

For Office Use Only:

| | | | |
|--------------------------|-------|-----------------------------|-------|
| File Number | _____ | Application Fee | _____ |
| Related File Number | _____ | Conservation Authority Fee | _____ |
| Pre-consultation Meeting | _____ | Well & Septic Info Provided | _____ |
| Application Submitted | _____ | Planner | _____ |
| Complete Application | _____ | Public Notice Sign | _____ |

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310 493 11024 9000000

A. Applicant Information

Name of Owner

MICHAEL & TRACY TRAVIS

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address

131 CEDAR DRV.

Town and Postal Code

TURKEY POINT NOE 1T0

Phone Number

519 670 0043

Cell Number

Email

goblackhawks10@yahoo.com

Name of Applicant

MIKE TRAVIS

Address

SAME AS ABOVE

Town and Postal Code

SAME AS ABOVE

Phone Number

SAME AS ABOVE

Cell Number

SAME AS ABOVE

Email

SAME AS ABOVE

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

(B) Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

CHR PLAN 117 LOT 2 PART LOT 3
RP 37R8669 PART 1 & 2 TURKEY POINT

Municipal Civic Address: 131 CEDAR DRV. TURKEY POINT ON.

Present Official Plan Designation(s): _____

Present Zoning: Resort Res

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

VACANT LAND

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

DOUBLE CAR GARAGE 24' X 24' (53.5 SQ/M)
IT WILL BE RETAINED, 1 STOREY WITH .6 M SIDE SET BACK
1.2 M REAR SET BACK. BUILDING HEIGHT IS 4.572 M.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

NEW SINGLE FAMILY HOME / STRUCTURAL PLANS
HAVE BEEN UPLOADED TO PORTAL INCLUDING DECKS

7. Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9 Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

| | Existing | Permitted | Provision | Proposed | Deficiency |
|--------------|-------------|-------------|------------------------|-------------|-------------------|
| Lot frontage | 12.192 M | | | | |
| Lot depth | 43.891 M | | | | |
| Lot width | 12.192 M | | | | |
| Lot area | 536.60 SQ M | | | | |
| Lot coverage | | 89.075 SQ M | LOT COVERAGE STRUCTURE | 162.25 SQ M | 73.18 SQ M RELIEF |
| Front yard | | | | | |
| | | | REAR DECK 2 M FROM | | 0.8 |

- 0.8m for height of rear deck 1.2m is permitted for total height of 2m rear deck height in the Resort Residential Zone
- 1.8m relief of right interior side yard setback 3m permitted for total right interior side yard setback of 1.2m in the Resort Residential Zone
- .02m relief of exterior side yard setback 3.07 m permitted for a total exterior side yard setback of 3.9m in the Resort Residential Zone
- 13.64% for relief of lot lot coverage 16.6% permitted for a total lot coverage of 30.24% in the Resort Residential Zone.

| yard | Existing | Permitted | Provision | Proposed | Deficiency |
|---------------------------------|----------|-----------|-------------------------------------|----------|--------------|
| Exterior side yard (corner lot) | | 3.07 M | DECK EXTEND PAST EXTERIOR SIDE YARD | 3.09 M | .02 M RELIEF |
| Parking Spaces (number) | | | | | |
| Aisle width | | | | | |
| Stall size | | | | | |
| Loading Spaces | | | | | |
| Other | | | | | |

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

House - WAS DESTROYED BY FIRE, IT IS OUR PRIMARY RESIDENCE AND WE'RE TRYING TO REBUILD AS CLOSE TO ORIGINAL AS POSSIBLE

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____
Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____
Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____
Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

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Roll Number: _____
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Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

Owner Knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

Yes

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells

- Communal wells
- Other (describe below)

PRIVATE WATER (LAKEVIEW WATER SYSTEMS)

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

NEW SEPTIC TO BE INSTALLED

Storm Drainage

- Storm sewers
- Other (describe below)
- Open ditches

NO STORM SEWERS

2. Existing or proposed access to subject lands:

- Municipal road
- Provincial highway
- Unopened road
- Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, may also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

