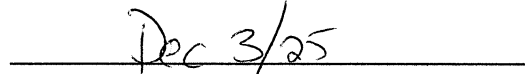
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



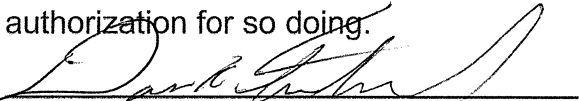
Date

## J. Owner's Authorization

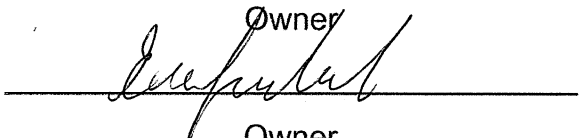
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Dave + Ewa Teichroeb am/are the registered owner(s) of the lands that is the subject of this application.

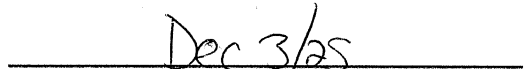
I/We authorize Girard Engineering - Tom Sprague to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



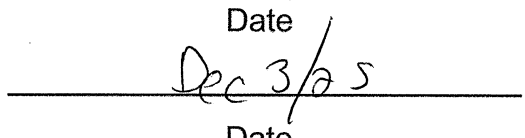
Owner



Owner



Date



Date

**\*Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

**K. Declaration**

I, \_\_\_\_\_ of \_\_\_\_\_

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

\_\_\_\_\_

\_\_\_\_\_

Owner/Applicant/Agent Signature

In \_\_\_\_\_

This \_\_\_\_\_ day of \_\_\_\_\_

A.D., 20\_\_\_\_

\_\_\_\_\_

A Commissioner, etc.



DWNER:

DRAWING LIST:

- 100 - SITE PLAN
- 200 - PRE-DEVELOPMENT PLAN
- 201 - GRADING PLAN
- 300 - SEDIMENT & EROSION CONTROL PLAN
- A3 - BUILDING ELEVATIONS

D&E FAMILY

FARM MARKET

441 VIENNA ROAD

TILSONBURG, ONTARIO, N4G 4G9

# SEASONAL FARM MARKET

DESIGNED BY:

girard

ENGINEERING

2478153 ONTARIO INC.

WOODSTOCK OTTERVILLE

TEL: 1-519-879-6875

EMAIL: INFO@GIRARDEENGINEERING.CA

MUNICIPALITY:

NORFOLK COUNTY

50 COLBORNE ST S.,

SIMCOE, ONTARIO, N3Y 2Z4

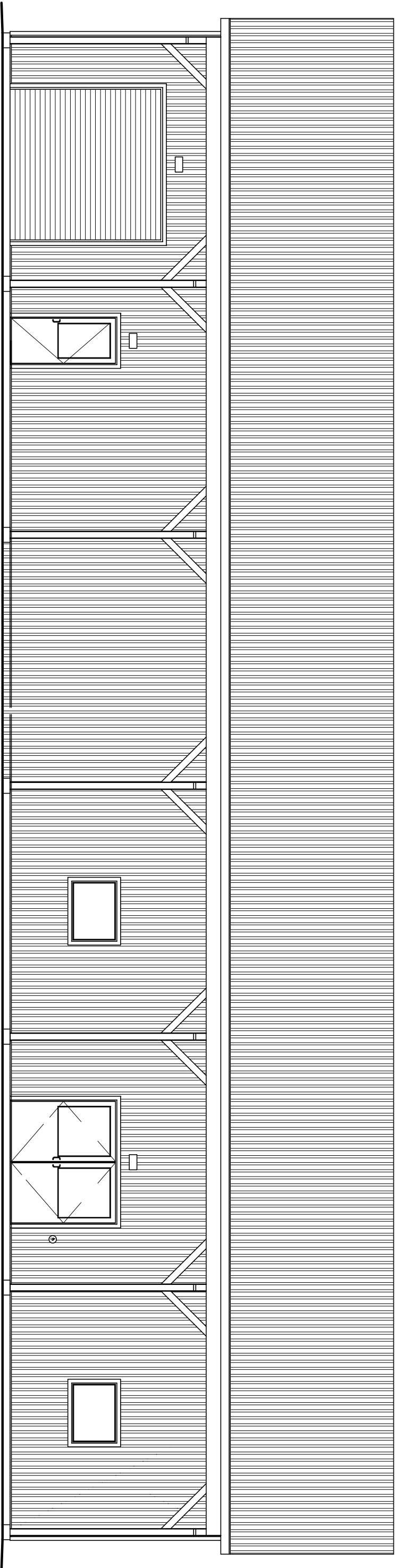
PHONE: (519) 426-5870

CONSTRUCTED BY:

WOLF HOMES INC.

PHONE: (519) 408-5251

EMAIL: WOLFHOMES2D@GMAIL.COM



## CONSTRUCTION NOTES AND SPECIFICATIONS

1. GENERAL

1.1. THIS PLAN NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED NORFOLK COUNTY

1.2. THIS PLAN IS TO BE USED FOR SERVING AND GRADING ONLY ANY OTHER INFORMATION SHOWN IS FOR INFORMATION PURPOSES ONLY

1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER, THE CITY AND THE COUNTY.

1.4. THIS PLAN IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF GIRARD ENGINEERING.

1.5. I, CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.

1.6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES.

1.7. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MAY APPEAR ON THIS PLAN CORRELATE WITH THE FINAL ARCHITECTURAL DRAWINGS.

