

**For Office Use Only:**

File Number ANPL 2025139  
Related File Number \_\_\_\_\_  
Pre-consultation Meeting \_\_\_\_\_  
Application Submitted \_\_\_\_\_  
Complete Application \_\_\_\_\_

Application Fee \_\_\_\_\_  
Conservation Authority Fee \_\_\_\_\_  
Well & Septic Info Provided \_\_\_\_\_  
Planner \_\_\_\_\_  
Public Notice Sign \_\_\_\_\_

**Check the type of planning application(s) you are submitting.**

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 331049101503002000

**A. Applicant Information**

Name of Owner John + Melanie Ryan

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 950 Brantford rd

Town and Postal Code NOE 1V0

Phone Number 519-754-9724

Cell Number same as above

Email hairbyhome@yahoo.ca

Name of Applicant Same as above

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_

Name of Agent No Agent  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner                       Agent                       Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:  
None

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

County rd No. 4 Brantford rd 950  
Vanessa Norfolk County  
Municipal Civic Address: 950 BRANTFORD RD.  
Present Official Plan Designation(s): AGRICULTURAL  
Present Zoning: "A" AGRICULTURAL.

2. Is there a special provision or site specific zone on the subject lands?  
 Yes  No If yes, please specify:

3. Present use of the subject lands:  
RESIDENTIAL.



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Main dwelling, Garage, Bunkhouse,  
Shop all being kept  
Have attached drawing

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Conversion of the existing bunkhouse  
for residential use - ARDU.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Bunkhouse is one storey unit all  
the rest of info is in drawing attached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

\_\_\_\_\_  
\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

No

9. Existing use of abutting properties:

No

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

**C. Purpose of Development Application**

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

**1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)**

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	11.72m [REDACTED]	30m			18.28m [REDACTED]
Lot depth	Varied 214.9m				—
Lot width	Varied 115.8m				—
Lot area	0.85 ha [REDACTED]	40 ha			39.15 ha [REDACTED]
Left Interior side yard	3.96m	3m			—
Right Interior side yard	18.3m	3m			—
Height	3.658m	8m			—
Usable Floor Area ARDU	73.85m <sup>2</sup>	75 square metres			—
Distance from ARDU	Dwelling 63.5m	40m			23.5m
Outbuilding Usable Floor Area	686.48m <sup>2</sup>	200 square Metres			486.48m <sup>2</sup>
Outbuilding Lot coverage	7.8 %	10%			—



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Legally non-complying deficiencies and  
conversions of bunkhouse (existing) To ARDU

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: NA

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

Description of land intended to be retained in metric units (existing dwelling after severance):

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: Not Applicable

Depth: \_\_\_\_\_

Owners Name: N/A  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: N/A  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

All land around our property is not owned by us. + is being farmed

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

PERSONAL KNOWLEDGE

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13?  Yes  No

If no, please explain:

~~Do not know what this means~~

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

~~NA~~

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

~~NA~~

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

On the subject lands or  within 500 meters – distance No

**Wooded area**

On the subject lands or  within 500 meters – distance No

**Municipal Landfill**

On the subject lands or  within 500 meters – distance No

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance No

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance No

**Floodplain**

On the subject lands or  within 500 meters – distance No

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance No

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance No

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance No

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance No

**Active railway line**

On the subject lands or  within 500 meters – distance No

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance No

**Erosion**

On the subject lands or  within 500 meters – distance No

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance No



**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water  Communal wells  
 Individual wells  Other (describe below)

Points

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Sewage Treatment

- Municipal sewers  Communal system  
 Septic tank and tile bed in good working order  Other (describe below)
- 

Storm Drainage

- Storm sewers  Open ditches  
 Other (describe below)

~~None~~

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2. Existing or proposed access to subject lands:

- Municipal road  Provincial highway  
 Unopened road  Other (describe below)

Name of road/street:

950 Brantford rd

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**G. All Applications: Other Information**

1. Does the application involve a local business?  Yes  No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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#### H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

