

Committee of Adjustment Application to Planning Department

Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application committee.of.adjustment@norfolkcounty.ca. Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: www.norfolkcounty.ca/planning

After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

Additional studies required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

Notification Sign Requirements

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

Contact Us

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or Committee.of.Adjustment@NorfolkCounty.ca



For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3340545030043000000

A. Applicant Information

Name of Owner ABRAM RENDECOP

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 693 2ND CONCESSION ROAD ENR

Town and Postal Code LANGTON, ONTARIO, N0E 1G0

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address PO BOX 26 - 20 ST ELIZABETH CRESCENT

Town and Postal Code COURTLAND, N0J 1E0

Phone Number 226 931 1865

Cell Number 226 931 1865

Email MHDESIGN.TALK@GMAIL.COM

Name of Agent SAME AS APPLICANT

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

FIRST CREDIT UNION

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

HGN CON 1 PT LOT 7 RP, 37R5619 PART 1 CORNER

1.83 AC 235.16 FR D

Municipal Civic Address: 693 2ND CONCESSION ROAD ENR

Present Official Plan Designation(s): AGRICULTURAL (A) AND HAZARD LAND (HL)

Present Zoning: AGRICULTURAL (A) AND HAZARD LAND (HL)

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

(ex.) 1 Storey Detached Single Family Dwelling Unit - GFA = 103.6m², FSB = 12.35m, SYSB = 16.73m/65.29m, RYSB = 47.19m
(ex.) 1 Storey Detached Accessory Building - GFA = 46.8m², FSB = 25.0m, SYSB = 24.61m/63.43m, RYSB = 39.66m
(ex.) 1 Storey Detached Accessory Building - GFA = 58.3m², FSB = 42.65m, SYSB = 3.97m/100.5m, RYSB = 20.94m

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Storage of future RV, Trailer, personal tools, and personal motorized vehicles.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Please see attached site plan, floor plan and elevations.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

Unknown

9. Existing use of abutting properties:

North - Residential, West - Agricultural Farm, South - Agricultural Farm, East - Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage	105.1m ² (accessory)	200m ²	1-Z-2014 Section 3.2	402.24m ²	202.24m ²
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	none within HL	0m ²	1-Z-2014 Section 11.1.1	297.14m ²	297.14m ²

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The amount of space required for a future RV, trailer and motorized vehicles is needed.

The location is so that the property owner can use the space in front of the building as a space for driving to and from the building to the existing driveway.

3. Consent/Severance/Boundary Adjustment: Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. Easement/Right-of-Way: Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
This property has been used for residential since the own purchased it and all google history does not note any industrial use or any contamination.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance 492m

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

SANDPOINT

Sewage Treatment

- Municipal sewers
 - Septic tank and tile bed in good working order
 - Communal system
 - Other (describe below)
-

Storm Drainage

- Storm sewers
 - Other (describe below)
 - Open ditches
-

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

2ND CONCESSION ROAD ENR

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Abram H Redecop Maria M Klassen

Owner/Applicant/Agent Signature

March-29-2025

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Abram Redecop am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Michele Hammond to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Abram H Redecop

Owner

March-29-2025

Date

Maria M Klassen

Owner

March-29-2025

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Michele Hammond of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County

Michele Hammond

Owner/Applicant/Agent Signature

In the Province of Ontario

This 28th day of March

A.D., 2025

S McCauley

A Commissioner, etc.

Susan Elaine McCauley, a Commissioner, et.
Province of Ontario
for John R. Hanselman, Barrister and Solicitor
Expires May 11, 2025

GENERAL NOTES

- 1. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL AT ONCE REPORT TO OWNERS REPRESENTATIVE ANY ERROR, INCONSISTENCY, OR OMISSION HE/SHE MAY DISCOVER. CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONSTRUCTION DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK. THE TERM 'OWNER' HEREIN REFERS TO THE PARTY TO WHICH THE GENERAL CONTRACTOR HAS CONTRACTED WITH TO PERFORM THE WORK.

DRAWING INDEX

Table with columns: NO., SHEET NAME. Rows include A0.01 SITE PLAN, A0.02 GENERAL NOTES (STRUCT), A0.03 ISOMETRIC MODELS, A1.01 FLOOR PLAN, A2.01 ELEVATION, A2.02 ELEVATION, A3.01 ARCHITECTURAL DETAILS, A3.02 ARCHITECTURAL ROOF DETAILS, A4.01 SECTION 'A'

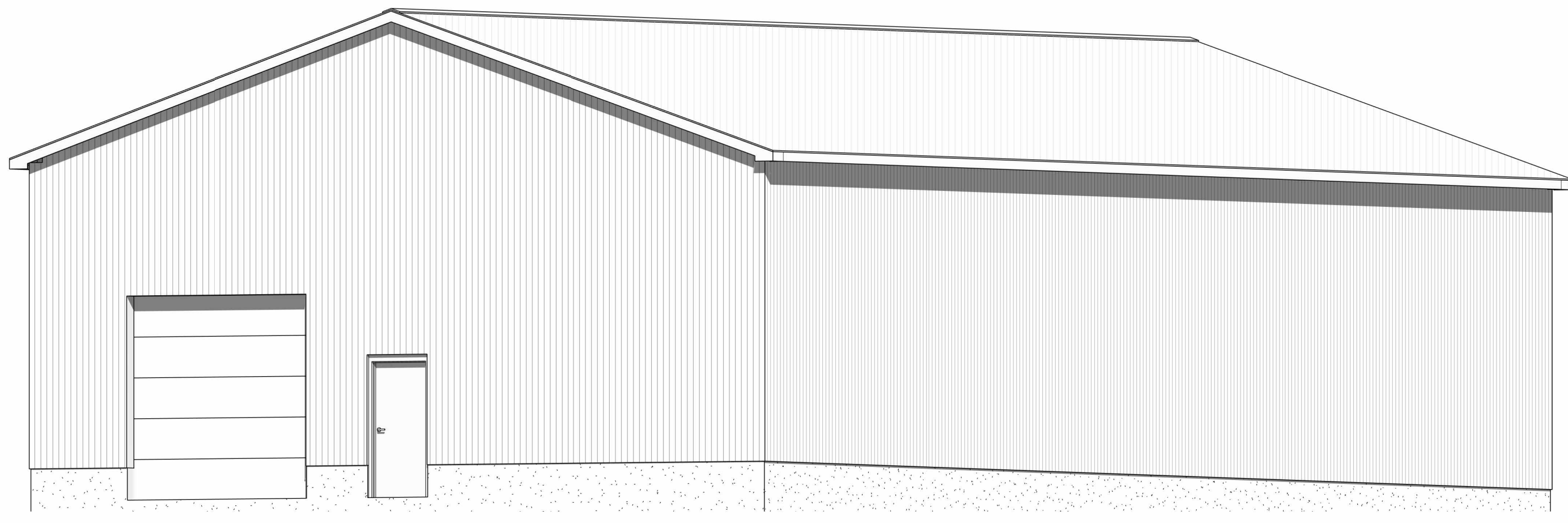
Table with columns: NO., SHEET NAME. Rows include F1.01 SLAB EDGE PLAN, F2.01 ELEVATIONS, F3.01 FOUNDATION DETAILS, F5.01 SECTIONS, S1.01 POST PLAN, S1.02 TRUSS & BRACING LAYOUT, S2.01 STRUCTURAL ELEVATIONS, S2.02 STRUCTURAL ELEVATIONS, S2.03 STRUCTURAL ELEVATIONS, S2.04 STRUCTURAL ELEVATIONS, S3.01 DETAILS, S3.02 DETAILS

