

**For Office Use Only:**

File Number	Application Fee
Related File Number	Conservation Authority Fee
Pre-consultation Meeting	Well & Septic Info Provided
Application Submitted	Planner
Complete Application	Public Notice Sign

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**Check the type of planning application(s) you are submitting.**

Consent/Severance/Boundary Adjustment  
 Surplus Farm Dwelling Severance and Zoning By-law Amendment  
 Minor Variance  
 Easement/Right-of-Way

**Property Assessment Roll Number:** 541011011800**A. Applicant Information****Name of Owner** Dave & Eva Teichroeb

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 715 North Rd.  
Town and Postal Code Langton, N0E 1G0  
Phone Number 519-909-0224  
Cell Number   
Email evat2009@live.ca

**Name of Applicant** 

Address   
Town and Postal Code   
Phone Number   
Cell Number   
Email

Name of Agent	Girard Engineering - Tom Sprague
Address	212 Main St. W
Town and Postal Code	Otterville, N0J 1R0
Phone Number	519-879-6875
Cell Number	
Email	info@girardengineering.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner       Agent       Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

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#### B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Part of Lot 6, Concession 4, North of Talbot Rd, Geographic Township of Middleton

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Municipal Civic Address: 441 Highway 19

Present Official Plan Designation(s): Hamlet

Present Zoning: CR - Rural Commercial

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify:

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3. Present use of the subject lands:

Seasonal farm market

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4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Farm market - to be removed and replaced

2 Greenhouses - to be removed

Existing Shed - to be removed

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

New seaasonl farm market complete with outdoor display

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7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

November 2018

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9. Existing use of abutting properties:

Residential

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10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
<b>Lot frontage</b>					
<b>Lot depth</b>					
<b>Lot width</b>					
<b>Lot area</b>					
<b>Lot coverage</b>					
<b>Front yard</b>					
<b>Rear yard</b>	5.60m	9.0m		6.0m	3.0m
<b>Height</b>					
<b>Left Interior side yard</b>					
<b>Right Interior side yard</b>					
<b>Exterior side yard (corner lot)</b>					
<b>Parking Spaces (number)</b>					
<b>Aisle width</b>					
<b>Stall size</b>					
<b>Loading Spaces</b>					
<b>Other</b>	Usable floor area	300m <sup>2</sup>		582.22m <sup>2</sup>	282.22m <sup>2</sup>

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

To allow for proposed building, parking area & permitted fire lane

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3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

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Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage:

Depth:

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_

Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_

Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_

Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_

Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_

Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

Previous restaurant and seasonal farm market

\_\_\_\_\_

\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions: Owners knowledge of site

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

#### **E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13?  Yes  No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

No change in use, new building only

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

No change in use, new building only

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Wooded area**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Floodplain**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active railway line**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Erosion**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

## **F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water       Communal wells  
 Individual wells       Other (describe below)

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Sewage Treatment

Municipal sewers       Communal system  
 Septic tank and tile bed in good working order       Other (describe below)

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Storm Drainage

Storm sewers       Open ditches  
 Other (describe below)

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2. Existing or proposed access to subject lands:

Municipal road       Provincial highway  
 Unopened road       Other (describe below)

Name of road/street:

Vienna Rd.

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## **G. All Applications: Other Information**

1. Does the application involve a local business?  Yes  No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## I. Transfers, Easements and Postponement of Interest

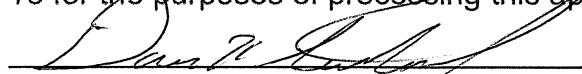
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.* 13 for the purposes of processing this application.



Owner/Applicant/Agent Signature



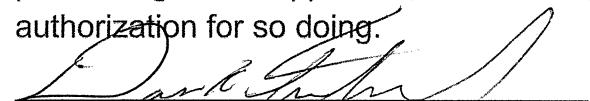
Date

### J. Owner's Authorization

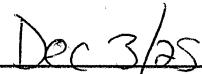
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Dave + Eva Teichroeb am/are the registered owner(s) of the lands that is the subject of this application.