**I. Transfers, Easements and Postponement of Interest**

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

**Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

**Freedom of information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

*John Ryan*  
Owner/Applicant/Agent Signature

04/11/25  
Date

**J. Owner's Authorization**

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We John + Melanie Ryan am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize John + Melanie Ryan to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

*John Ryan*  
Owner  
*Melanie Ryan*  
Owner

04/29/25  
Date  
04/29/25  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration melanie Ryan

I, ~~John Ryan~~ of 950 Brantford rd Vanessa on.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

John Ryan  
m

In Vanessa On Canada

This 11 day of April

[Signature]  
Owner/Applicant/Agent Signature

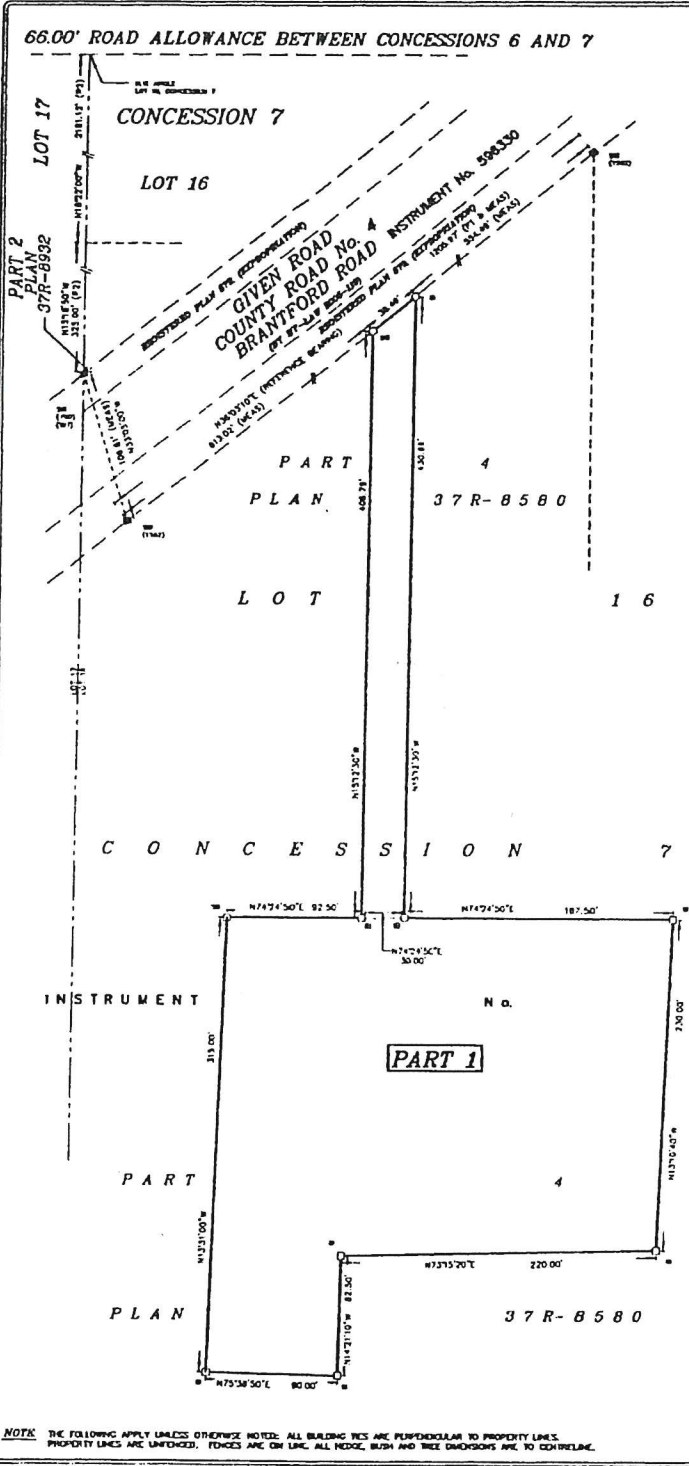
[Signature]

A.D., 2025

[Signature]  
A Commissioner, etc.

