

For Office Use Only:

File Number

ANPL2025139

Related File Number

Pre-consultation Meeting

Application Submitted

Complete Application

Application Fee

Conservation Authority Fee

Well & Septic Info Provided

Planner

Public Notice Sign

 Check the type of planning application(s) you are submitting.

Consent/Severance/Boundary Adjustment
 Surplus Farm Dwelling Severance and Zoning By-law Amendment
 Minor Variance
 Easement/Right-of-Way

Property Assessment Roll Number: 331049101503002000**A. Applicant Information**

Name of Owner

John + Melanie Ryan

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

950 Brantford rd

Town and Postal Code

N0E 1V0

Phone Number

519-754-9724

Cell Number

same as above

Email

hairbyhome@yahoo.ca

Name of Applicant

Same as above

Address

Town and Postal Code

Phone Number

Cell Number

Email

Revised April 2023

Committee of Adjustment Development Application

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Norfolk

Name of Agent No Agent
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

None

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

County rd No. 4 Brantford rd 950
Vanessa Norfolk County

Municipal Civic Address: 950 BRANTFORD RD.

Present Official Plan Designation(s): AGRICULTURAL

Present Zoning: 'A' AGRICULTURAL.

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Main dwelling, Garage, Bunkhouse,
Shop all being kept
Have attached drawing

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Conversion of the existing bunkhouse
for residential use - ARDU.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Bunkhouse is one storey unit all
the rest of info is in drawing attached

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

No

9. Existing use of abutting properties:

No

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	11.72m	30m			18.28m
Lot depth	Varied 214.9m				—
Lot width	Varied 115.8m				—
Lot area	0.85 ha	40 ha			39.15 ha
Left Interior side yard	3.96m	3m			—
Right Interior side yard	18.3m	3m			—
Height	3.658m	8m			—
Usable Floor Area ARDU	73.85 m ²	75 square metres			—
Distance from Dwelling ARDU	63.5m	40m			23.5m
Outbuilding Usable Floor Area	686.48m ²	200 square Metres			486.48m ²
Outbuilding Lot coverage	7.8 %	10%			—

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Legally non-complying deficiencies and connections of bunkhouse (existing) To ARDU

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: WA

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units (existing dwelling after severance):

Frontage: W/

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Not Applicable

Frontage: W/

Depth: _____

Owners Name: N/A
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: N/A
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

All land around our property is not owned by us. + is being farmed

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

PERSONAL KNOWLEDGE.

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Virginia

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4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.C. 1990, c. P. 13? Yes No

If no, please explain:

~~Do not know what this means~~

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

~~Not applicable~~

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

~~Not applicable~~

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance No

Wooded area

On the subject lands or within 500 meters – distance No

Municipal Landfill

On the subject lands or within 500 meters – distance No

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance No

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance No

Floodplain

On the subject lands or within 500 meters – distance No

Rehabilitated mine site

On the subject lands or within 500 meters – distance No

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance No

Active mine site within one kilometre

On the subject lands or within 500 meters – distance No

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance No

Active railway line

On the subject lands or within 500 meters – distance No

Seasonal wetness of lands

On the subject lands or within 500 meters – distance No

Erosion

On the subject lands or within 500 meters – distance No

Abandoned gas wells

On the subject lands or within 500 meters – distance No

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water Communal wells
 Individual wells Other (describe below)

Points

Sewage Treatment

Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)

Storm Drainage

Storm sewers Open ditches
 Other (describe below)

~~None~~

2. Existing or proposed access to subject lands:

Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

950 Brantford rd

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Norfolk
County

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may also be required as part of the complete application submission:**

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

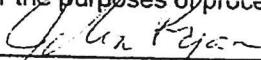
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.* 13 for the purposes of processing this application.