1.8. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WILL BE INSTALLED BY OWNER'S CONTRACTOR UPON APPLICATION AND AFFECTED PROPERTY TO OWNERS' SATISFACTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL BULLEVED AREAS.

1.9. ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL CODELANCE WITH LOCAL APPLICABLE CODES AND REGULATIONS. WHEN DEEPS AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.

1.10. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER AS HAS PRIOR TO COMMENCING WORK TO ARRANGE UNDERGROUND SERVICE INSTALLATION AS MAINTAINED BY ONTARIO BUILDING CODE.

1.11. GENERAL REVIEW FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POOR CONSTRUCTION

1.12. EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLAN PREPARED BY KIM HULSTED SURVEYING, OF CURRENT CONDITIONS

1.13. SITE SERVING CONTRACTOR TO TERMINATE ALL SERVICES 10 METERS FROM FOUNDATION WALL.

1.14. EXISTING UNDERGROUND SERVICES SHALL BE MAINTAINED AND NOT REMOVED.

1.15. MAXIMUM GRADES TO BE 1' DEEPS FROM FINISH SKY TO BE LANDSCAPED WITH LOW MAINTENANCE GROUND COVER.
2. EROSION AND SEDIMENT CONTROL MEASURES

1.16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, CULMINATIONS, WARNING SIGNS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF NORFOLK COUNTY AND THE MUNICIPALITY OF TILSONBURG.

1.17. THE POSITION OF POLE LINES, CONDOLTS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SUCH UTILITIES AND STRUCTURES.

1.18. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNERS PRIOR TO ANY WORK BEING DONE ON PRIVATE PROPERTY.
3. EROSION AND SEDIMENT CONTROL, CONTINUED

7.9. CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION FENCE INSPECTED WHEN VEGETATION HAS ESTABLISHED, REMOVED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE LOANED, REPRODUCED, COPIED, OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

ISSUED FOR:

SITE PLAN APPROVAL -

1st SUBMISSION

NOVEMBER 13, 2025

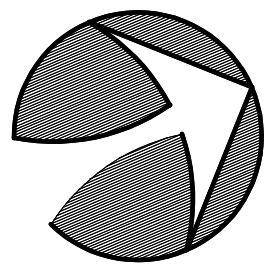












ACTUAL NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUBGRADERS, SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE GRADING PLAN AND THE CONTRACTOR'S RESPONSIBILITY IS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DESIGN. THESE DRAWINGS ARE TO BE FIELD AND NOT TO BE SCALED.

NO.	REVISION	BY	DATE
1	ISSUED FOR PRECONSTRUCTION MEETING	TS	NOV. 2024
2	ISSUED FOR FINAL REVIEW	TS	NOV. 13, 2025
3	ISSUED FOR SITE PLAN APPROVAL - 1ST SUBMISSION	TS	NOV. 13, 2025

KIM HUSTED SURVEYING LTD.  
ONTARIO LAND SURVEYOR  
30 HARVEY STREET, TILSONBURG, ONTARIO, N4G 3J8  
PHONE: 519-842-3638 FAX: 519-842-3639  
PROJECT: 24-1349310-PO 441 WOLF COUNTY ROAD 19, TILSONBURG  
WOLF HOMES C/O JOHN WOLF  
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THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF KIM HUSTED SURVEYING LTD. IS STRICTLY PROHIBITED.

DESIGNED BY:  
**girard** ENGINEERING  
2478153 ONTARIO INC.  
WOODSTOCK OTTERVILLE  
TEL: 1-519-879-6875  
EMAIL: INFO@GIRARDEENGINEERING.CA