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 16, 2026.





I DECLARE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT.

**PLAN 37R-9514**

RECEIVED AND DEPOSITED

DAIED July 10, 2006

DAIED July 11, 2006

R.C. DIXON  
ONTARIO LAND SURVEYOR

LAND REGISTRAR FOR THE REGISTRY DIVISION OF NORFOLK (No. 37)

SCHEDULE				
PART	PART LOT	CONCESSION	INSTRUMENT	AREA (Ac.)
1	M	7	557982	2.11

**PLAN OF SURVEY**  
OF PART OF  
**LOT 16**  
CONCESSION 7  
IN THE GEOGRAPHIC  
TOWNSHIP OF WINDHAM  
IN  
NORFOLK COUNTY

SCALE 1" = 60'

JEWITT AND DIXON LTD.

**NOTE:** THE FOLLOWING APPLY UNLESS OTHERWISE NOTED: ALL BUILDING VES ARE PERPENDICULAR TO PROPERTY LINES. PROPERTY LINES ARE UNFENCED, FENCES ARE ON LINE. ALL HEDGES, BUSH AND TREE DIMENSIONS ARE TO CENTERLINE.

**LEGEND**

1" x 1" x 1/4" STANDARD IRON BARS	SHOWN - O -	JEWITT AND DIXON LTD.	SHOWN (700)
5/8" x 5/8" x 1/4" IRON BARS	SHOWN - O -	R.L. SIMCOE, G.L.L.	SHOWN (1542)
3/8" ROUND x 24" IRON BARS	SHOWN - O -	PLAN 37R-8580	SHOWN (71)
LOT LINES	SHOWN - - - - -	PLAN 37R-8582	SHOWN (P2)
GRID LINES	SHOWN - - - - -		
FENCE LINES	SHOWN - - - - -		
CENTRE LINES	SHOWN - - - - -		
ROAD LINES	SHOWN - - - - -		
FOUND IRON BARS	SHOWN - S -	PLANNED IRON BARS	SHOWN - O -

**IMPERIAL NOTE:**  
DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048.

**BEARING REFERENCE:**  
BEARINGS ARE ASTROGNOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF THE GIVEN ROAD, BRANTFORD ROAD, BY BY-LAW 2000-119, INSTRUMENT No. 506330 COUNTY ROAD No. 4, AS MEASURED BY REGISTERED PLAN 579, AS SHOWN ON OR PLAN 37R-8580, BEING 163°12'47".

**SURVEYORS CERTIFICATE:**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGISTRY ACT, AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 21ST DAY OF JUNE, 2006.