 04/11/25
Owner/Applicant/Agent Signature Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We John & Melanie Ryan am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize John & Melanie Ryan to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

 04/29/25
Owner 04/29/25
Owner Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

Norfolk

K. Declaration Melanie Ryan

I, John Ryan of 950 Brantford rd Vanessa ON,
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

John Ryan
m

in Vanessa ON Canada

This 11 day of April

John Ryan
Owner/Applicant/Agent Signature

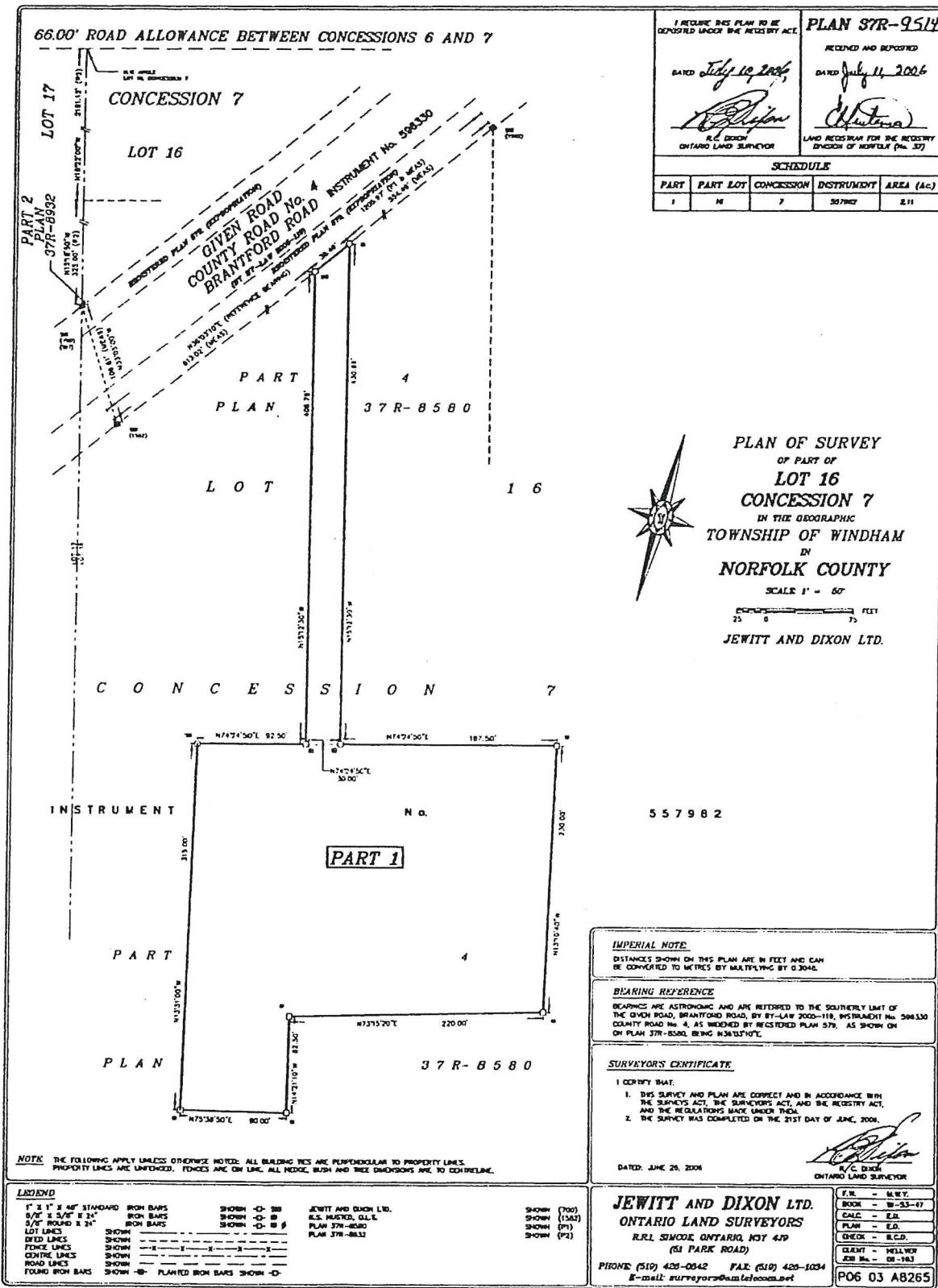
John Ryan

A.D., 2025

Sherry Ann Mott, a
Sherry Ann Mott, a
Commissioner, etc., Province of Ontario.
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
for the Corporation of Norfolk County.
Expires March 16, 2026.

A Commissioner, etc.