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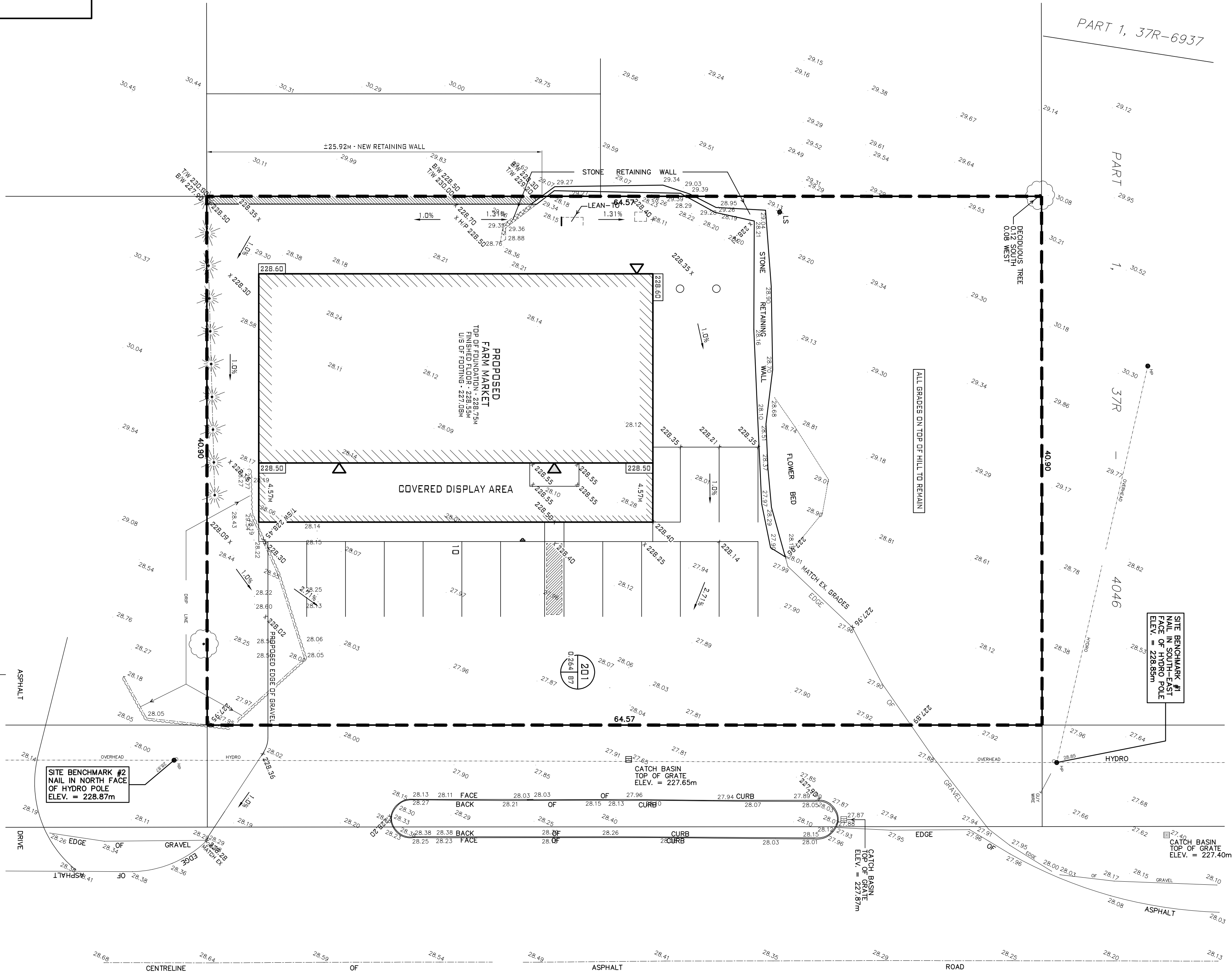
DESIGNED FOR:

WOLF HOMES INC.  
JOHN & LISA WOLF  
TEL: 1-519-403-5251  
EMAIL: WOLF.HOMES200@GMAIL.COM

D & E FARM MARKET  
441 VIENNA ROAD  
TILSONBURG, ONTARIO, N4G 4B9

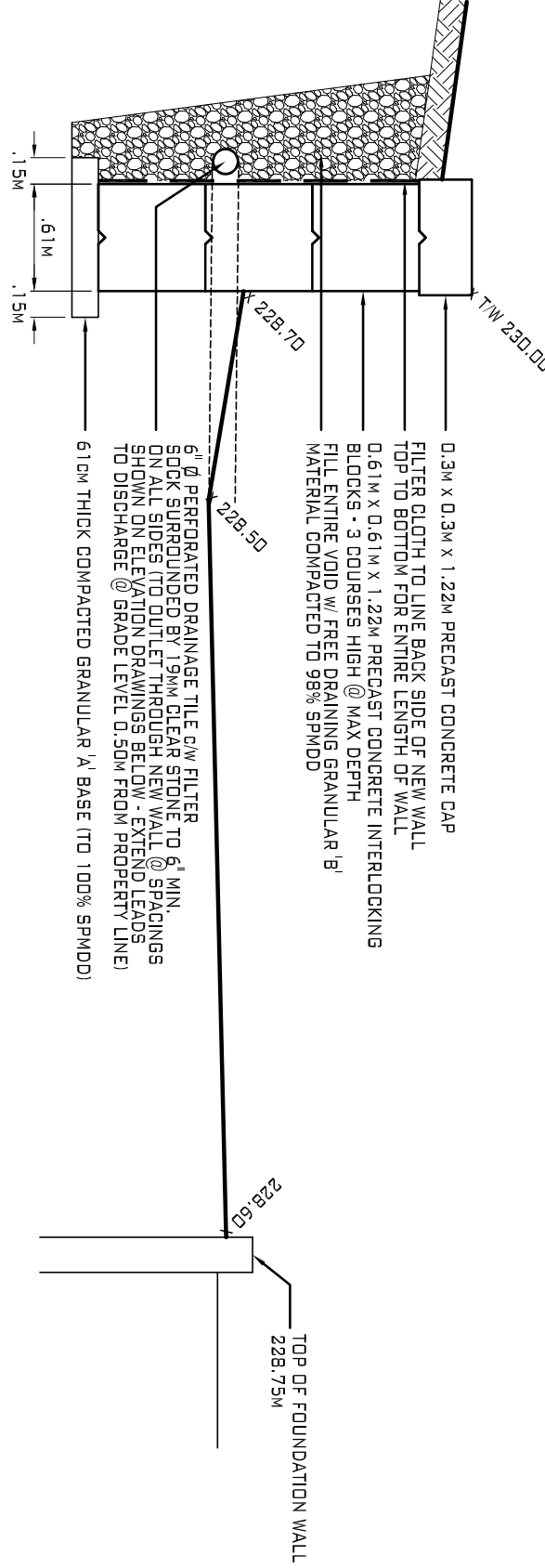
GRADING PLAN

SCALE:	1:400	DRAWING NO:
DATE:	NOVEMBER 2024	
DRAWING BY:	T. SPRAGUE	
DESIGNED BY:	T. SPRAGUE	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	24221	201