PROJECT DATA

PROJECT DESCRIPTION: 1 STOREY DETACHED ACCESSORY BUILDING
JURISDICTION: NORFOLK COUNTY
LOT ZONING: (A) AGRICULTURAL, (H1) HAZARD LAND
ZONING BY-LAW: 1-Z-2014
SECTION 3.2. - ACCESSORY USES FOR RESIDENTIAL USES
LOT AREA: 7,405.75 m²
MAXIMUM LOT COVERAGE: 200 m², OR <10%, WHICHEVER IS LESS
FRONT YARD SETBACK: 12.35 m
SIDE YARD SETBACK: 1.2 m
REAR YARD SETBACK: 1.2 m
MAXIMUM BUILDING HEIGHT: 8 m



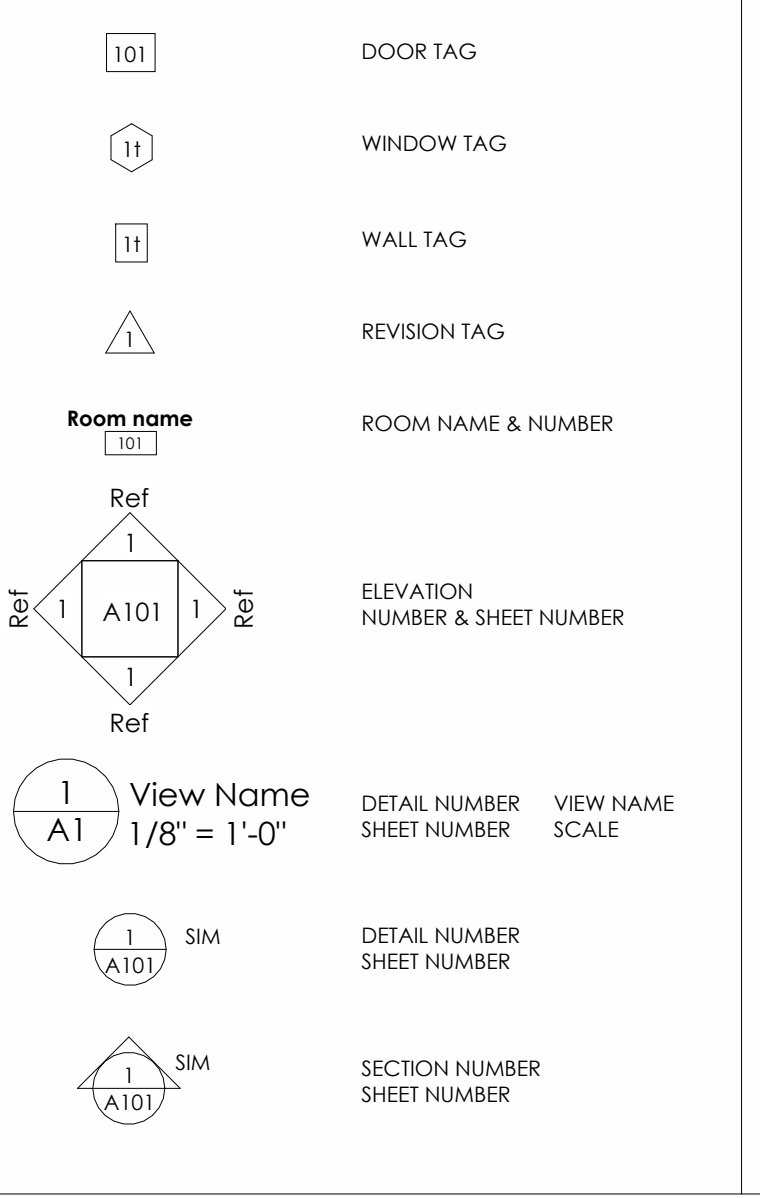
GENERAL NOTES
THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE AND ALL UP TO DATE AMENDMENTS.
LOADS:
a) SNOW Ss = 1.20 kPa (DEAD LOAD = 0.4 kPa)
Sr = 0.4 kPa
Cd = 0.8
Cs = 0.92
ls = 1.0
S = 1.44 kPa / 30.1 psf
q50 = 0.47 kPa
P = AS PER 2020 NBC FIGURE 4.1.7.6-A
b) WIND



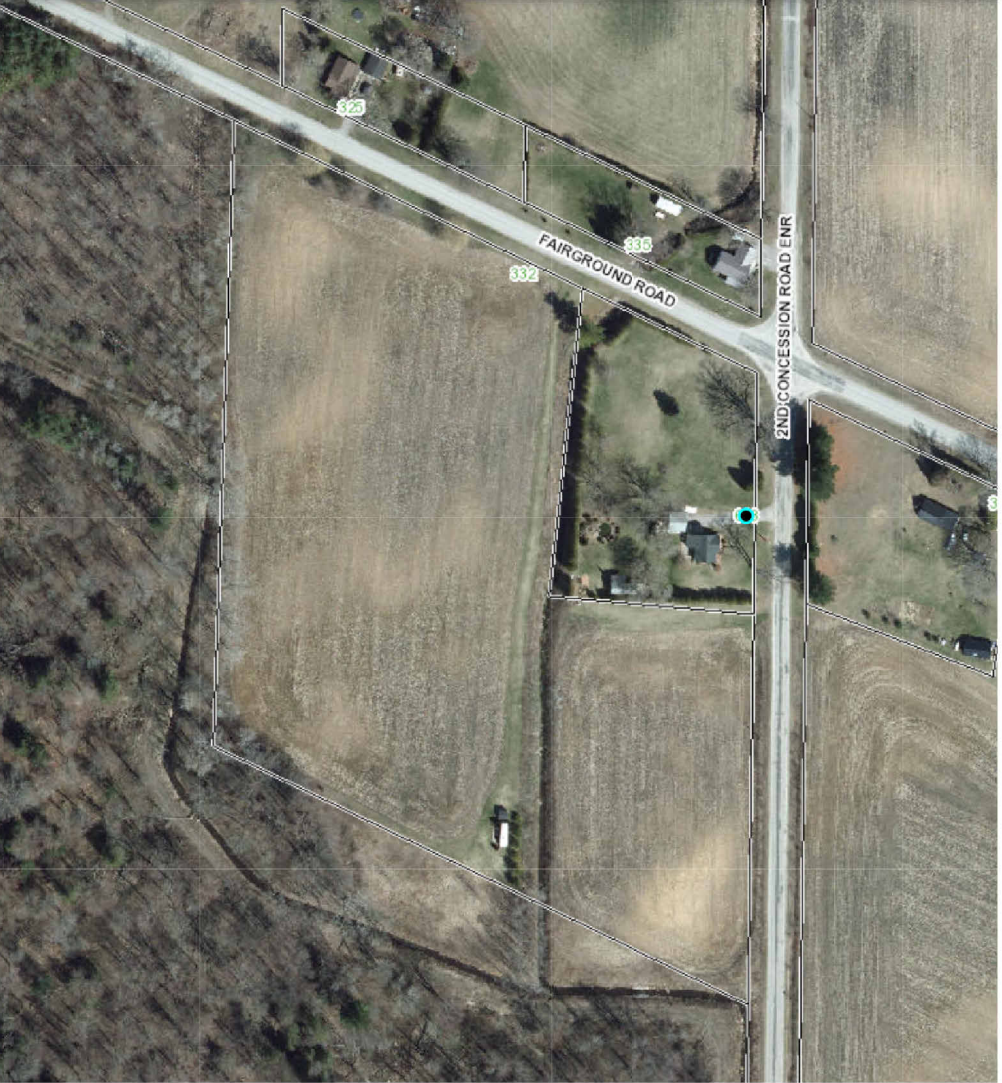
ABBREVIATIONS

Table of abbreviations for architectural and structural elements, including DR DOOR, I IN, PLYWD PLYWOOD, STL STEEL, etc.