Norfolk



* mended Amended or checked

County rd No. 4
Brantford rd

Act frontage ~~9.1m~~ 30ft

Lot width

380 ft 115.8 m

65

67.55m²
fluorarea:
Garage

✓ **Bunk** 73.85 m^2 **floor area**

200

Left
Interior
3.96m

* Building Distances from Property Lines + Bunkhouse from Main

八二八

1234

61F-1

61F-1

Right Inferior

18.3 m

545,08m²
Floor area
Garage/shop

60CH

59ft

Usable Floor area 545.68
67 ES

$$+ 73,85$$

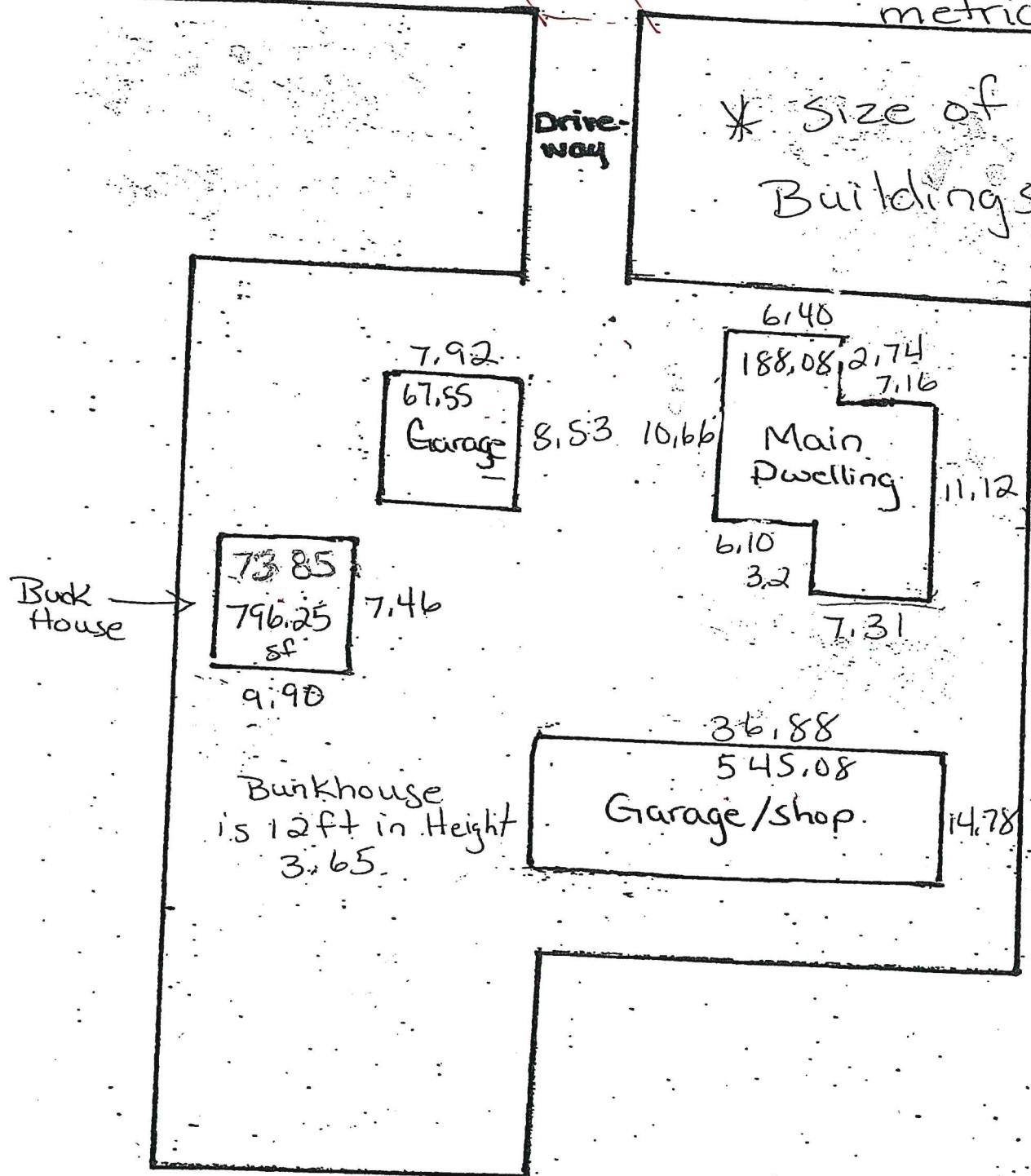
Front to back 70.5 ft
Lot Depth 214.9 m

Outbuilding lot coverage $686.48 \div 8800 \times 100 = 7.8\%$