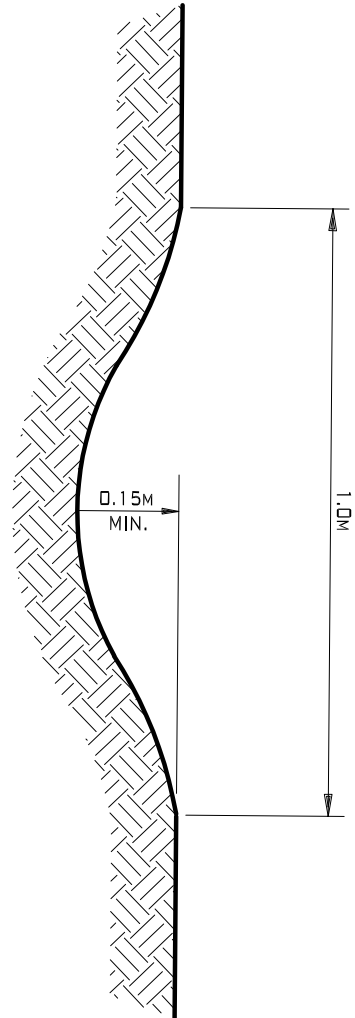
### RETAINING WALL DETAIL

NOT TO SCALE



### TYPICAL DRAINAGE SWALE

NOT TO SCALE

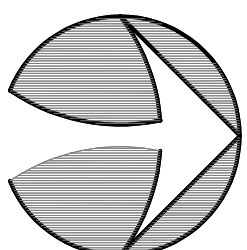


### LEGEND:

- DENOTES DECIDUOUS TREE
- DENOTES CONIFEROUS TREE
- DENOTES HYDRO POLE
- DENOTES LIGHT STANDARD
- DENOTES CATCH BASIN
- DENOTES GRASS AREA
- DENOTES PROPOSED GRAVEL AREA
- DENOTES EXISTING ELEVATIONS
- DENOTES PROPOSED SWALE @ 8.0% SLOPE
- DENOTES PROPOSED GRADES @ BUILDING
- DENOTES PROPOSED GRADES
- DENOTES HANDICAPPED ACCESSIBLE PARKING
- DENOTES PRINCIPAL ENTRANCE
- DENOTES SECONDARY ENTRANCE
- DENOTES EXISTING ELEVATIONS
- DENOTES PROPOSED SWALE @ 8.0% SLOPE
- DENOTES PROPOSED GRADES @ BUILDING
- DENOTES PROPOSED GRADES
- DENOTES SHEET OVERLAND FLOW DIRECTION
- DENOTES DRAINAGE CATCHMENT AREA
- DENOTES STORM WATER MANAGEMENT IDENTIFIER
- DENOTES S/S NUMBER
- DENOTES DRAINAGE CATCHMENT AREA IN HA
- DENOTES SECONDARY CONTROL FENCE
- DENOTES FLOWING FLOW DIRECTION







CONSTRUCTION NORTH

WITH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUBPACKAGES, CONSTRUCTION NORTH ASSUMES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. CONSTRUCTION NORTH IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE REPRODUCED.

NO.	REVISION	BY	DATE
1	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 23, 2023
2	REVISED AS PER CLIENT'S REQUEST	TS	NOV. 4, 2023
3	ISSUED FOR SITE PLAN APPROVAL	TS	NOV. 13, 2023

CLIENT:

WOLF HOMES INC.  
JOHN & LISA WOLF  
415 10TH CONCESSION ROAD  
LANGTON, ONTARIO, N0E 1G0  
TEL: 1-519-403-5251  
EMAIL: WOLFHOMES20@GMAIL.COM

DESIGNED BY:

**girard**  
ENGINEERING  
2478153 ONTARIO INC.  
WOODSTOCK OTTERVILLE  
TEL: 1-519-979-6875  
EMAIL: DPALDOFIELD@GIRARDENGINEERING.CA



DESIGNED FOR:

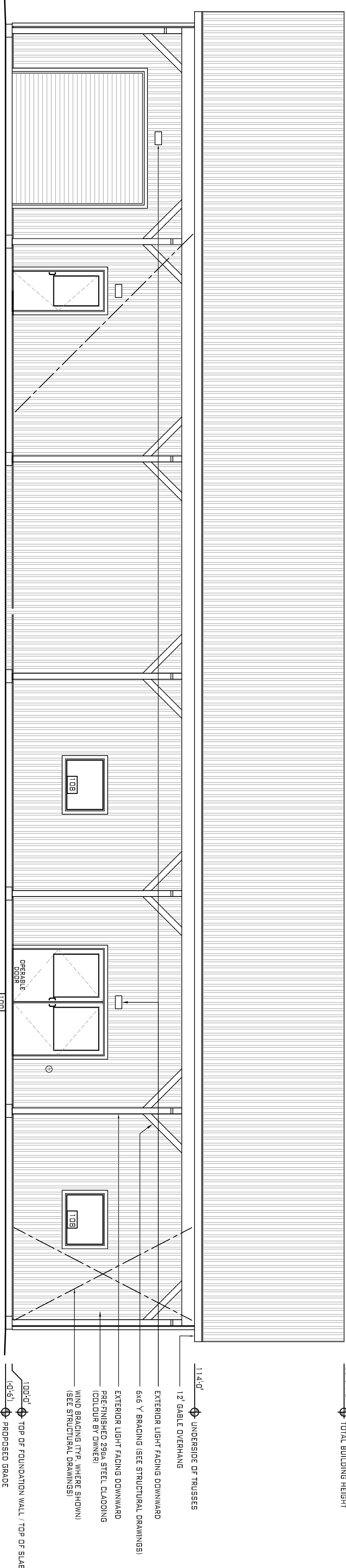
D&E FAMILY  
FARM MARKET  
441 VIENNA ROAD  
TILSONBURG, ONTARIO, N4G 4G9

SEASONAL FARM MARKET

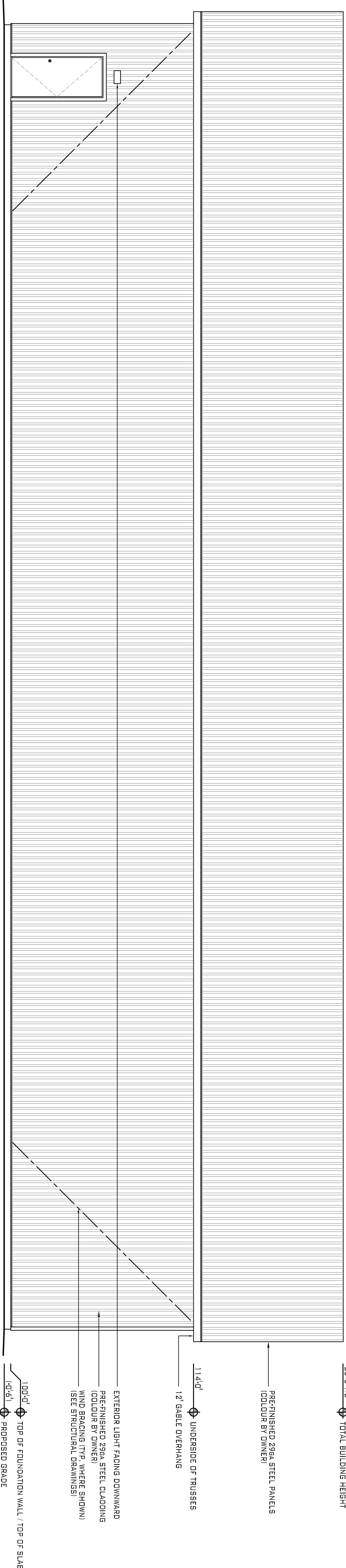
BUILDING ELEVATIONS

SCALE:	3/16" = 1'-0" OR AS NOTED	DRAWING NO:
DATE:	JULY 2023	
DRAWING BY:	T. SPRAGUE	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	24223	