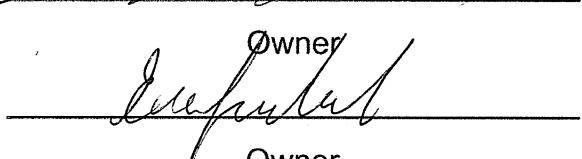
I/We authorize Girard Engineering - Tom Sprague to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



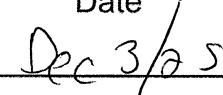
Owner



Date



Owner



Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

## K. Declaration

I, \_\_\_\_\_ of \_\_\_\_\_

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

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Owner/Applicant/Agent Signature

In \_\_\_\_\_

This \_\_\_\_\_ day of \_\_\_\_\_

A.D., 20\_\_\_\_\_

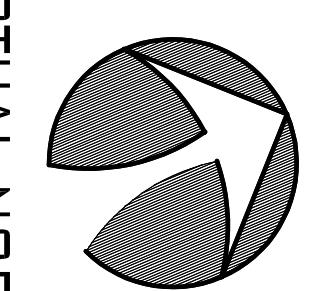
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A Commissioner, etc.









ACTUAL NORTH

80' IN THE CLIENT AND THE CONTRACTOR INCLUDING ALL SURVEYS, SHALL REINFORCE AND ENFORCE ALL DRAWINGS AND SPECIFICATIONS PROVIDED BY THE ENGINEER. ANY DISCREPANCIES IN THE DESIGNER'S DRAWINGS SHALL BE RESOLVED WITH THE CONTRACTOR.

THESE DRAWINGS ARE TO BE READ AND NOT TO SCALE.

ORIGINAL SURVEY COMPLETED BY:

NO: 1 ISSUED FOR PRE-CONSTRUCTION MEETING TS: NOV. 13, 2024

2 ISSUED FOR FINAL REVIEW TS: NOV. 13, 2025

3 ISSUED FOR SITE PLAN APPROVAL/1ST SUBMISSION TS: NOV. 13, 2025

4 ISSUED FOR 2ND SUBMISSION TS: NOV. 13, 2025

5 ISSUED FOR 3RD SUBMISSION TS: NOV. 13, 2025

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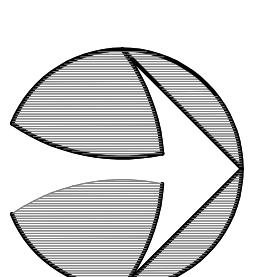
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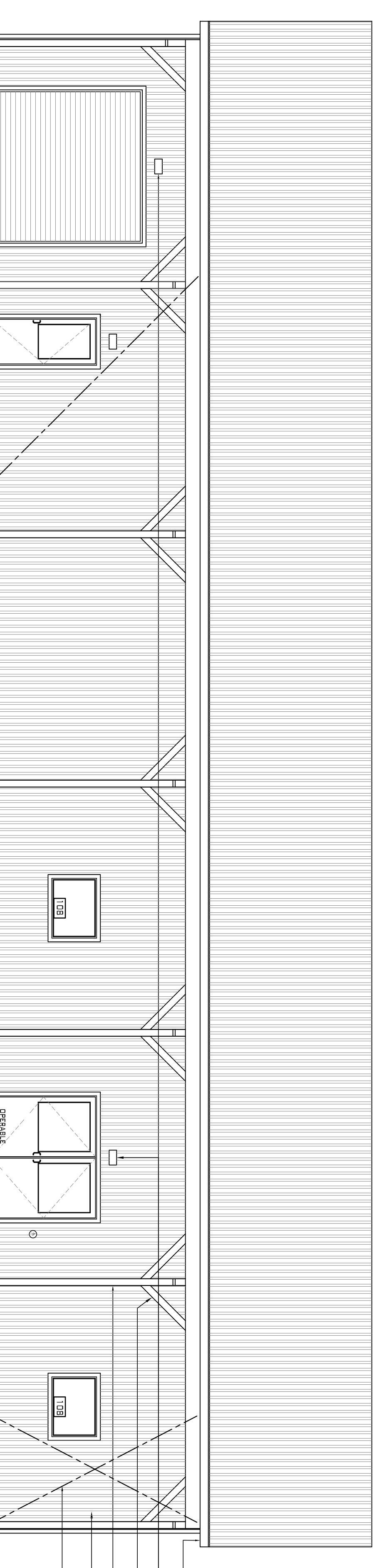