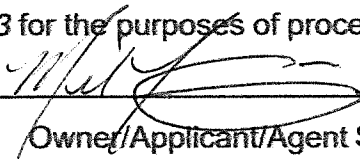
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

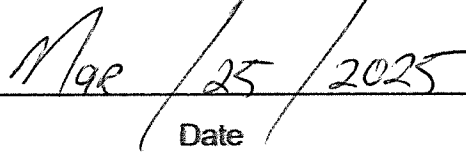
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



K. Declaration

I, MICHAEL TRAVIS of TURKEY POINT
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

TURKEY POINT


Owner/Applicant/Agent Signature

In ONTARIO CANADA

This 25th day of March

A.D., 20 25



Sherry Ann Mott, a
Commissioner, etc., Province of Ontario.
for the Corporation of Norfolk County.
Expires March 16, 2026.

A Commissioner, etc.

CEDAR DRV

LOT LINE

12.192M

VACANT LAND

LOT LINE

TURKEY POINT RD

43.891M

DRIVEWAY

DRIVEWAY

EXISTING GARAGE
4.572M IN HEIGHT

7.315M

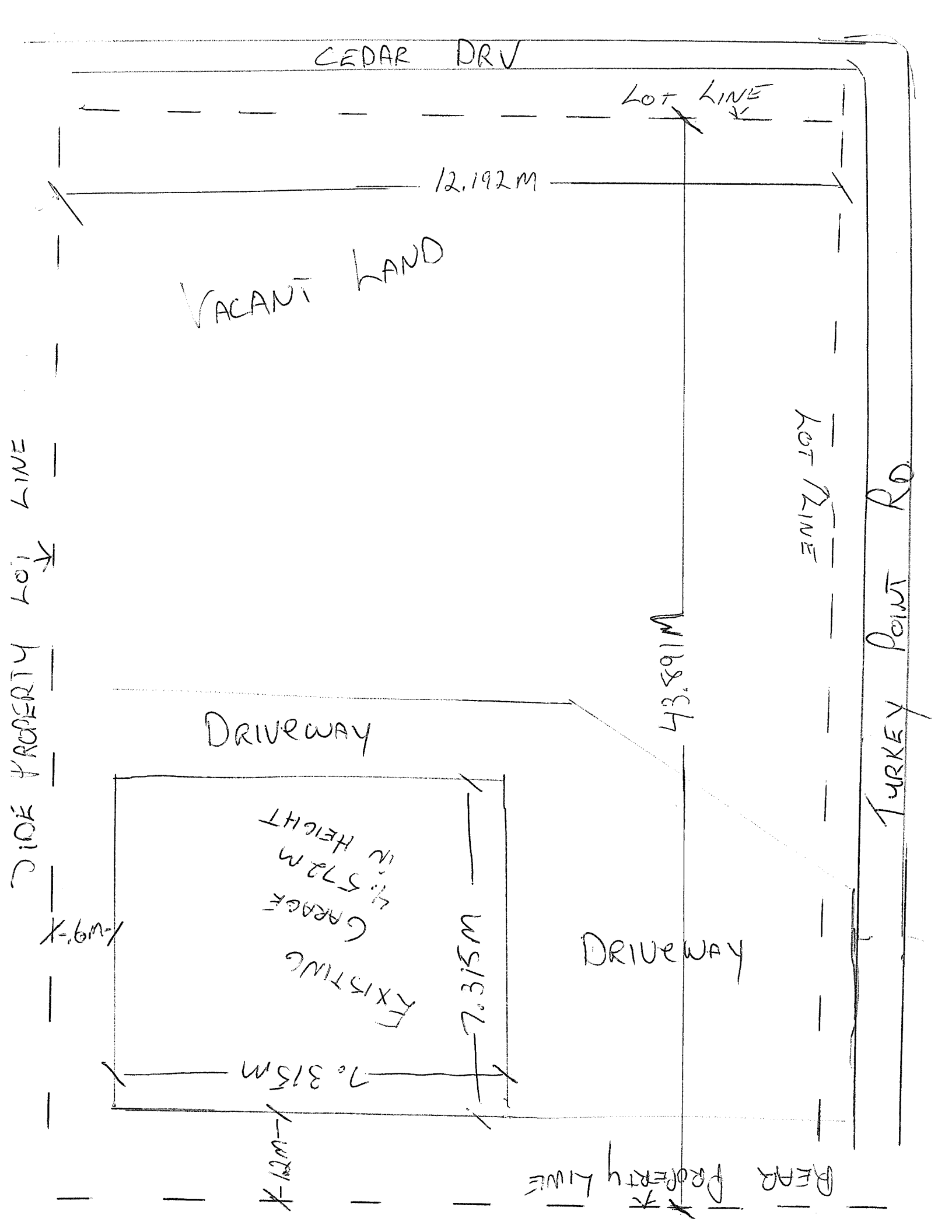
7.315M

BEAR PROPERTY LINE

DICK PROPERTY LOT LINE

1.49M

1.27M



Nov 15



P A R T 1

1

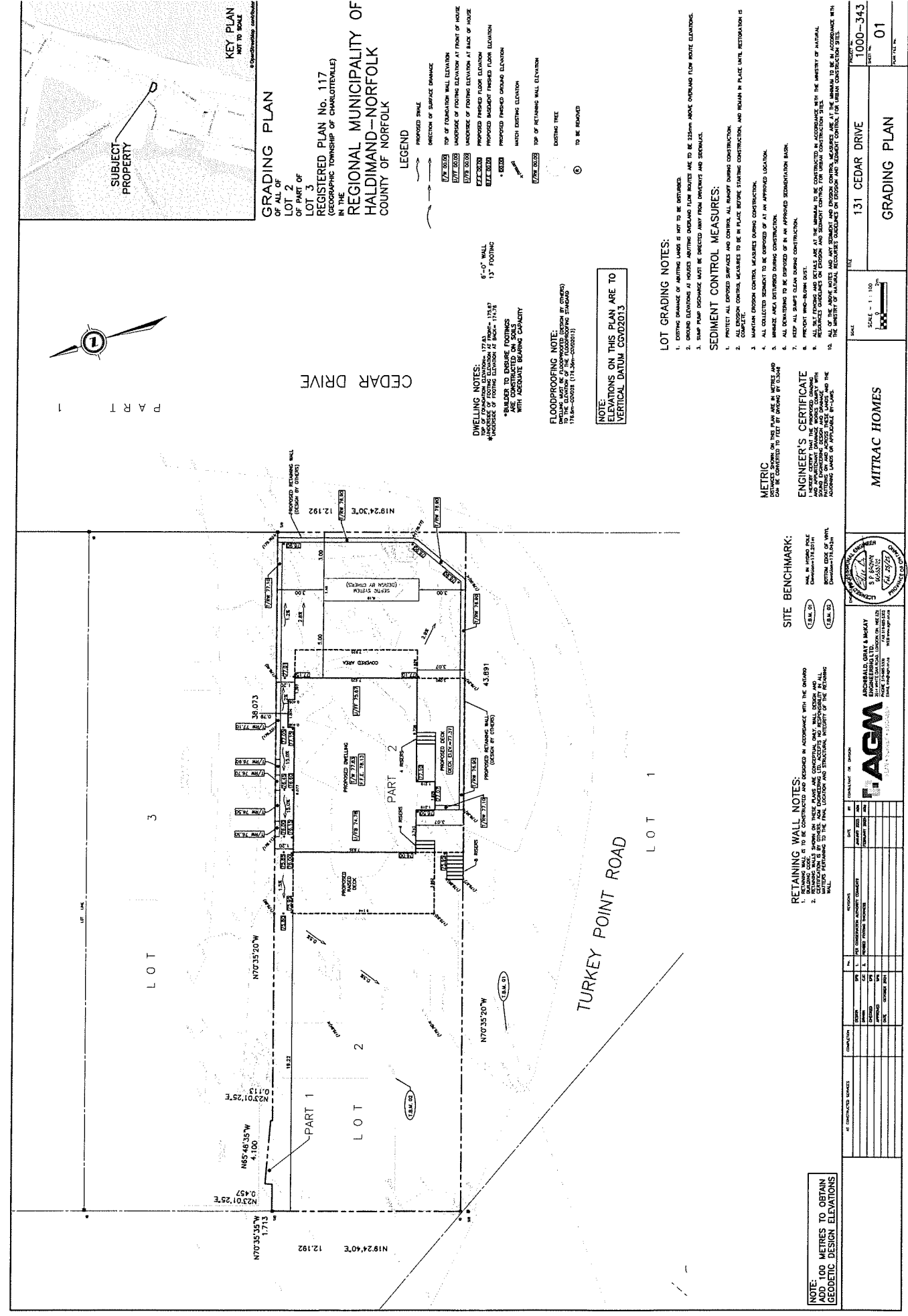
CEDAR DRIVE

LOT 3

LOT 2

LOT 1

TURKEY POINT ROAD



KEY PLAN
NOT TO SCALE

GRADING PLAN
of
LOT 2
of
PART of
LOT 3
REGISTERED PLAN No. 117
in the
REGIONAL MUNICIPALITY OF
HALDIMAND-NORFOLK
COUNTY OF NORFOLK

- LEGEND
- PROPOSED SHALE
 - DIRECTION OF SURFACE DRAINAGE
 - TOP OF FOUNDATION WALL ELEVATION
 - UNDERSIDE OF FOOTING ELEVATION AT FRONT OF HOUSE
 - UNDERSIDE OF FOOTING ELEVATION AT BACK OF HOUSE
 - PROPOSED PAVED DRIVE ELEVATION
 - PROPOSED PAVED SIDEWALK ELEVATION
 - PROPOSED PAVED GRADE ELEVATION
 - EXISTING ELEVATION
 - TOP OF RETAINING WALL ELEVATION
 - EXISTING TREE
 - TO BE PLANTED

DWELLING NOTES:
1. 6'-0" WALL
1.5' FOOTING
*BUILDER TO ENSURE FOOTINGS
WITH ADEQUATE BEARING CAPACITY

FLOODPROOFING NOTE:
DRAINAGE MOST BE FLOODPROOFED (ORDER BY OTHERS)
174.8m - 0.0000 (174.8m - 0.0000)

NOTE:
ELEVATIONS ON THIS PLAN ARE TO
VERTICAL DATUM CGVD2013

LOT GRADING NOTES:
1. EXISTING GRADE OF EXISTING LOTS IS NOT TO BE DISTURBED.
2. GRADE ELEVATIONS AT HOUSES AND DRIVEWAYS ARE TO BE 250mm ABOVE OVERLAND FLOW ROUTE ELEVATIONS.
3. SWAMP PUMP DISCHARGE MUST BE DIRECTED AWAY FROM DRIVEWAYS AND SIDEWALKS.