DRAWING SYMBOLS



VICINITY MAP



REVISION TABLE with columns: REV, MINOR VARIANCE, DESCRIPTION, DATE. Includes a table with 2 revisions.

RENDECOP, ABRAM
693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO N0E 1G0

CONTRACT CLOSEOUT

- 1. AT COMPLETION OF WORK, THE G.C. SHALL ENSURE THAT ALL SURFACES ARE CLEAN AND UNMARKED AND THE AREA IS FREE OF ALL CONSTRUCTION MATERIAL, DEBRIS AND DUST.
2. THREE COPIES OF WARRANTIES, GUARANTEES AND MANUFACTURERS' INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE G.C. SHALL BE SUBMITTED IN NOTEBOOK FORM TO THE OWNER AT THE TIME OF OCCUPANCY.

OWNER

ABRAM RENDECOP
693 2ND CONCESSION ROAD ENR LANGTON, ONTARIO N0E 1G0
ABRAM RENDECOP PROPERTY OWNER
CELL: 123 456 7890
EMAIL: CLIENT@EMAIL.COM
WEBSITE: WWW.CLIENTWEBSITE.COM

ARCHITECTURAL

M H DESIGN
PO BOX 26 - 20 ST ELIZBETH CRESCENT COURTLAND, ONTARIO N0J 1E0
MICHELE HAMMOND
DIP.L. ARC. TECH., BCIN OWNER
CELL: 226 931 1865
EMAIL: MHDESIGN.TALK@GMAIL.COM
WEBSITE: WWW.M.H-DESIGN

STRUCTURAL

THE ELITE ENGINEERING GROUP INC
58 ROSSITER ROAD INGERSOLL, ONTARIO N5C 4E1
DR. LOUIE D'ORAZIO
M.Sc.ENG., MBA, M.M.P., Ph.D., P.ENG., PRESIDENT
CELL: 519 280 5384
EMAIL: ELITEENGINEERING2001@GMAIL.COM
WEBSITE: WWW.ELITEENGINEERINGGROUP.COM

COVER SHEET
PROJECT NUMBER 24-035
DATE 2025-04-02
DRAWN BY MH
CHECKED BY LDO
SCALE 1/4" = 1'-0"
A0.00

PRINTED ON: 2025-04-02 2:15:43 PM

LOT INFO

LEGAL DESCRIPTION: HGN CON 1 PT LOT 7 RP 3785619 PART 1 CORNER 1.83AC 235.16FR D

MUNICIPALITY: NORFOLK COUNTY
TOWNSHIP: HOUGHTON
ZONING: AGRICULTURAL (A), HAZARD LAND (HL)
ROLL #: 331054503004300000
BUILDING USE: ACCESSORY BUILDING

ZONING BY-LAW 1-Z-2014 - SECTION 3.2 - ACCESSORY USES FOR RESIDENTIAL USES

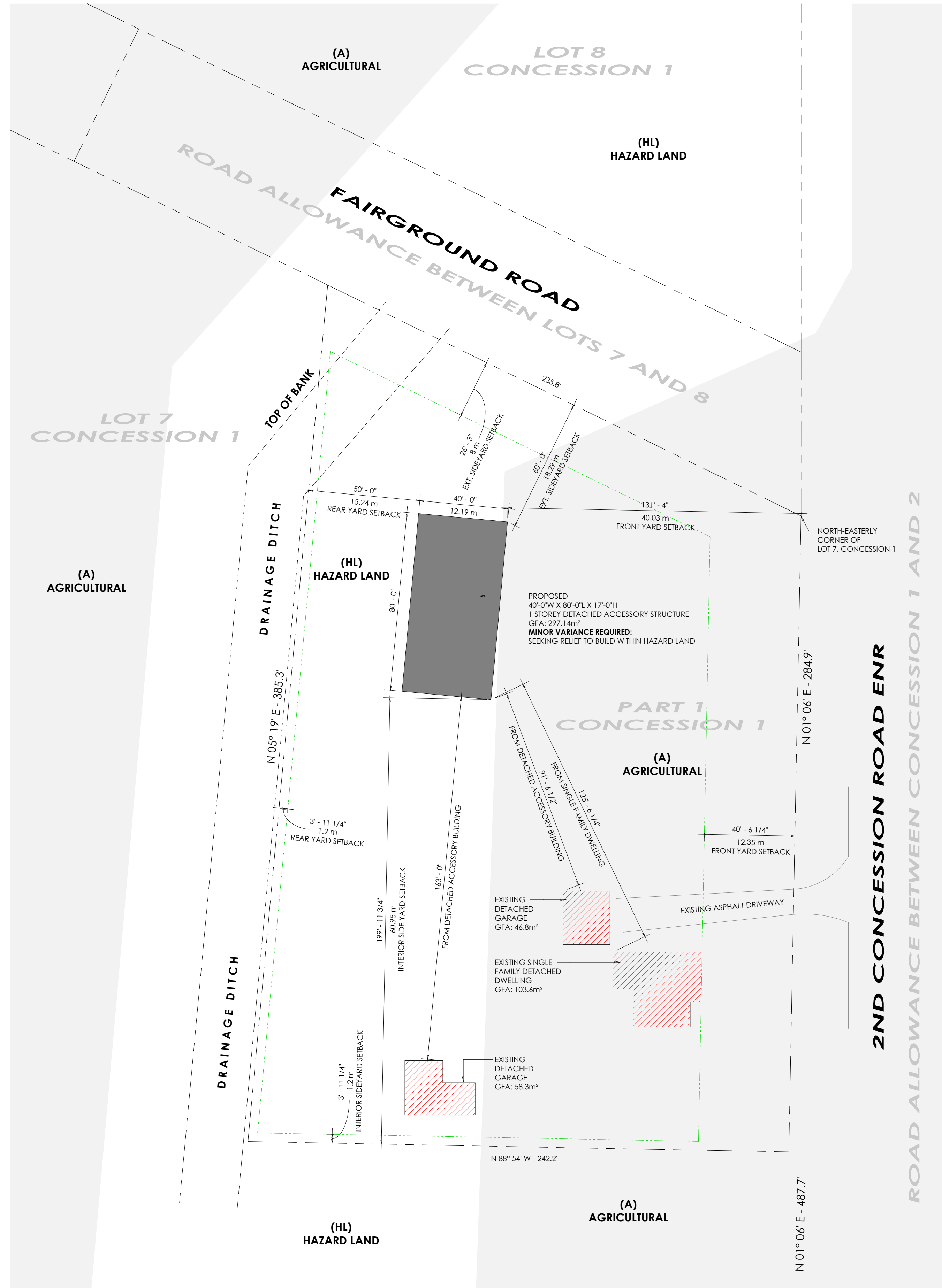
	PROVISIONS (m)	PROPOSED (m)
FRONT YARD SETBACK	12.35	40.03
REAR YARD SETBACK	1.2	15.24
MINIMUM INTERIOR SIDE YARD SETBACK	1.2	60.95
MINIMUM EXTERIOR SIDE YARD SETBACK	8	18.29
MAXIMUM HEIGHT	8	7.42
MAXIMUM COVERAGE	200m ² / <10%	402.24m ²
EXISTING ACCESSORY BUILDINGS	105.1m ²	
PROPOSED ACCESSORY BUILDING	297.14m ²	
TOTAL EXCEEDING	202.24m ²	