25' 5 1/2" TOTAL BUILDING HEIGHT

## CONSTRUCTION NORTH

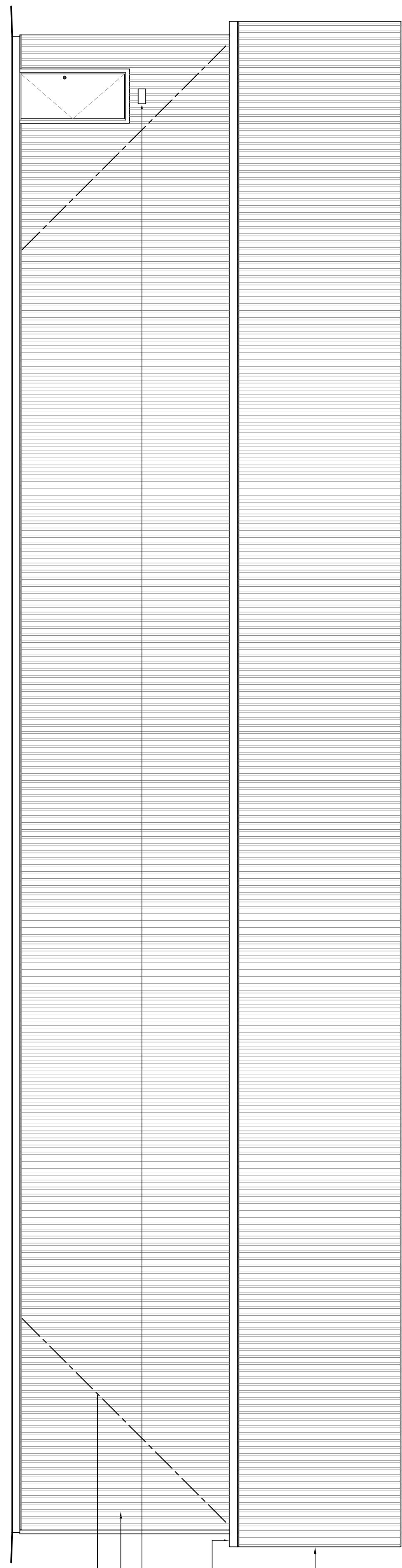


BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES,  
SHALL REVIEW ALL DRAWINGS AND ENTHAL DIMENSIONS. IT IS THE  
RESPONSIBILITY OF THE DESIGNER TO ENSURE THAT THE DRAWINGS ARE PRODUCED WITH  
ANY  
REVISIONS TO THE DESIGNER'S SATISFACTION.  
THESE DRAWINGS ARE TO BE READ AND NOT TO BE REPALED.