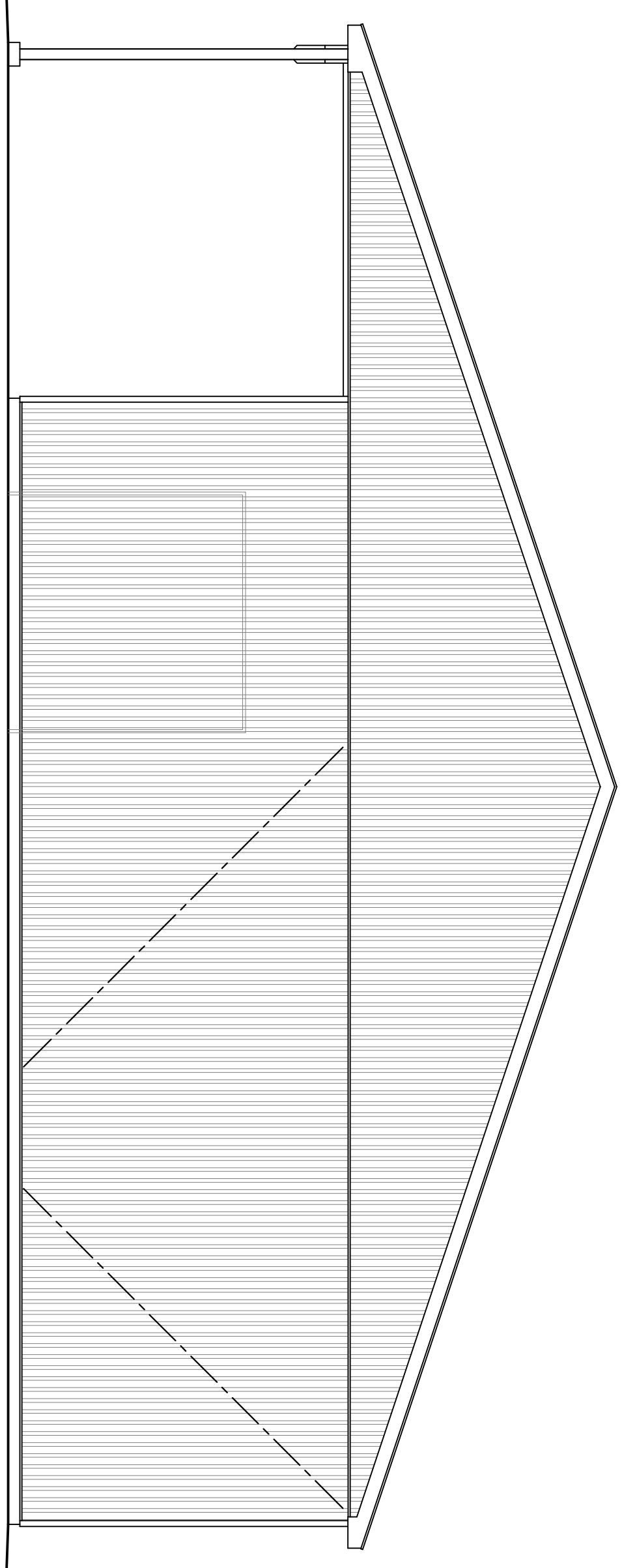
A-3



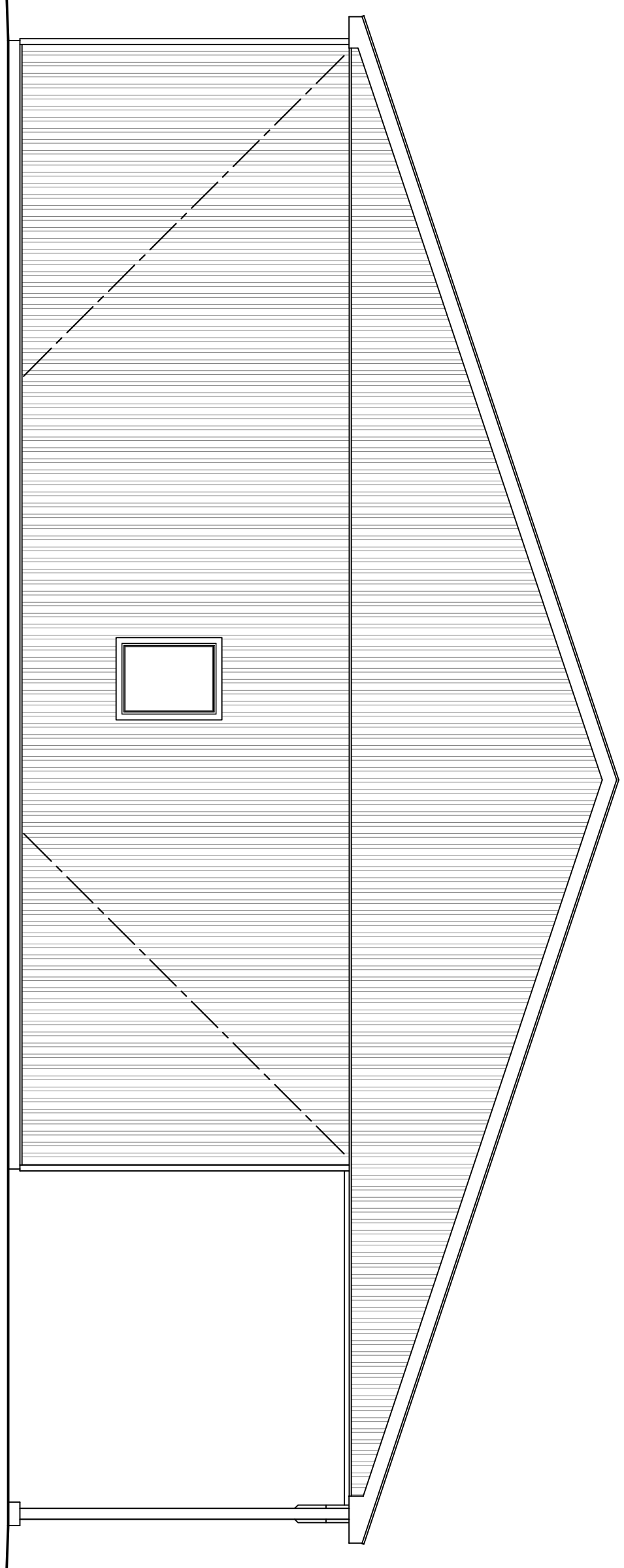
FRONT (EAST) ELEVATION  
SCALE: 3/16" = 1'-0"



BACK (WEST) ELEVATION  
SCALE: 3/16" = 1'-0"



SIDE (NORTH) ELEVATION  
SCALE: 3/16" = 1'-0"