DATED: JUNE 26, 2006

R.C. DIXON  
ONTARIO LAND SURVEYOR

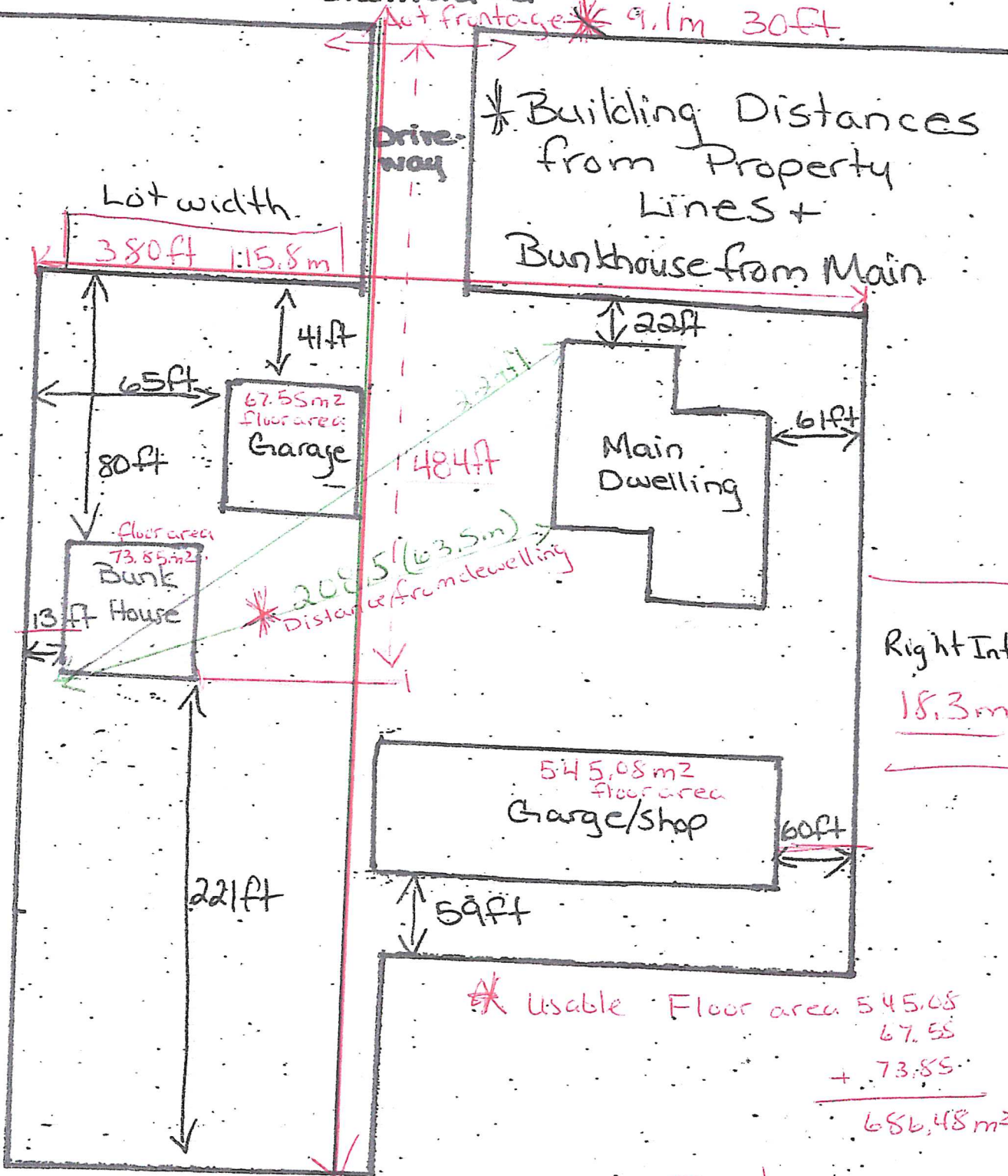
**JEWITT AND DIXON LTD.**  
ONTARIO LAND SURVEYORS  
R.L. SIMCOE, ONTARIO, N0Y 4P9  
(51 PARK ROAD)

PHONE (519) 425-0842 FAX (519) 425-1034  
E-mail: surveyors@autotelecom.net

R.R. - M.W.Y.  
BOOK - B-53-47  
CALC - E.D.  
PLAN - E.D.  
CHECK - E.C.D.  
CLIENT - HELLER  
JOB No. - 08-163  
P06 03 A8265

\* mended  Amended or checked

County rd No. 4  
Brantford rd



Front to back 705ft  
 \* Lot Depth 214.9m

\* Usable Floor area  
 545.08  
 67.55  
 + 73.85  
 -----  
 686.48m<sup>2</sup>