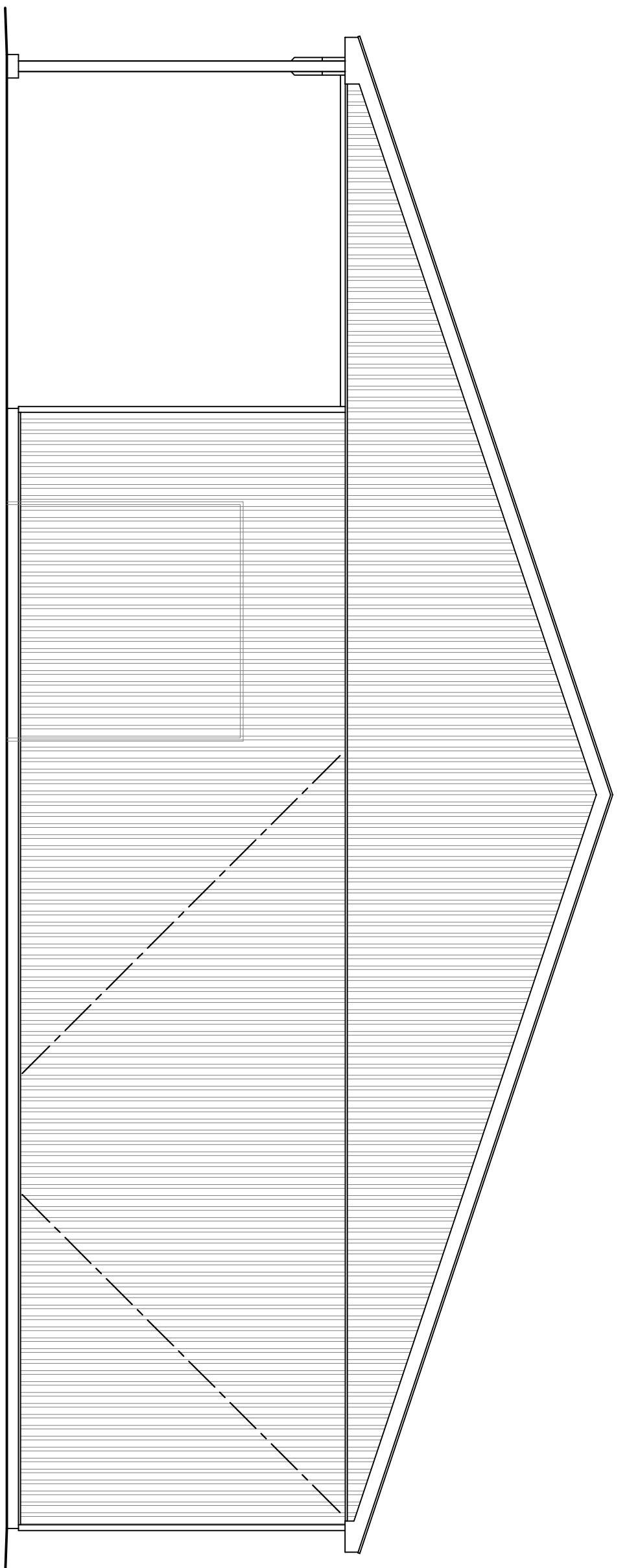
FRONT (EAST) ELEVATION

SCALE: 1/8" = 1'-0"