MINOR VARIANCE APPLICATION REQUIRED:
 SEEKING RELIEF FOR 202.24m²

FLOOR PLAN LEGEND

- ▲ MAN DOOR ENTRANCE
- ▲ PRINCIPAL ENTRANCE
- ▲^{RF} BARRIER FREE ENTRANCE
- △ EXIT ONLY
- ▲ OVERHEAD DOOR

LEGEND	
	PROPERTY LINES
	PROPERTY SETBACKS
	SEPTIC/WELL
	DRIVEWAY
	PROPOSED BUILDING
	EXISTING STRUCTURE
	EXISTING STRUCTURE TO BE REMOVED
	GRASS
	GRAVEL DRIVEWAY
	CONCRETE
	SIAMENSE CONNECTION



1 SITE PLAN - BUILDING LOCATION
 A0.01 1" = 30'-0"

20 ST ELIZABETH CRES
 COURTLAND, ON
 N0J 1E0
 P: 226 931 1865
 E: MHDESIGN.TALK@GMAIL.COM
 W: M-H.DESIGN



NO.	DESCRIPTION	DATE
2	MINOR VARIANCE	2025/04/02
1	PRELIMINARY	2024/12/17

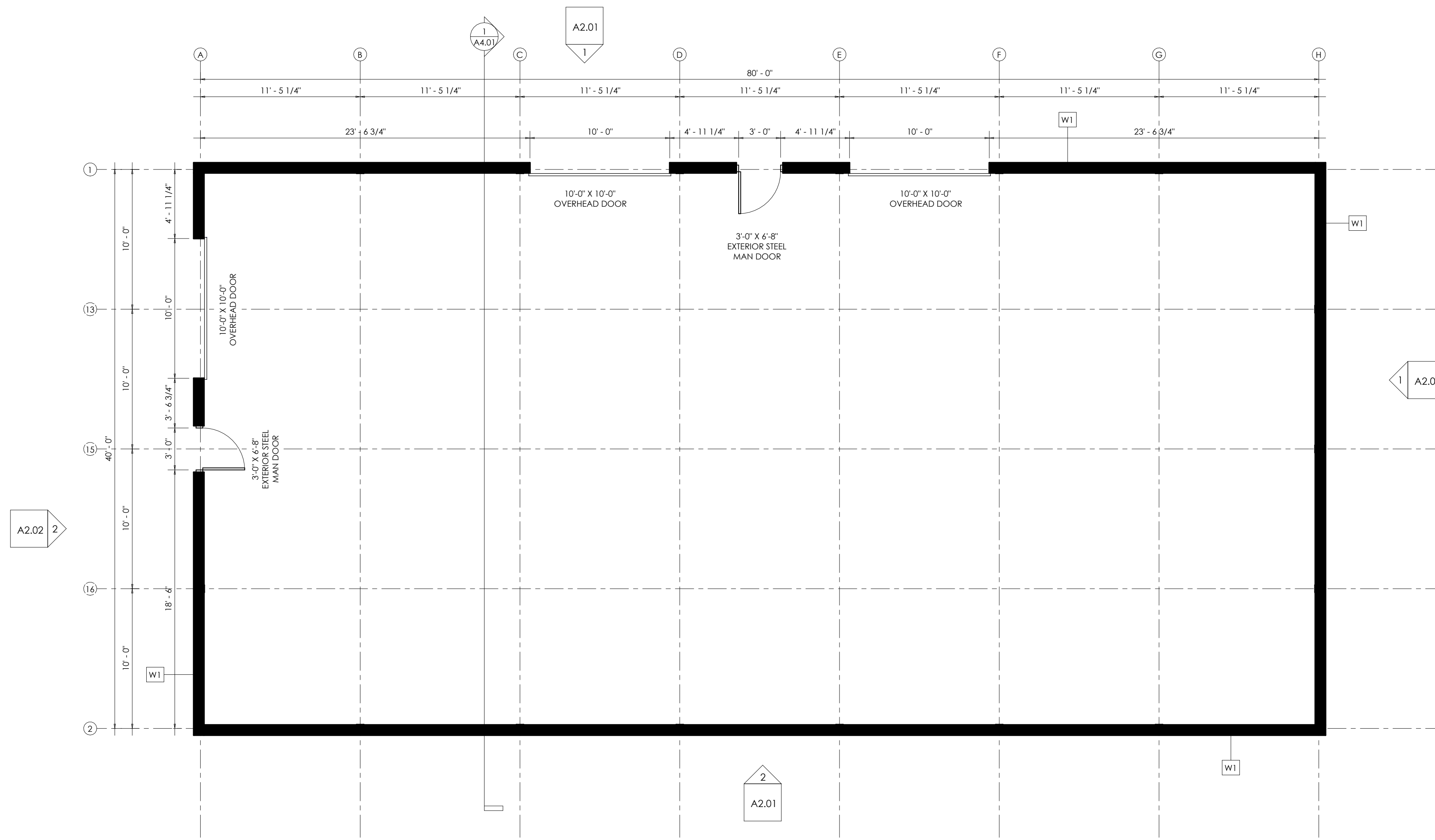
REVISION TABLE

RENDECOP, ABRAM
 693 2ND CONCESSION ROAD ENR
 LANGTON, ONTARIO
 N0E 1G0

SITE PLAN

PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	As indicated

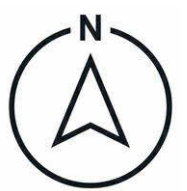
A0.01



1 GROUND FLOOR PLAN
 A1.01 3/16" = 1'-0"

2	MINOR VARIANCE	2025/04/02
1	PRELIMINARY	2024/12/17
NO.	DESCRIPTION	DATE

REVISION TABLE



RENDECOP,
 ABRAM

693 2ND CONCESSION ROAD ENR
 LANGTON, ONTARIO
 N0E 1G0



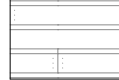
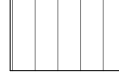
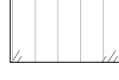