County rd No. 4
Scamford rd

metric

* Size of
Buildings



County rd No. 4
Bramford rd

metric

* Location

Tile Bed

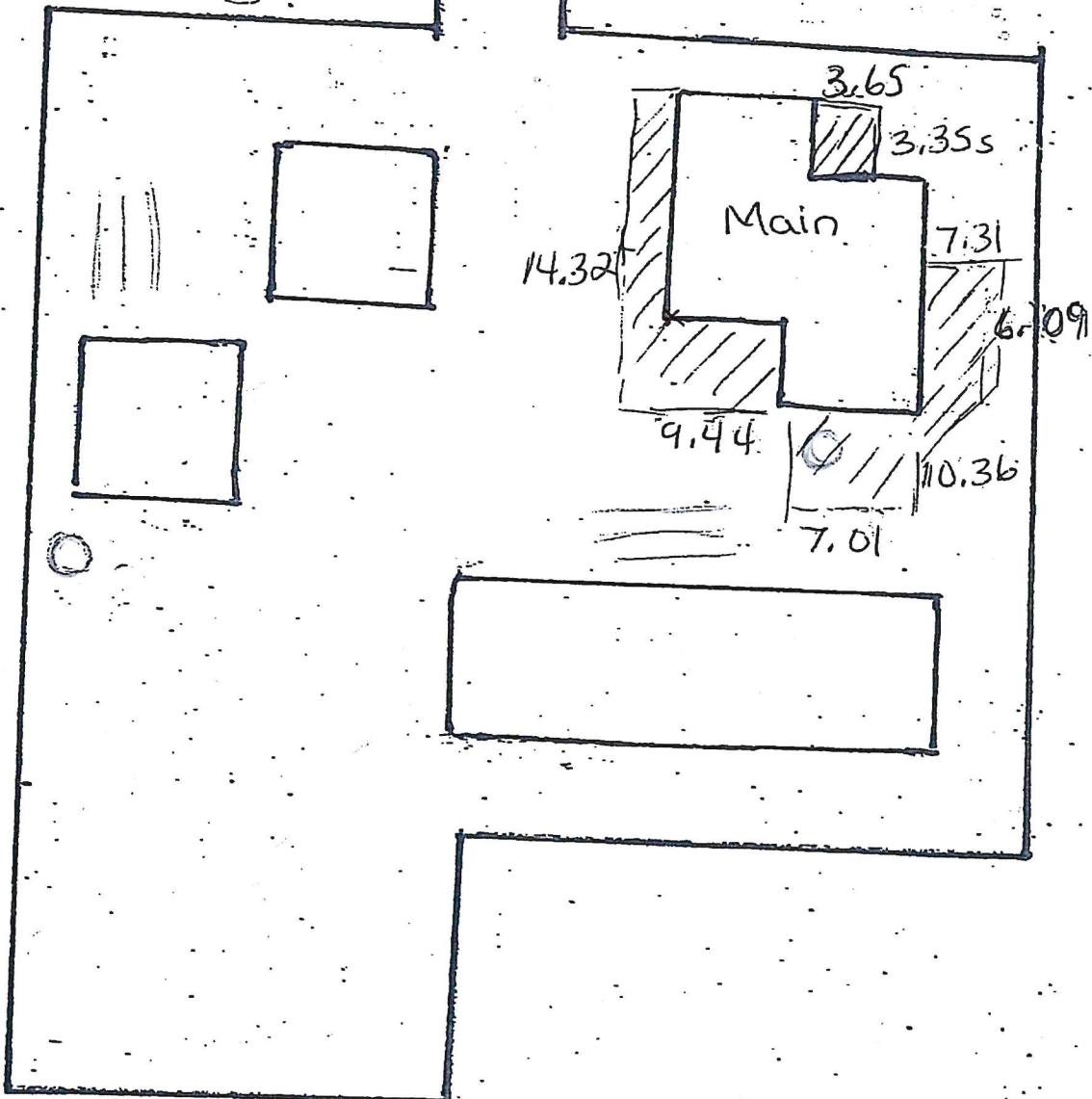
Drive-
way

Septic Lid

Parking

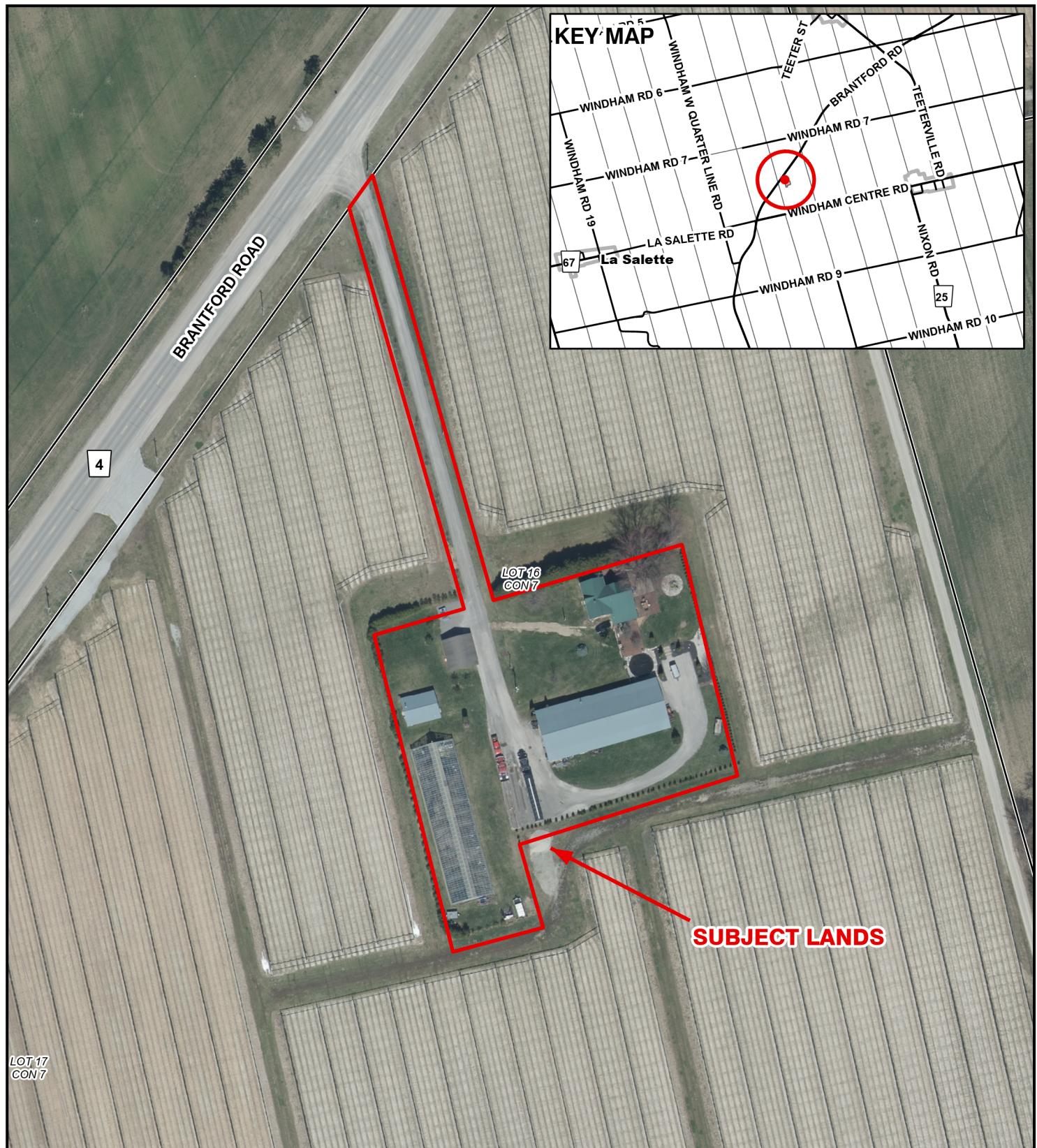
Deck measurements
of Main

Dwelling