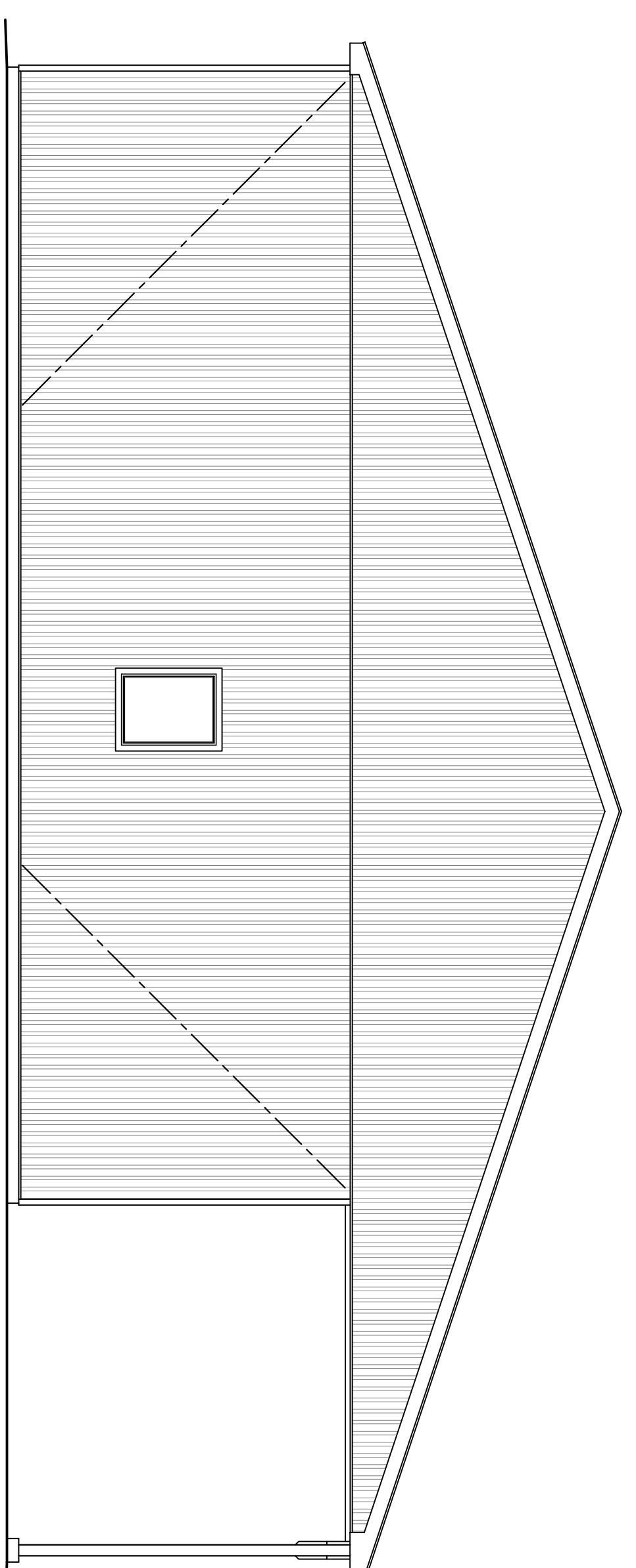
BACK (WEST) ELEVATION

SCALE: 1/8" = 1'-0"



SIDE (NORTH) ELEVATION

SCALE: 3/16" = 1'-0"



SIDE (SOUTH) ELEVATION

SCALE: 3/16" = 1'-0"

**WOLF HOMES INC.**  
JOHN & LISA WOLF  
415 11TH CONCESSION ROAD  
LANGTON, ONTARIO, N0E 1G0  
TEL: 1-519-943-5251  
EMAIL: DFLULL@GMAIL.COM

DESIGNED BY:  
**girard**  
ENGINEERING  
2478153 ONTARIO INC.  
WOODSTOCK OTTAWA  
TEL: 1-519-879-6875  
EMAIL: DFLULL@GIRARDENGINEERING.CA



DESIGNED FOR:

NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS  
SOLD OR DRAWN UP BY THE ENGINEER.

**D&E FAMILY  
FARM MARKET**  
441 VIENNA ROAD  
TILLSONBURG, ONTARIO N4G 4G9

## SEASONAL FARM MARKET

### BUILDING ELEVATIONS

SCALE:	3/16" = 1'-0" OR AS NOTED
DATE:	JULY 2015
DRAWING BY:	T. STRAUBE
DESIGNED BY:	M. VASANTHA
CHECKED BY:	M. VASANTHA
PROJECT NO.:	24220