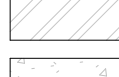



FLOOR PLAN

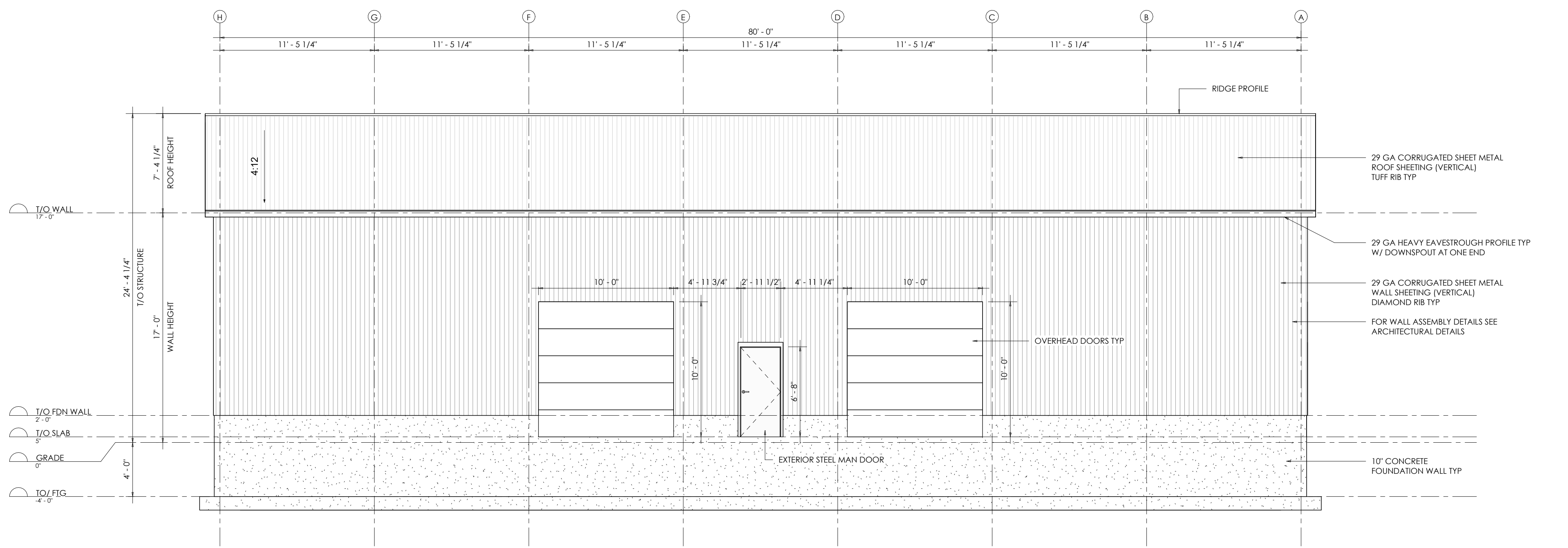
PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	3/16" = 1'-0"

A1.01

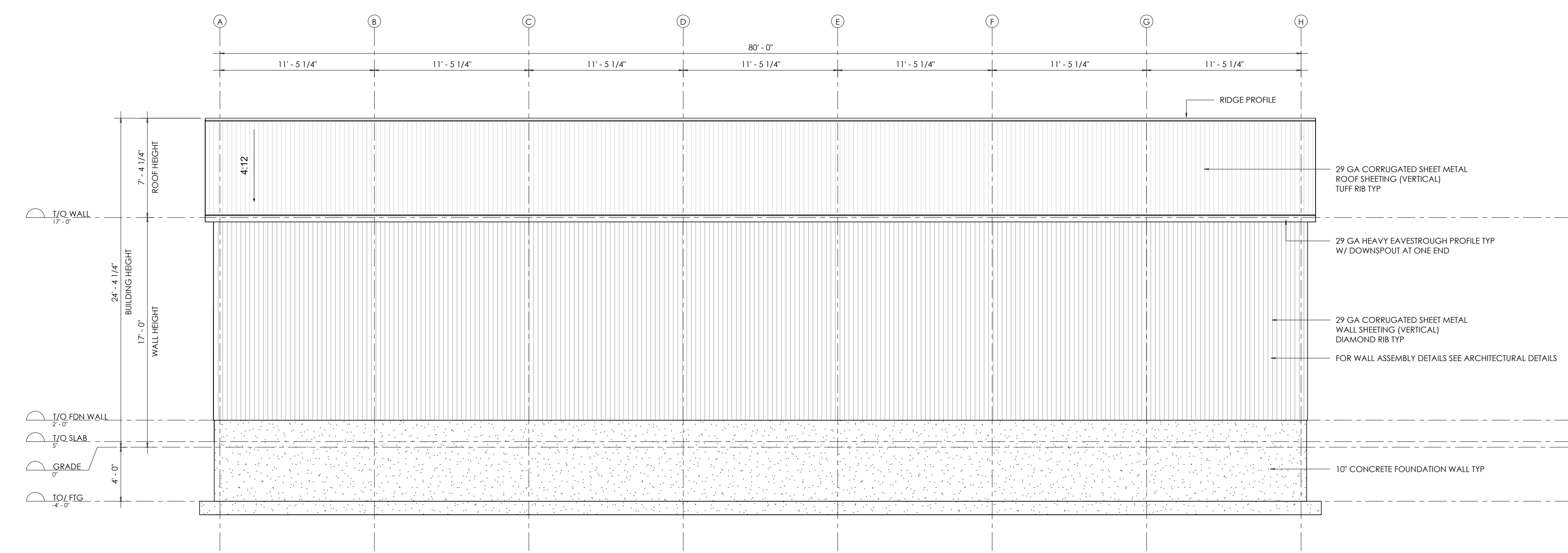


ELEVATION LEGEND

-  BRICK
-  ASPHALT
-  VINYL SIDING
-  PREFINISHED METAL PANELS
-  POLY CARBONATE
-  GLASS/GLAZING
-  STEEL
-  CONCRETE
-  GRAVEL
-  WOOD