CONTEXT MAP

Geographic Township of WINDHAM

**Legend** Subject Lands

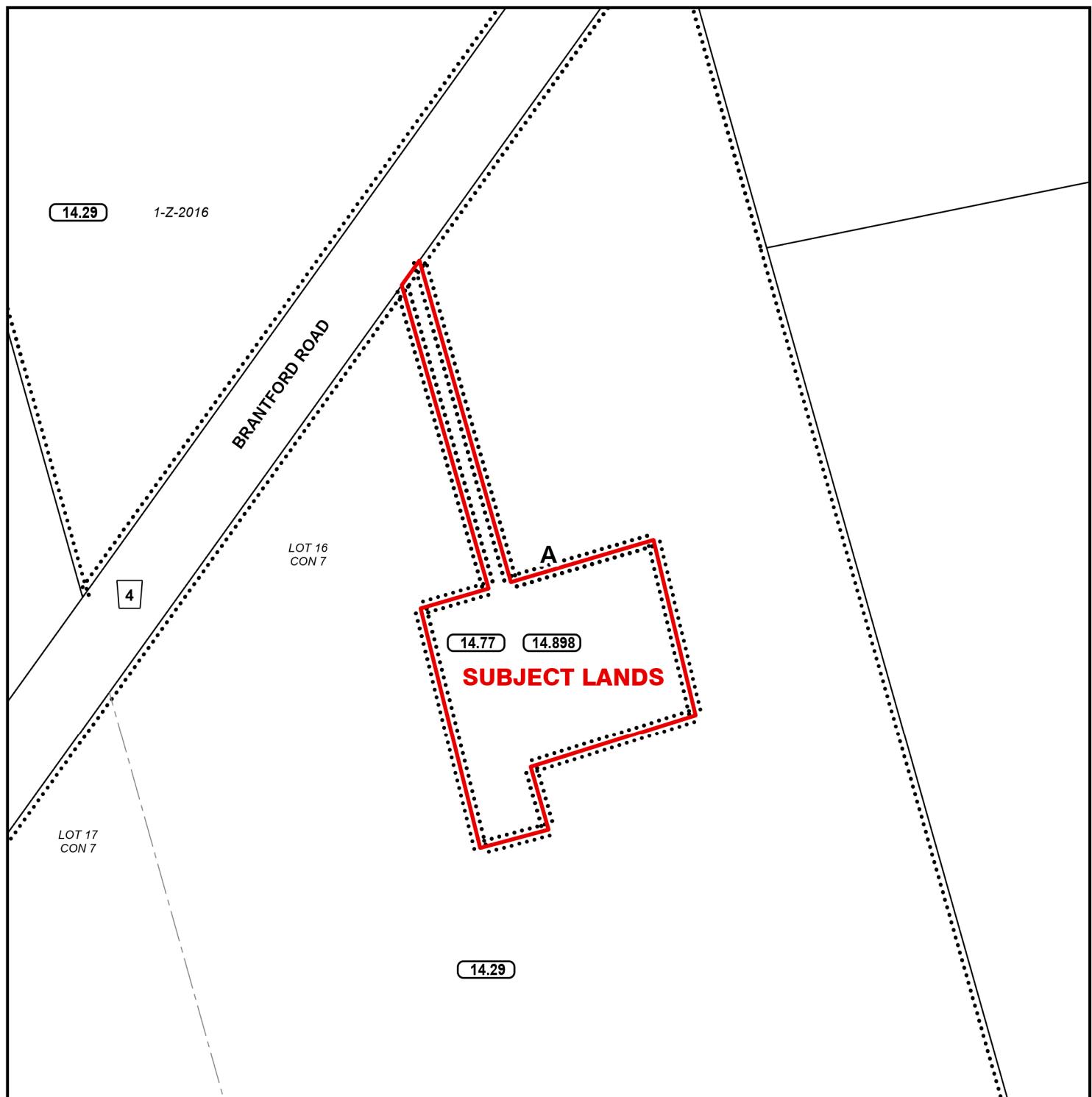
2020 Air Photo

11/13/2025

 10 5 0 10 20 30 40 Meters

ZONING BY-LAW MAP

Geographic Township of WINDHAM

**LEGEND**

Subject Lands

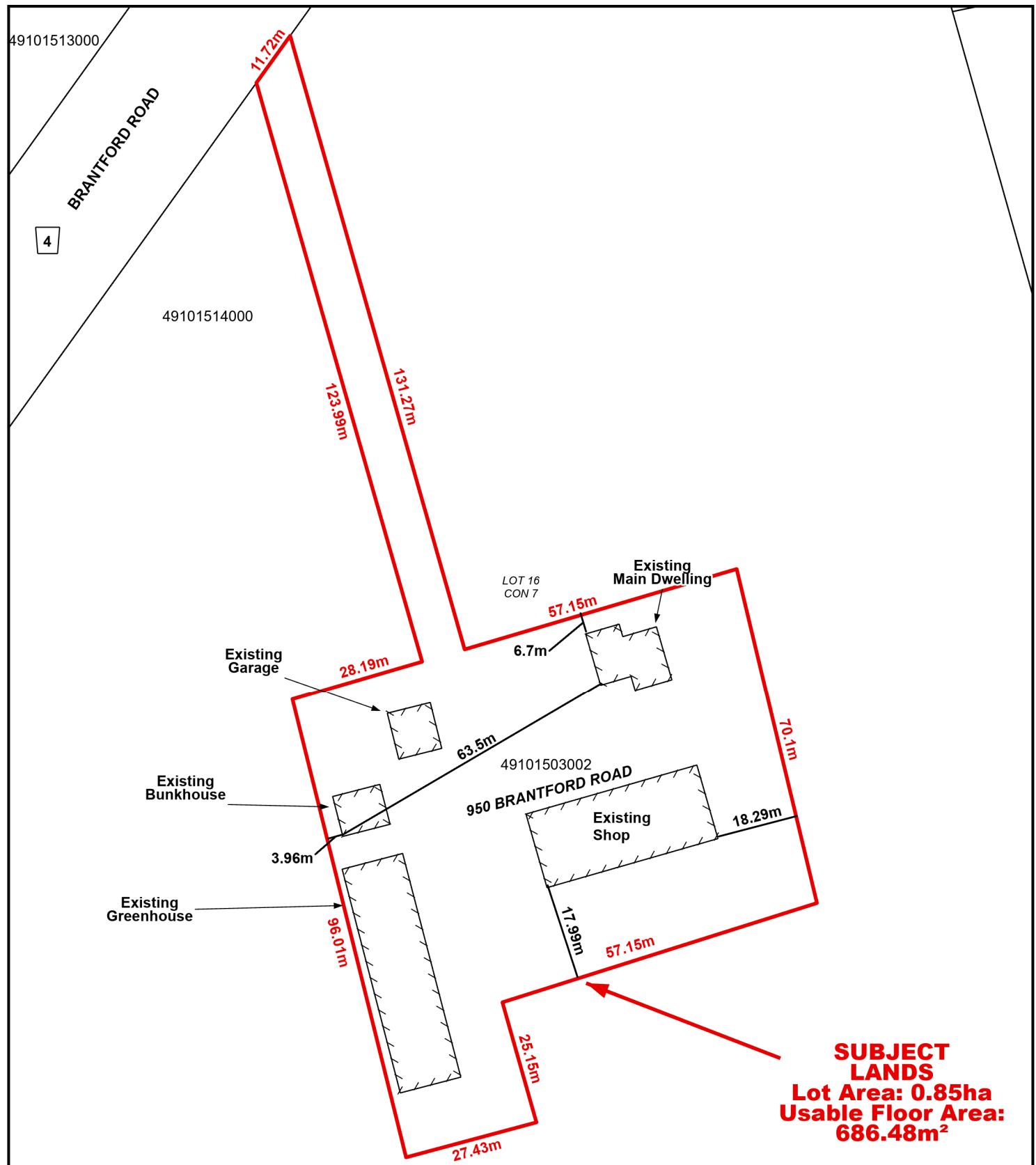
ZONING BY-LAW 1-Z-2014

11/13/2025

(H) - Holding

A - Agricultural Zone

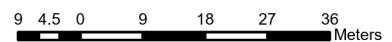
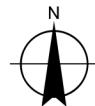


CONCEPTUAL PLAN
Geographic Township of WINDHAM

Legend

 Subject Lands

11/13/2025

 9 4.5 0 9 18 27 36 Meters