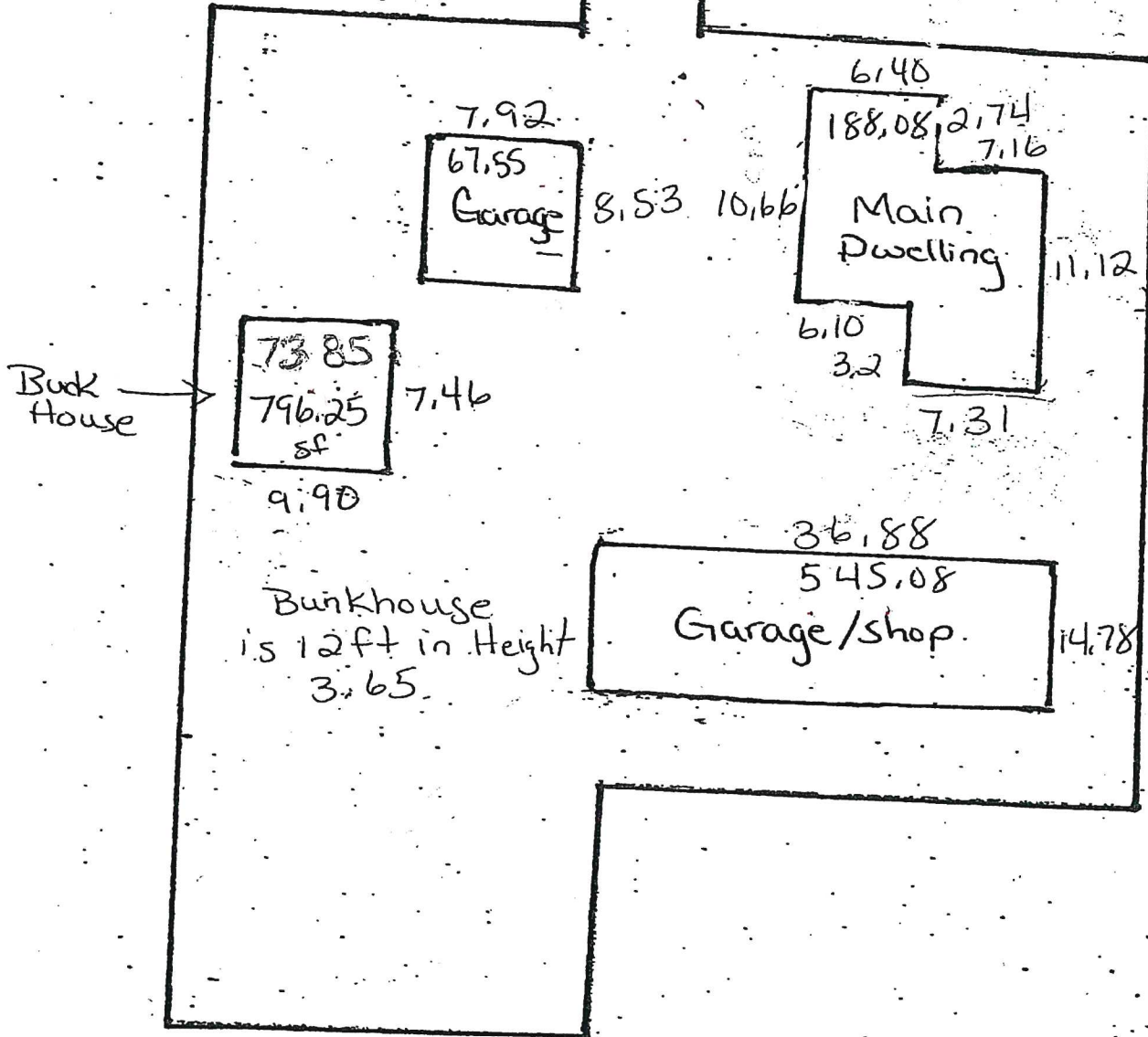
Outbuilding lot coverage  $686.48 \div 8800 \times 100 = 7.8\%$