1 NORTH ELEVATION - COVERINGS
 A2.01 3/16" = 1'-0"



2 SOUTH ELEVATION - COVERINGS
 A2.01 3/16" = 1'-0"

2	MINOR VARIANCE	2025/04/02
1	PRELIMINARY	2024/12/17
NO.	DESCRIPTION	DATE

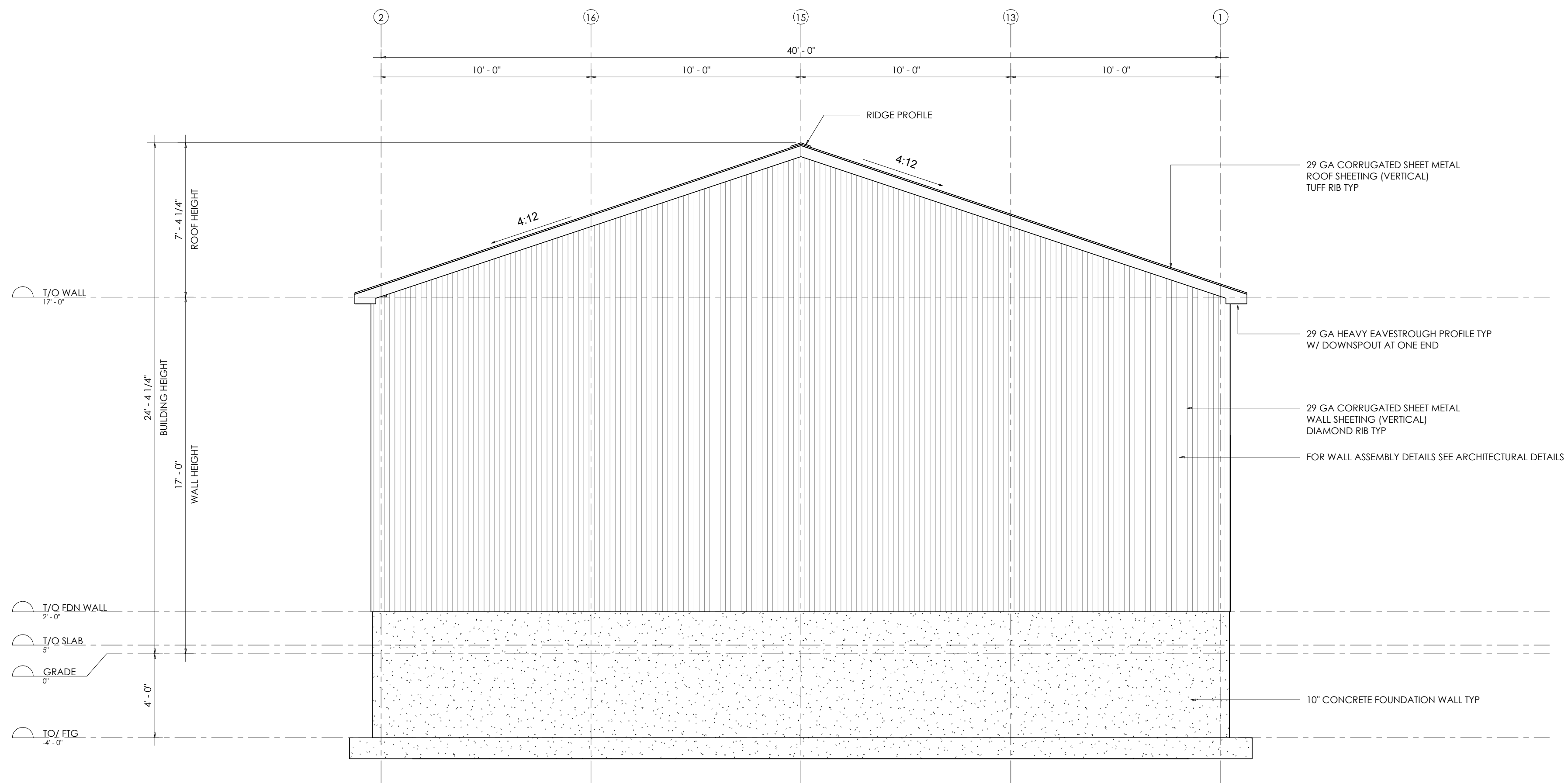
REVISION TABLE



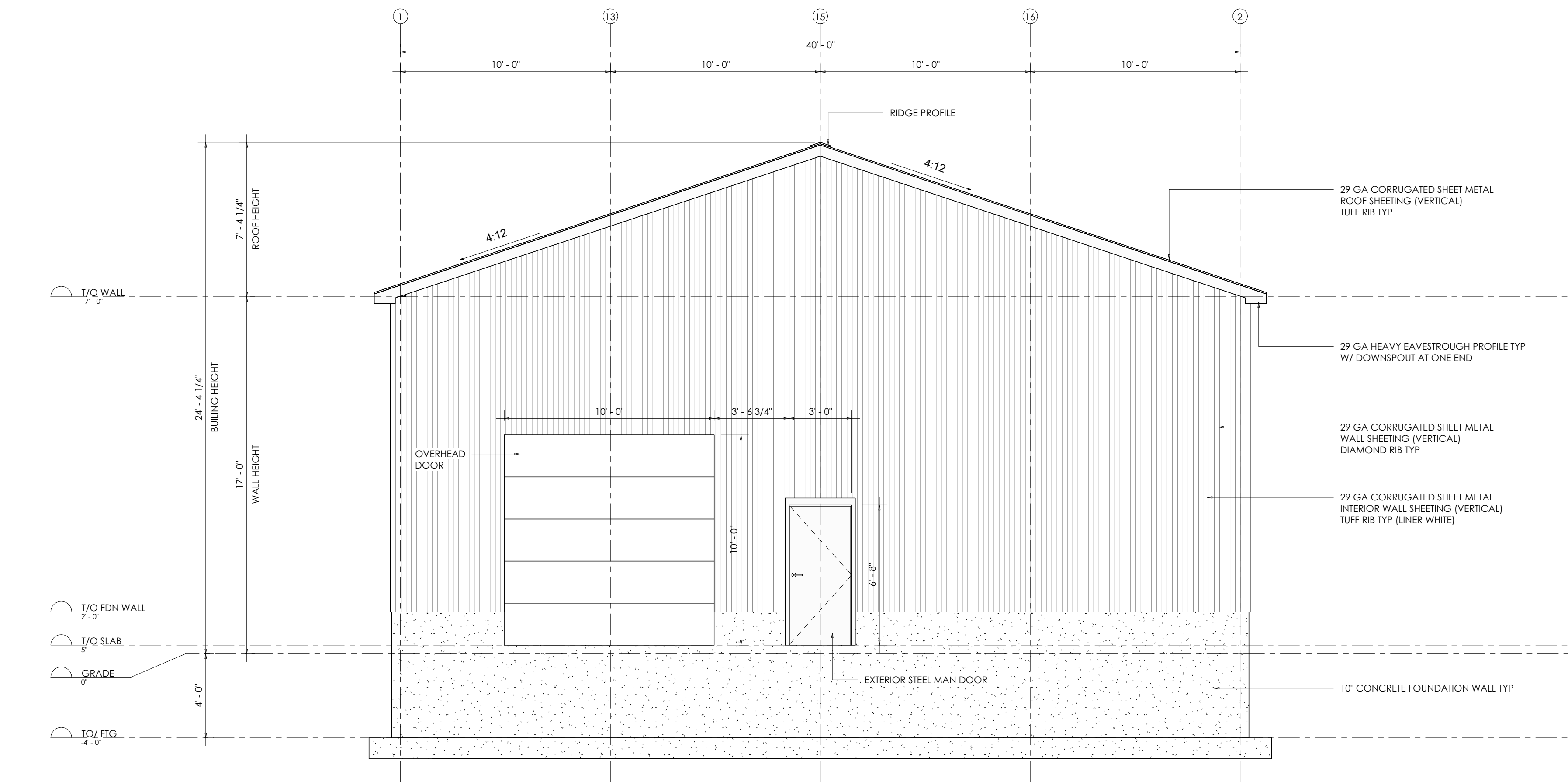
**RENDECOP,
 ABRAM**
 693 2ND CONCESSION ROAD ENR
 LANGTON, ONTARIO
 N0E 1G0

ELEVATION	
PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	As indicated

A2.01



1 EAST ELEVATION - COVERINGS
1/4" = 1'-0"



2 WEST ELEVATION - COVERINGS
1/4" = 1'-0"

ELEVATION LEGEND

- BRICK
- ASPHALT
- VINYL SIDING
- PREFINISHED METAL PANELS
- POLY CARBONATE
- GLASS/GLAZING
- STEEL
- CONCRETE
- GRAVEL
- WOOD