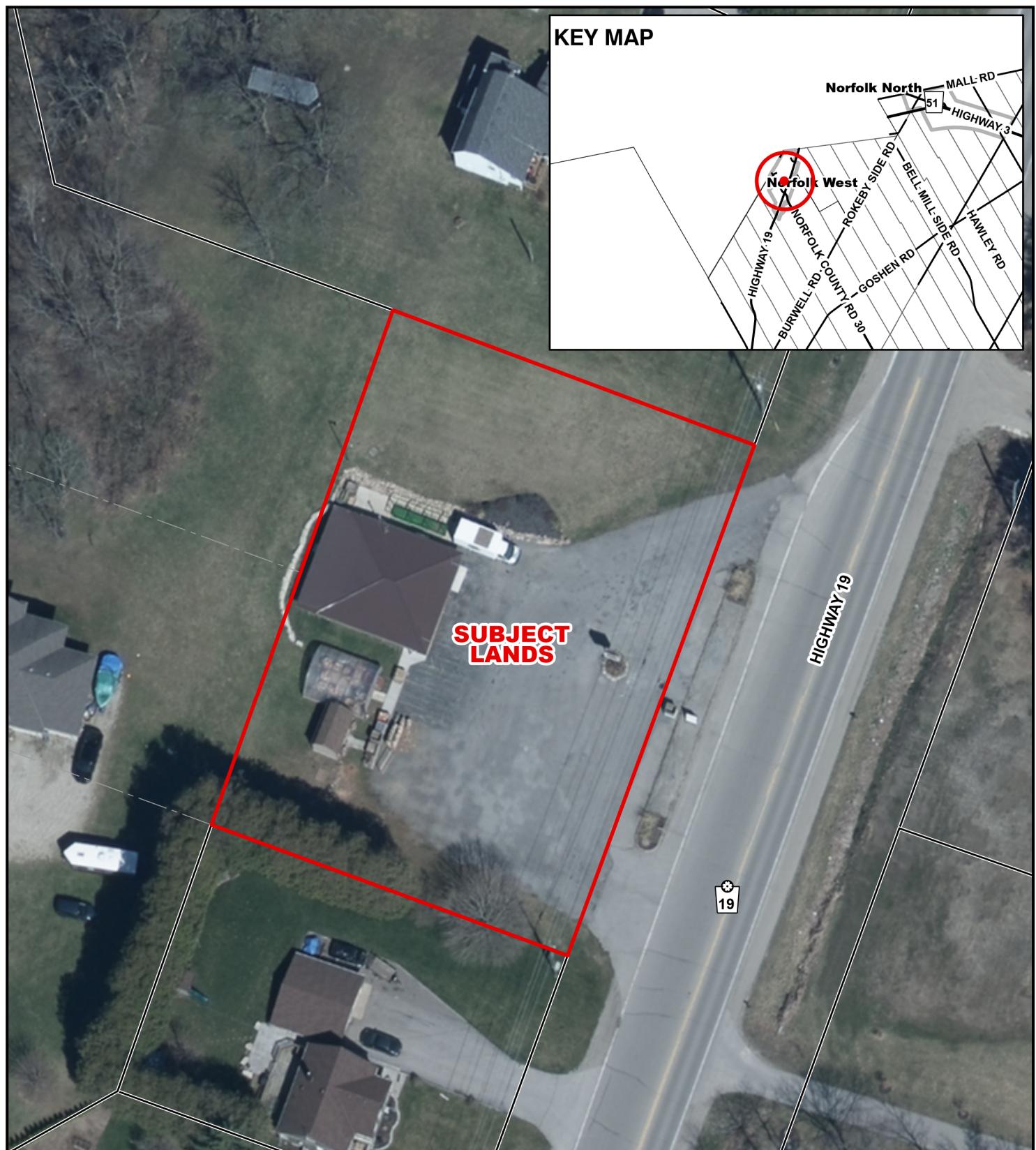
**A-3**

**MAP A**

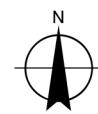
ANPL2025376

**CONTEXT MAP**

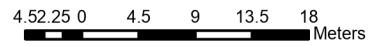
Geographic Township of MIDDLETON

**Legend** Subject Lands

1/9/2026