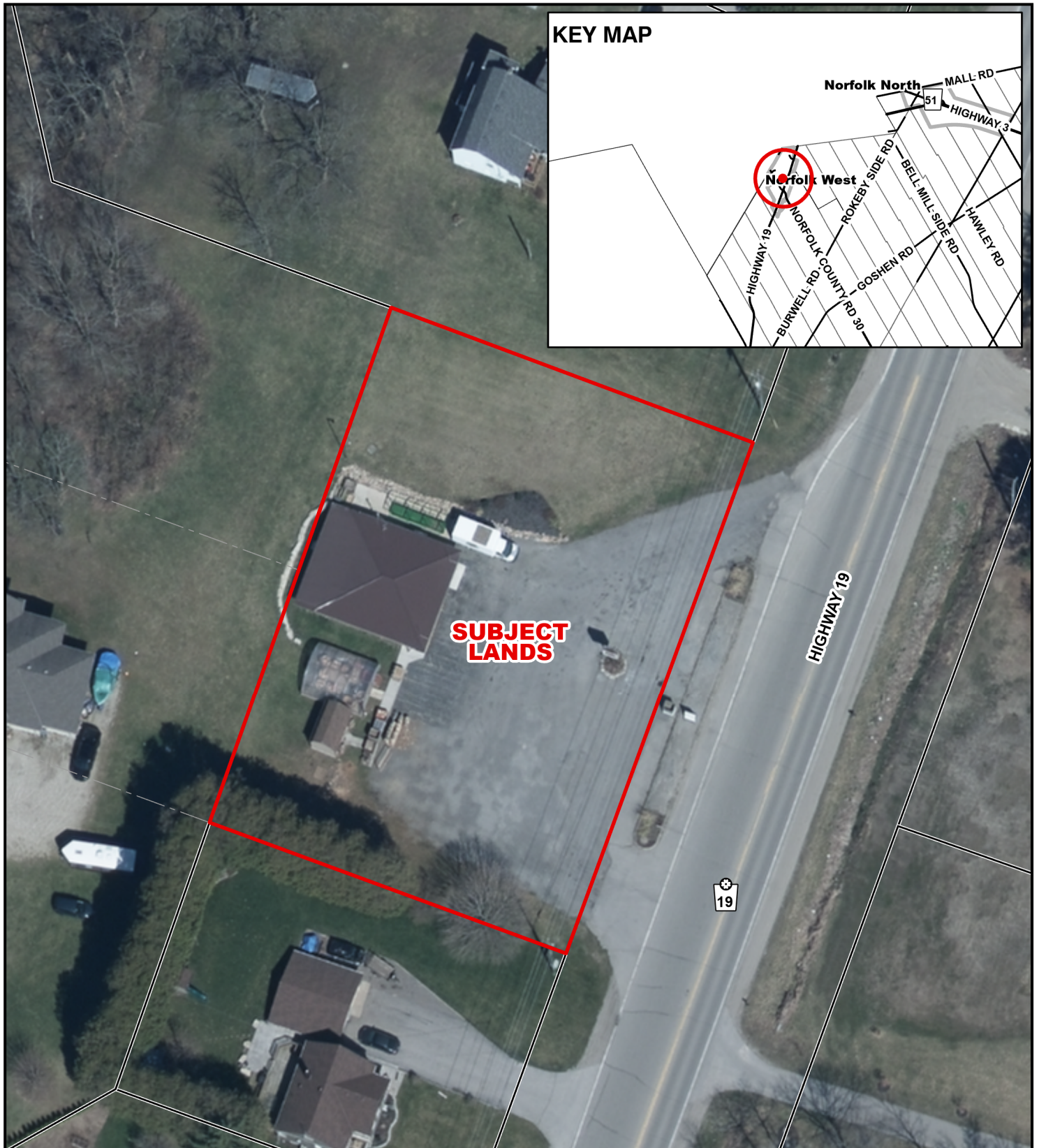


SIDE (SOUTH) ELEVATION  
SCALE: 3/16" = 1'-0"