MH
20 ST ELIZABETH CRES
COURTLAND, ON
N0J 1E0
P: 226 931 1865
E: MHDESIGN.TALK@GMAIL.COM
W: M-H.DESIGN



NO.	DESCRIPTION	DATE
2	MINOR VARIANCE	2025/04/02
1	PRELIMINARY	2024/12/17

REVISION TABLE

PROJECT NORTH

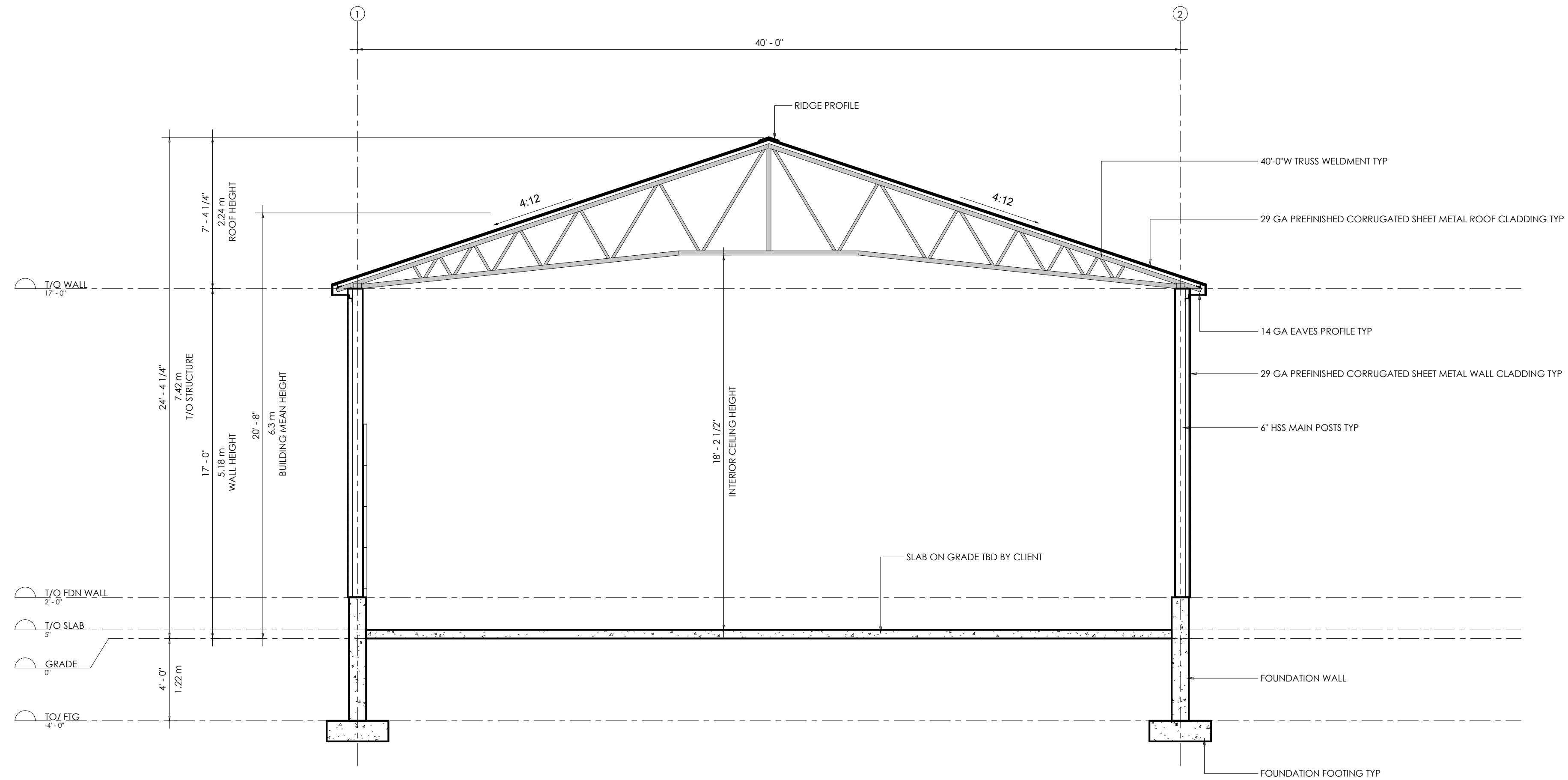
**RENDECOP,
ABRAM**
693 2ND CONCESSION ROAD ENR
LANGTON, ONTARIO
N0E 1G0

ELEVATION

PROJECT NUMBER 24-035
DATE 2025-04-02
DRAWN BY MH
CHECKED BY LDO
SCALE As indicated

A2.02

PRINTED ON: 2025-04-02 2:15:46 PM



1 BUILDING SECTION 'A'
 A4.01 1/4" = 1'-0"

2	MINOR VARIANCE	2025/04/02
1	PRELIMINARY	2024/12/17
NO.	DESCRIPTION	DATE

REVISION TABLE	

**RENDECOP,
 ABRAM**
 693 2ND CONCESSION ROAD ENR
 LANGTON, ONTARIO
 N0E 1G0

SECTION 'A'	
PROJECT NUMBER	24-035
DATE	2025-04-02
DRAWN BY	MH
CHECKED BY	LDO
SCALE	1/4" = 1'-0"

A4.01



RE: Four Tests of a Minor Variance

692 2ND CONCESSION ROAD ENR, LANGTON, ONTARIO, N0E 1G0

Date: 2025/04/02

Attn: Scott Wilson,

I, Michele Hammond, am applying for a minor variance application for the property owners Abram Rendecop and Maria Klassen who live at the noted address. The proposed steel-framed 1-storey detached accessory structure is to be 40'-0" wide, 80'-0" long and 17'-0" in wall height.

The proposed addition is to accommodate the amount of storage required for the homeowner. This project will not be altering the use of the property from Residential, and we will not be applying for a zoning amendment. The homeowners feel that this project will not only help with storage of their personal property but also add more appeal to the community with a new building that is visible from 2nd Concession Road ENR.

The current lot is zoned as (A) Agricultural, and the proposed building will be used for the homeowner's storage and be ancillary to the existing single-family dwelling. The purpose of this minor variance application is to request an exemption to build the addition within Hazard Land and to build a building that exceeds the maximum allowable lot coverage for accessory buildings. Given that there are already two existing detached accessory buildings for small vehicles and a riding lawn mower, the property owner would like to keep these two buildings. The proposed building will be storage for an RV trailer, two boats and other personal motorized vehicles. As per provisions of section 3.2 of the Zoning ByLaw 1-Z-2014, the maximum allowable lot coverage for accessory building on an Agricultural Zones property is 200m². The existing buildings already amount to 105.1m² and the proposed building is to be 297.14m². As per section 11.1.1. within the same Zoning ByLaw, no structures shall be allowed within hazard lands, however, with the size of the proposed building, the owners feel that the building would have more curb appeal not being so close to 2nd Concession Road ENR.

One mature douglas fir tree will be removed for this project, however no other existing trees will be altered.

Other than not being able to meet the requirement of no buildings allowed within the hazard lands, the building will not be exceeding any front yard, side yard or rear yard setbacks. The building also is less than 8m in height and will not require relief as per section 3.2 within Zoning ByLaw a-Z-2014.

Thank you,



Michele Hammond | Dipl. Arc.