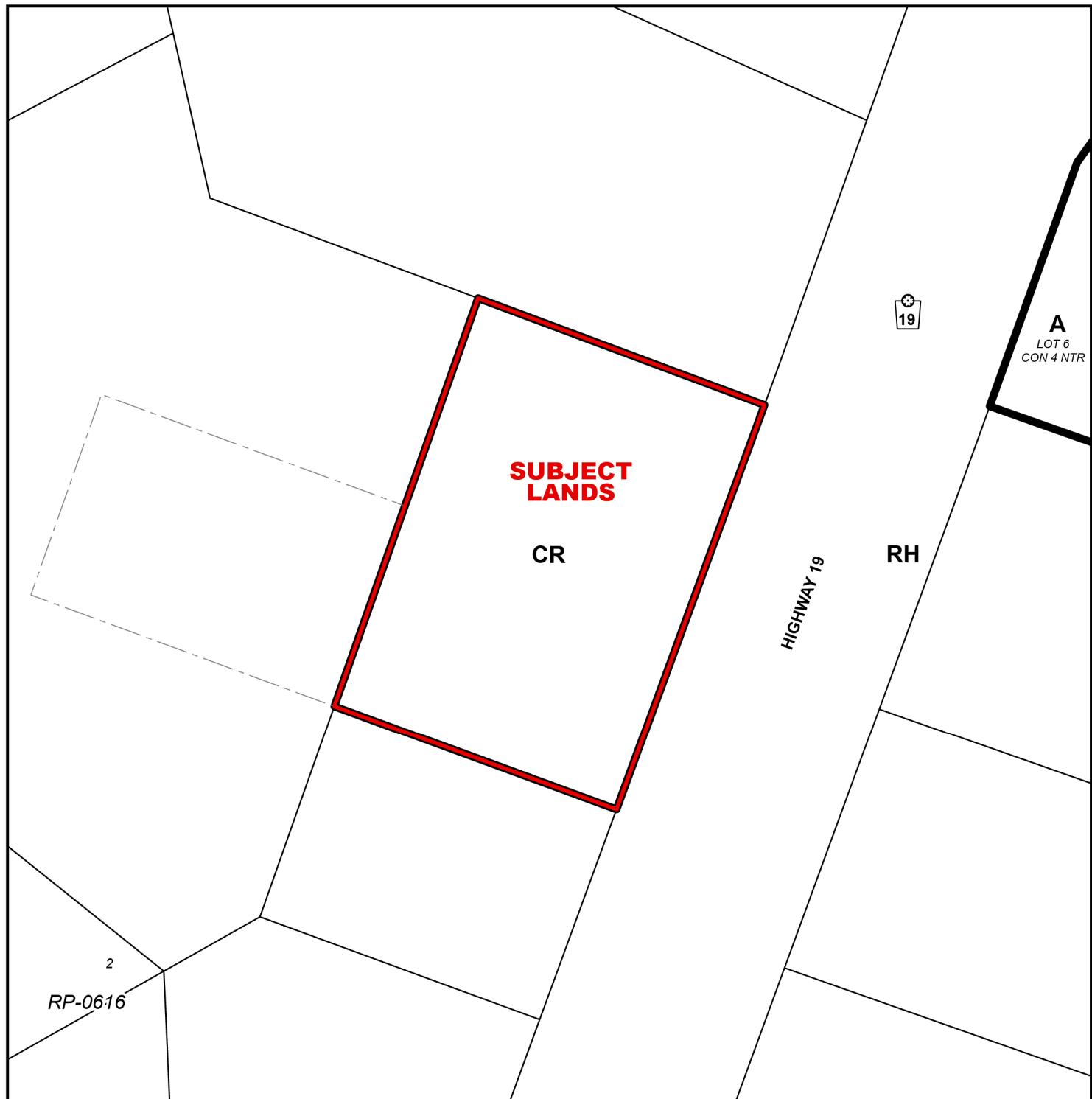


2020 Air Photo

 4.5 9 13.5 18 Meters

**ZONING BY-LAW MAP**

Geographic Township of MIDDLETON

**LEGEND**

Subject Lands

**ZONING BY-LAW 1-Z-2014**

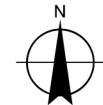
1/9/2026

(H) - Holding