County rd No. 4  
Bramford rd

metric

Drive-way

\* Size of Buildings




County rd No. 4  
Brantford rd

metric

\* Location

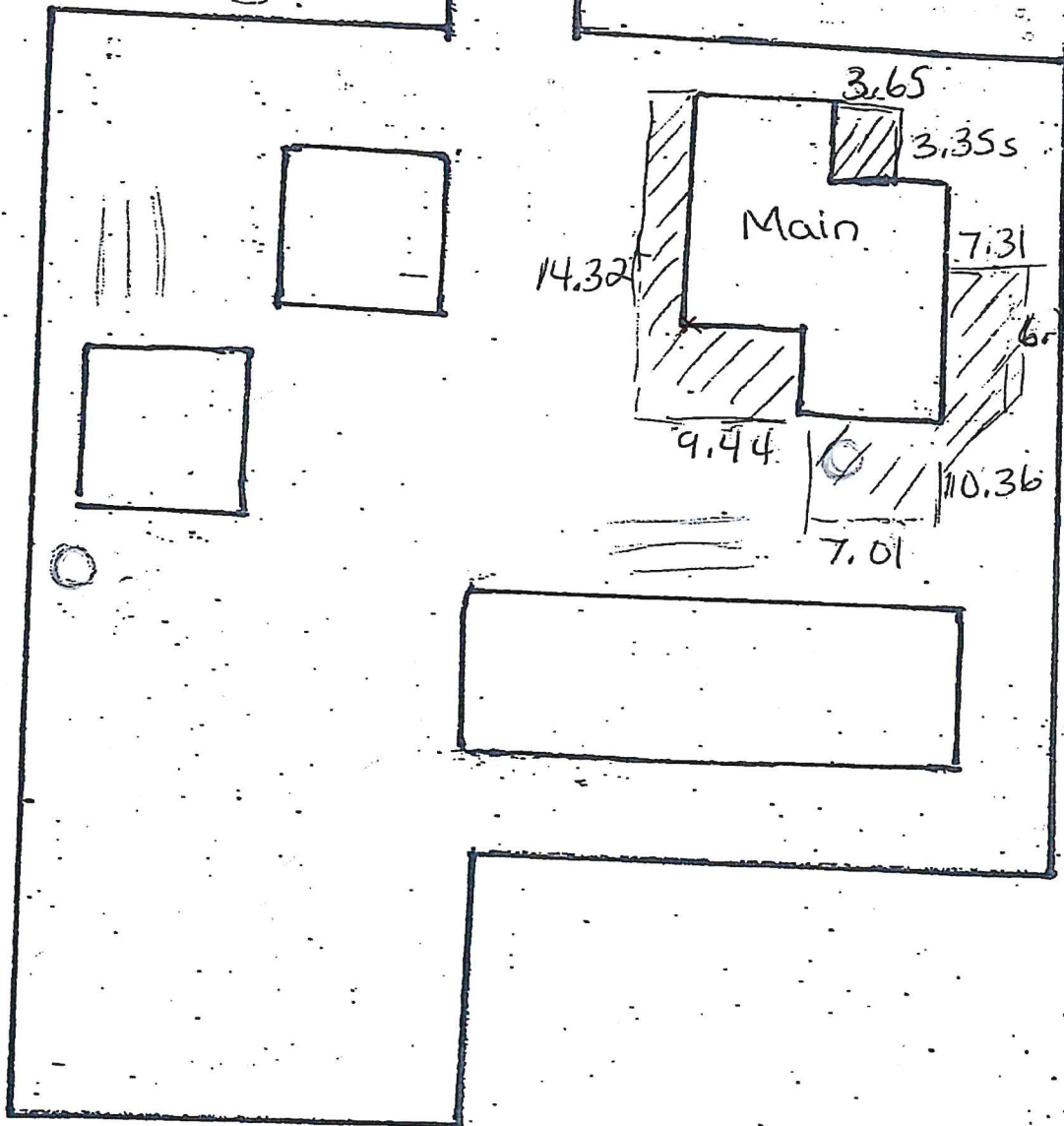
Tile Bed 

Septic Lid 

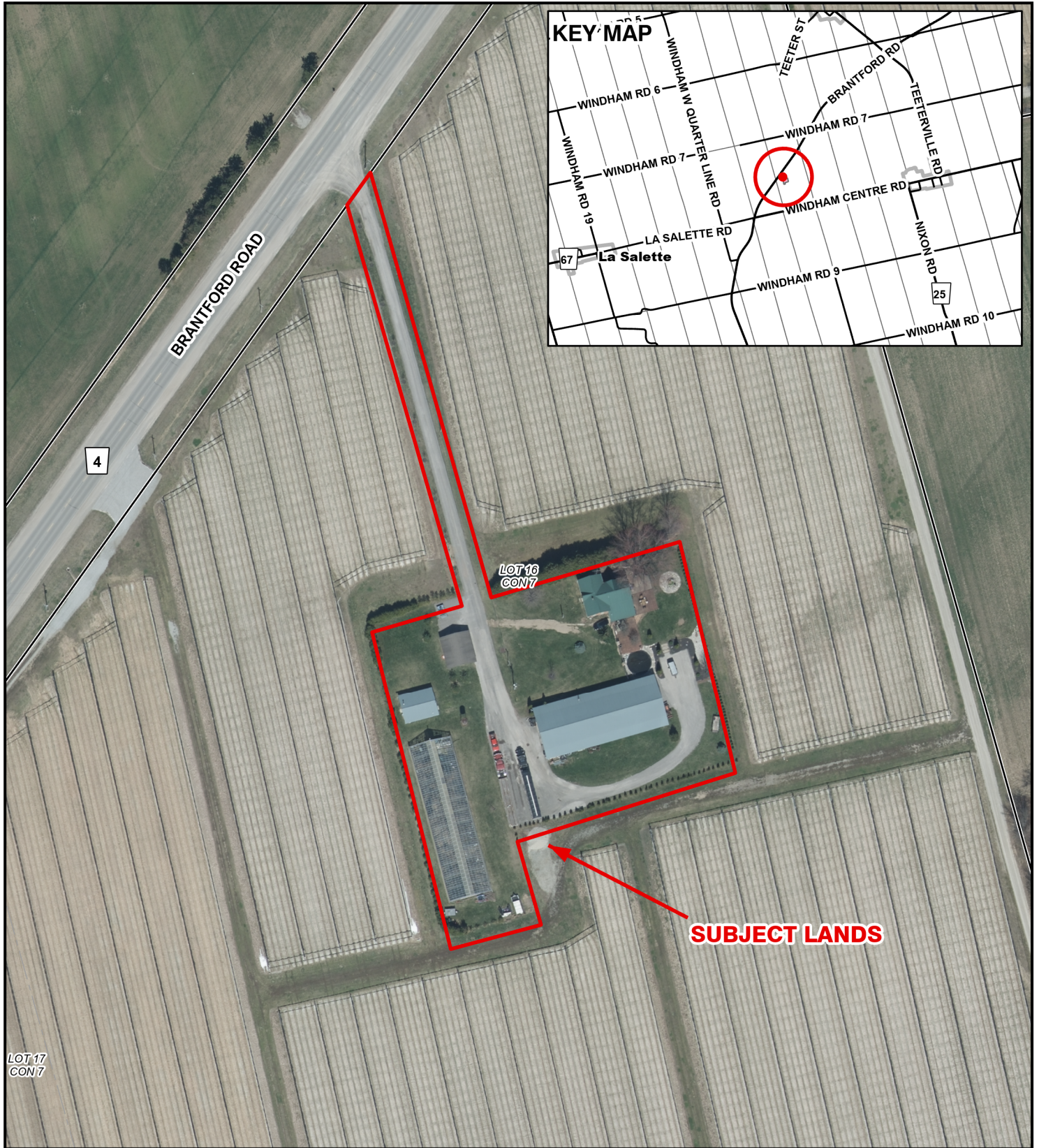