Cell: 226 931 1865

Owner/Designer

MAP A


ANPL2025109

CONTEXT MAP

Geographic Township of HOUGHTON

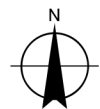


Legend

 Subject Lands

2020 Air Photo

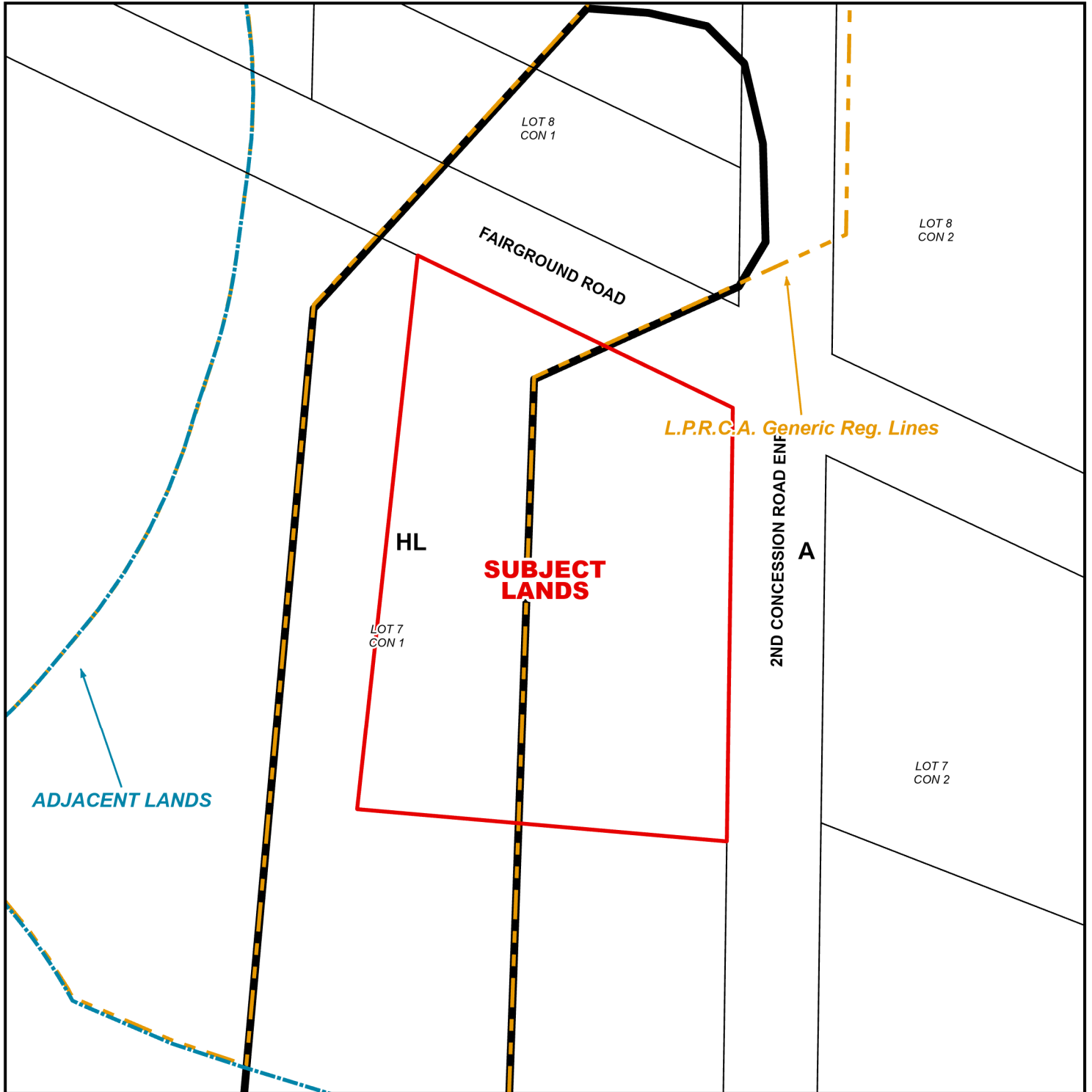
5/20/2025






30 15 0 30 60 90 120 Meters

MAP B
ZONING BY-LAW MAP
 Geographic Township of HOUGHTON

ANPL2025109



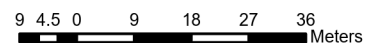
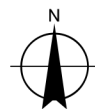
LEGEND

-  Subject Lands
-  Adjacent Lands
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

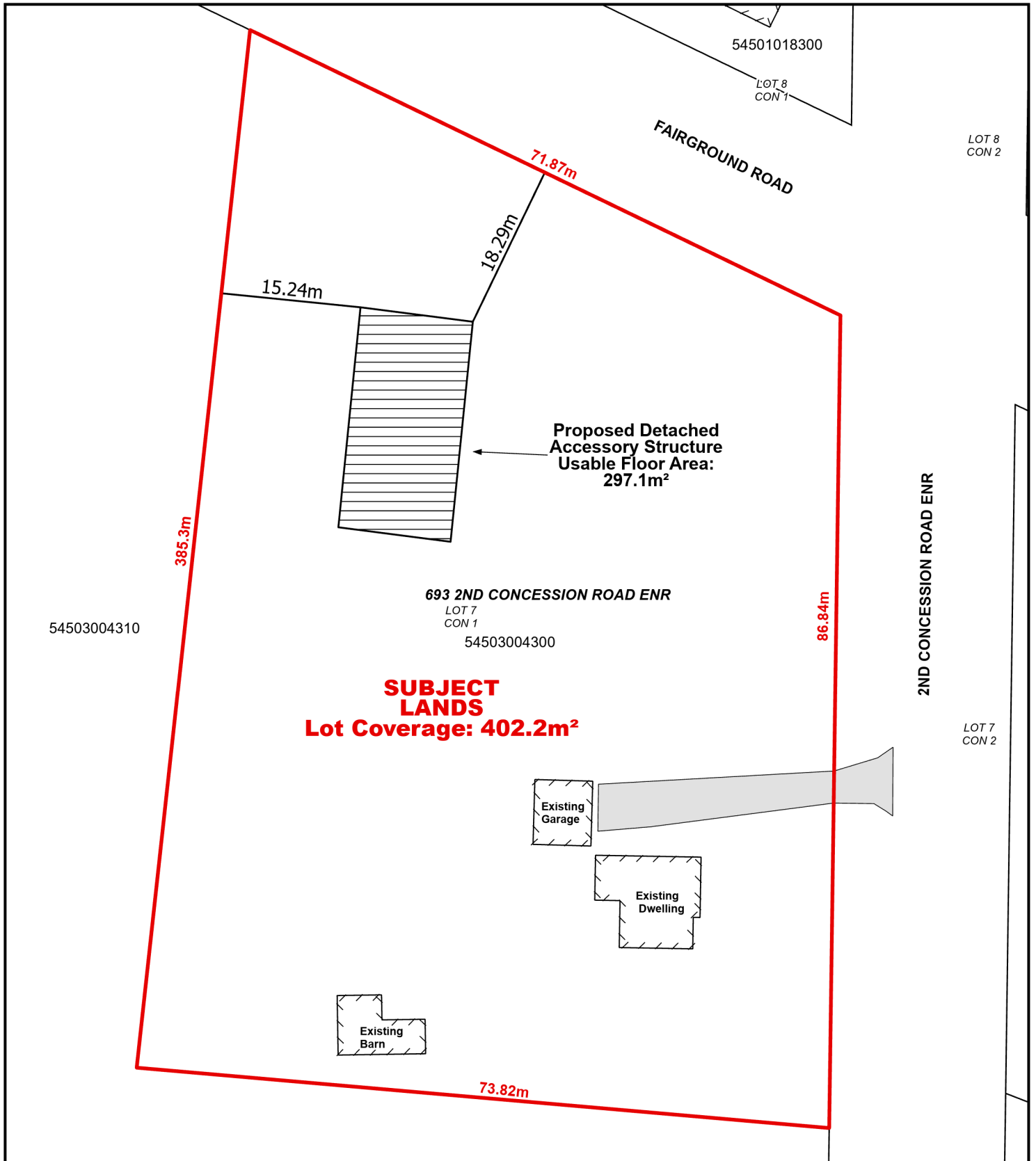
5/20/2025

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



CONCEPTUAL PLAN

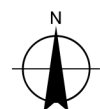
Geographic Township of HOUGHTON



Legend

Subject Lands

5/20/2025



4.52.25 0 4.5 9 13.5 18 Meters