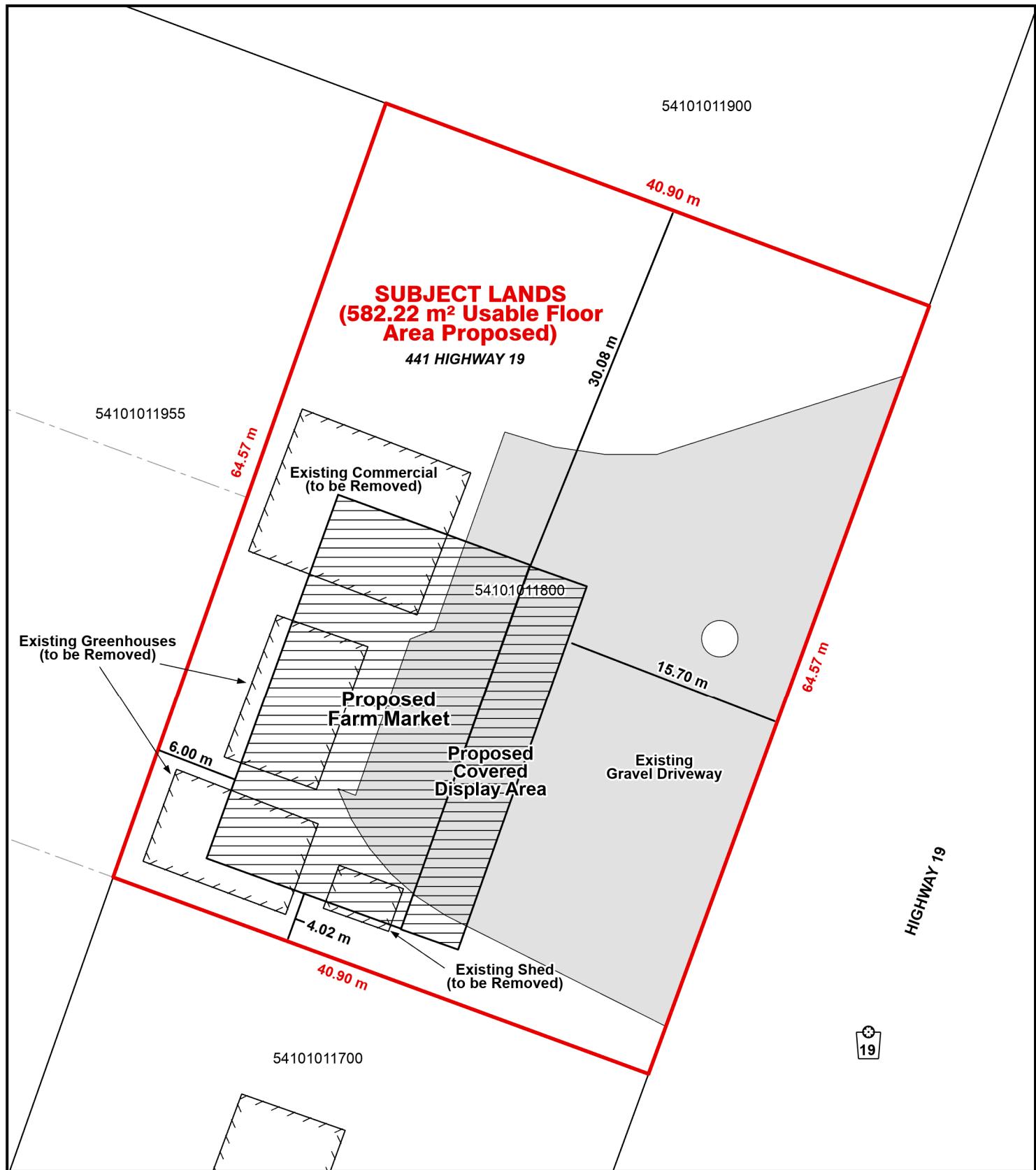
A - Agricultural Zone

CR - Rural Commercial Zone

RH - Hamlet Residential Zone



6 3 0 6 12 18 24 Meters

CONCEPTUAL PLAN  
Geographic Township of MIDDLETON

## Legend

Subject Lands

1/9/2026



3 1.5 0 3 6 9 12 Meters