Parking

Drive-  
way


Deck measurements  
of Main  
Dwelling





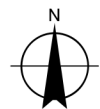


**Legend**

 Subject Lands

2020 Air Photo

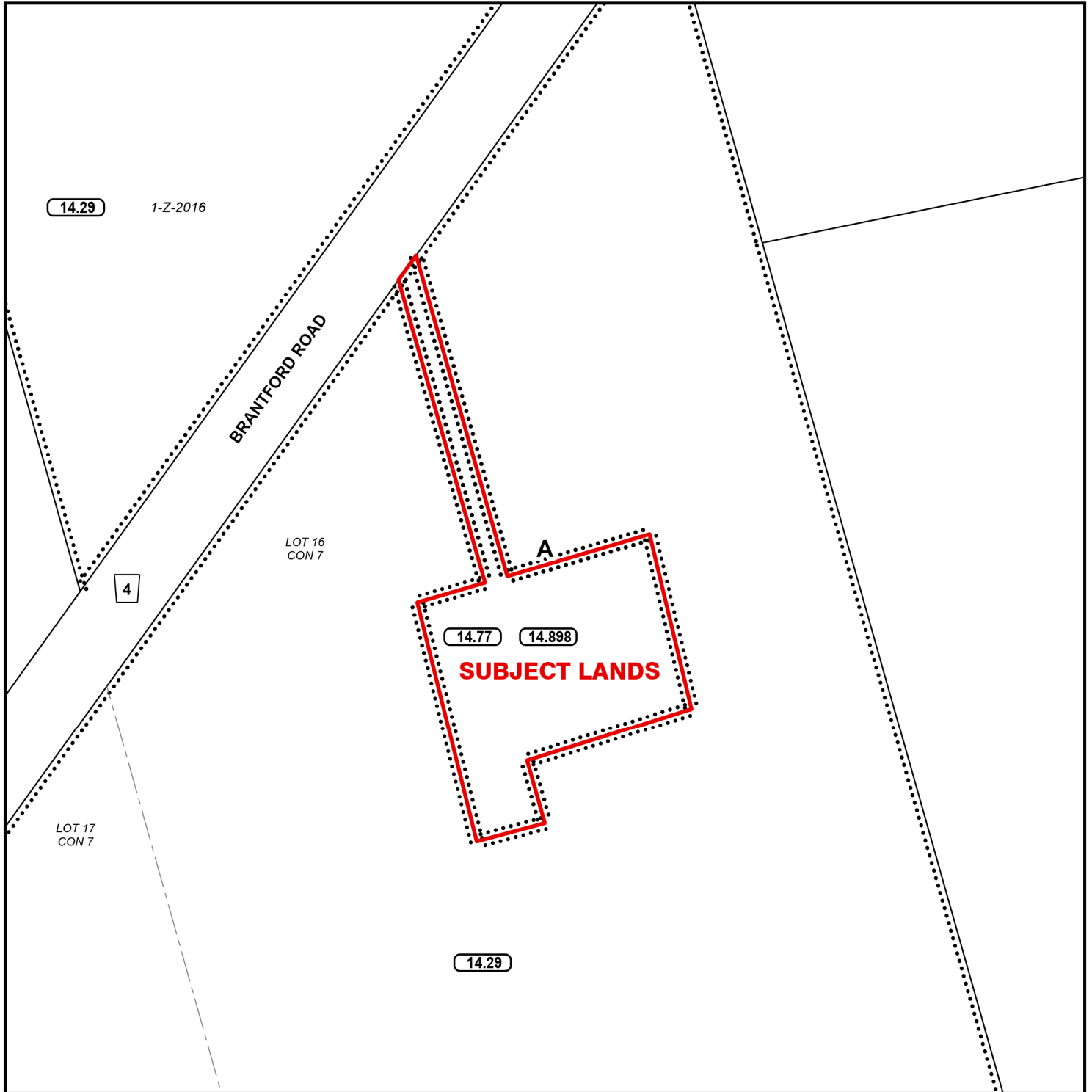
11/13/2025



10 5 0 10 20 30 40 Meters

**MAP B**  
**ZONING BY-LAW MAP**  
Geographic Township of WINDHAM

ANPL2025139



**LEGEND**

 Subject Lands

ZONING BY-LAW 1-Z-2014

11/13/2025

(H) - Holding

A - Agricultural Zone