**MAP A**  
**CONTEXT MAP**  
Geographic Township of MIDDLETON

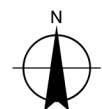
ANPL2025376



**Legend**

 Subject Lands

1/9/2026

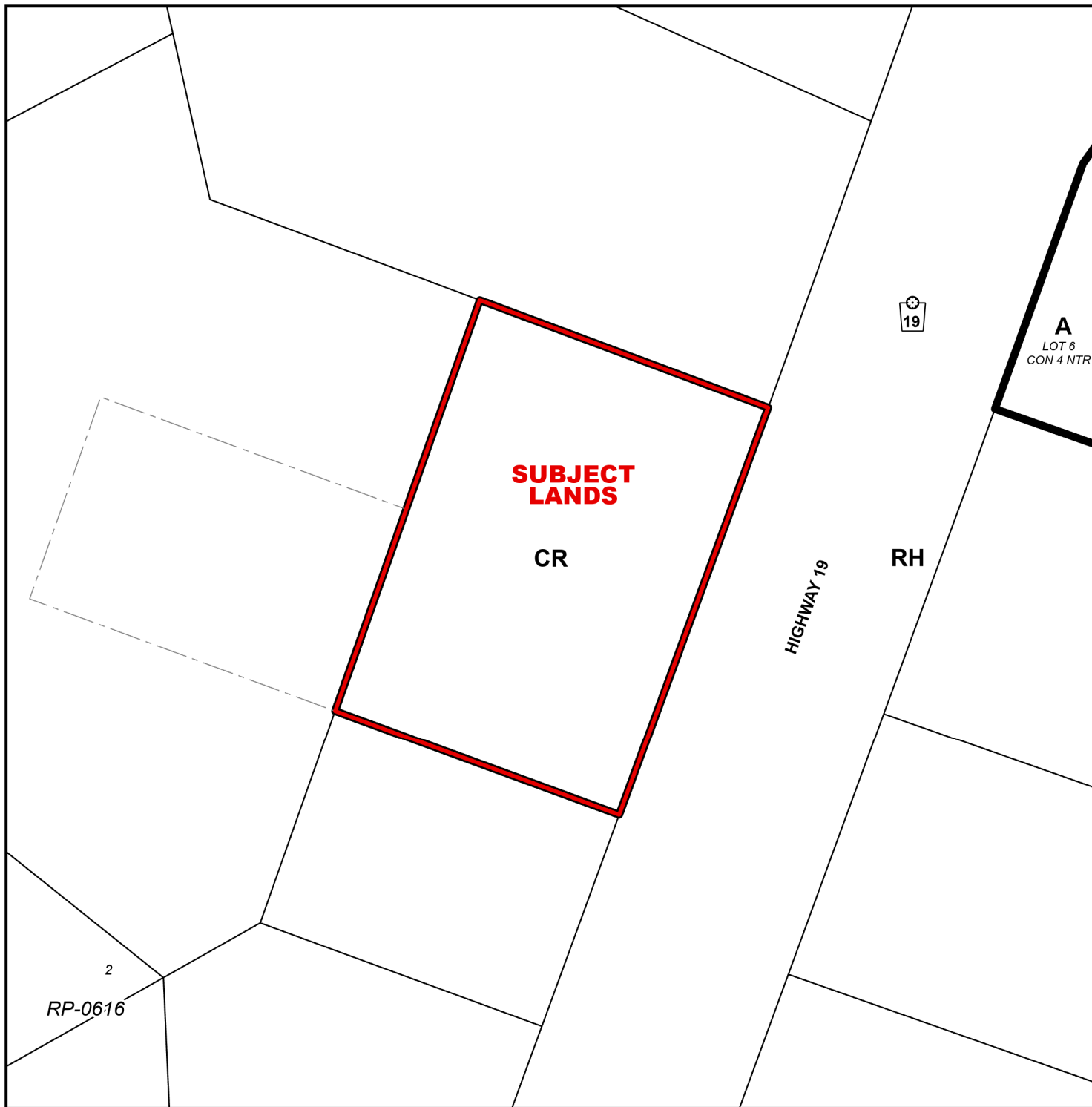


2020 Air Photo

4.52 25 0 4.5 9 13.5 18 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
Geographic Township of MIDDLETON

ANPL2025376



**LEGEND**

 Subject Lands

ZONING BY-LAW 1-Z-2014

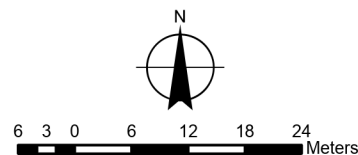
1/9/2026

(H) - Holding

A - Agricultural Zone

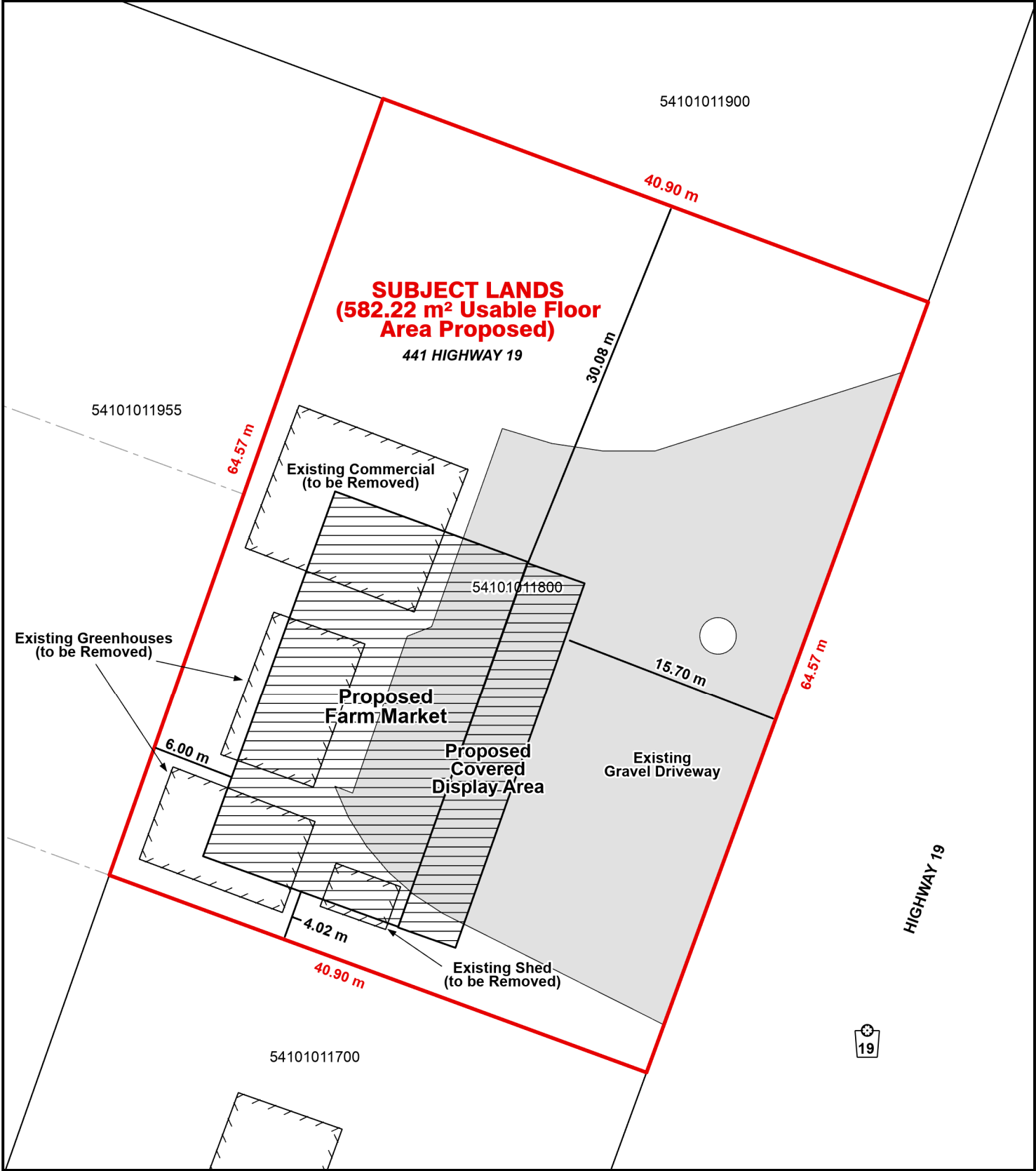
CR - Rural Commercial Zone

RH - Hamlet Residential Zone





CONCEPTUAL PLAN  
Geographic Township of MIDDLETON



Legend  
Subject Lands