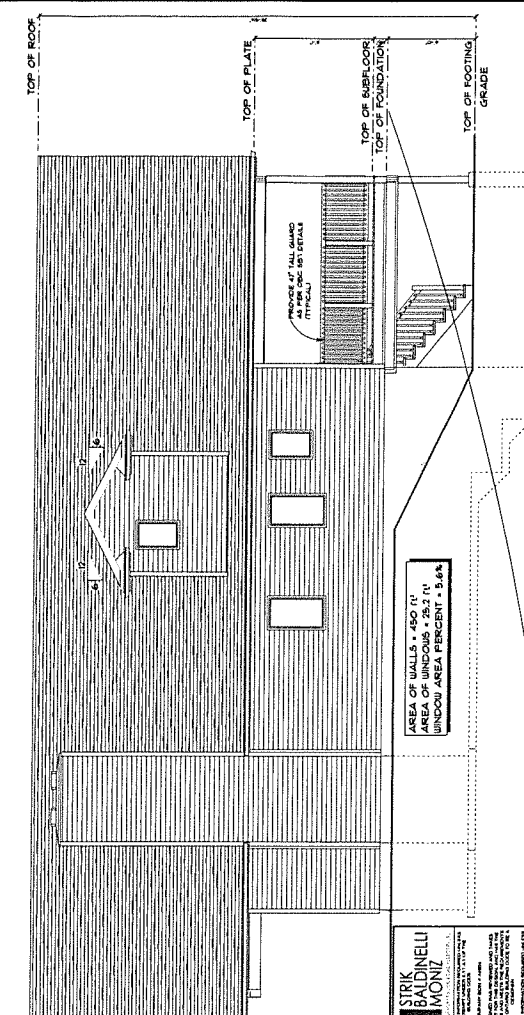
SEDIMENT CONTROL MEASURES:
1. PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION, AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.

METRIC
METRIC SHALL BE USED THROUGHOUT THE PROJECT. ALL DIMENSIONS SHALL BE IN METRES UNLESS OTHERWISE SPECIFIED.
ENGINEER'S CERTIFICATE
I, THE ENGINEER, HEREBY CERTIFY THAT THE PROPOSED GRADING AND SEDIMENT CONTROL MEASURES ARE IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF CONSTRUCTION ACT AND THE REGULATIONS MADE THEREUNDER AND THE ADDRESSING WAIVER OF APPLICABLE BY-LAW.

RETAINING WALL NOTES:
1. RETAINING WALL IS TO BE CONSTRUCTED AND FINISHED IN ACCORDANCE WITH THE GRADING AND SEDIMENT CONTROL MEASURES.
2. CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE REGULATION OF CONSTRUCTION ACT AND THE REGULATIONS MADE THEREUNDER AND THE ADDRESSING WAIVER OF APPLICABLE BY-LAW.

NOTE:
ADD 100 METRES TO OBTAIN
GEODETIC DESIGN ELEVATIONS

| SCALE: 1:100 | | 131 CEDAR DRIVE | | PROJECT NO. 1000-343 | | | | | | | | |
|---|------|--|-----------|----------------------|-----------|--|--|--|--|--|--|--|
| MITRAC HOMES | | GRADING PLAN | | SHEET NO. 01 | | | | | | | | |
| | | | | | | | | | | | | |
| <p>AGM ARCHIBALD, GRAY & BUCKLEY ENGINEERS LTD. 1000-343 131 CEDAR DRIVE NORFOLK, ONTARIO</p> | | <p>DATE: _____ BY: _____ CHECKED BY: _____ DATE: _____</p> | | | | | | | | | | |
| <p>COMPARISON</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | | NO. | DATE | BY | REVISIONS | | | | | <p>DATE: _____ BY: _____ CHECKED BY: _____ DATE: _____</p> | | |
| NO. | DATE | BY | REVISIONS | | | | | | | | | |
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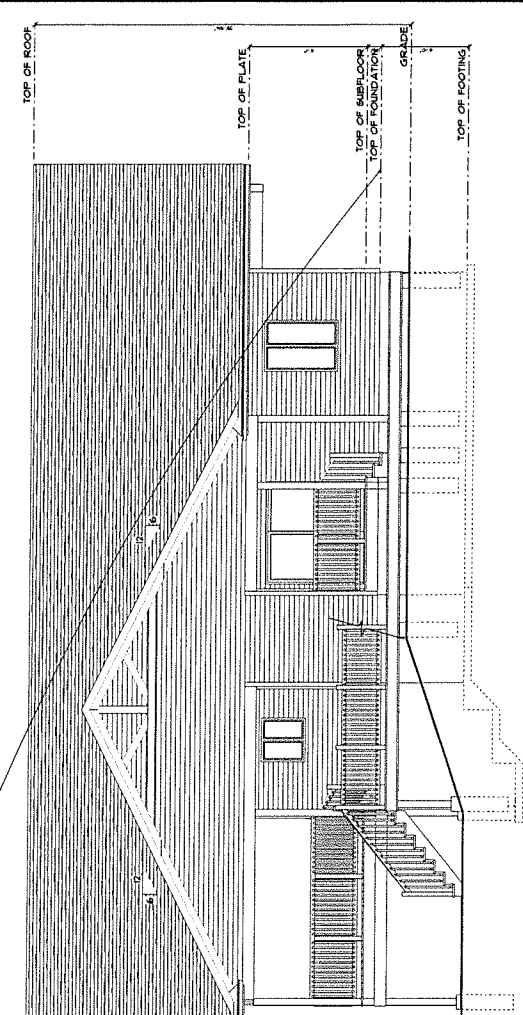
AREA OF WALLS = 450.71'
 AREA OF WINDOWS = 25.21'
 WINDOW AREA PERCENT = 5.6%

NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

TOTALS
 WALL AREA = 2095S0FT
 WINDOW AREA = 331.85S0FT
 TOTAL % = 15.7%

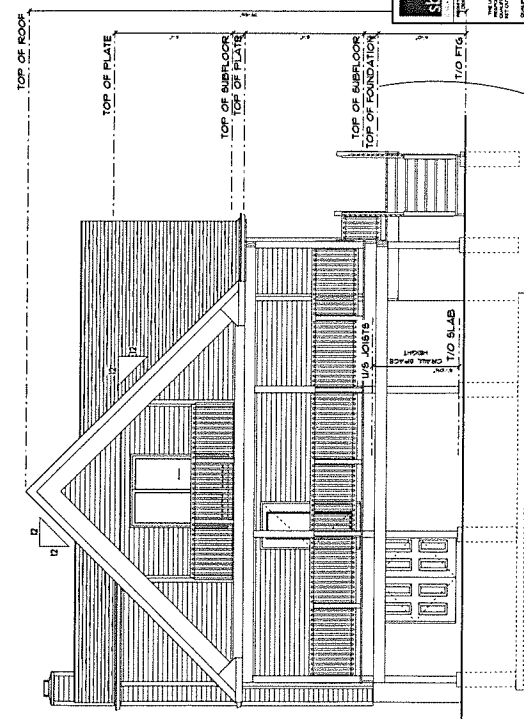
NOTES:
 1. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" INSULATION.
 2. ALL WINDOWS TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" INSULATION.
 3. ALL ROOFING TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" INSULATION.
 4. ALL FLOORING TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" INSULATION.
 5. ALL CEILING TO BE FINISHED WITH 1/2" GYPSUM BOARD OVER 1/2" INSULATION.
 6. ALL EXTERIOR FINISHES TO BE AS SHOWN ON THE DRAWINGS.
 7. ALL INTERIOR FINISHES TO BE AS SHOWN ON THE DRAWINGS.
 8. ALL MECHANICAL, ELECTRICAL, AND PLUMBING TO BE AS SHOWN ON THE DRAWINGS.
 9. ALL STRUCTURAL ELEMENTS TO BE AS SHOWN ON THE DRAWINGS.
 10. ALL DIMENSIONS TO BE AS SHOWN ON THE DRAWINGS.
 11. ALL MATERIALS TO BE AS SHOWN ON THE DRAWINGS.
 12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 13. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING CODES AND REGULATIONS.
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 17. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HEALTH AND SAFETY CODES AND REGULATIONS.
 18. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACCESSIBILITY CODES AND REGULATIONS.
 19. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ENERGY CODES AND REGULATIONS.
 20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SUSTAINABILITY CODES AND REGULATIONS.

SIRIK BALDINELLI MONIZ
 ARCHITECTS
 1000 W. GULF BLVD., SUITE 100
 DUNEDIN, FL 33511
 (813) 255-1111
 www.sirikbaldinelimoniz.com



AREA OF WALLS = 530.71'
 AREA OF WINDOWS = 65.26'
 WINDOW AREA PERCENT = 12.3%

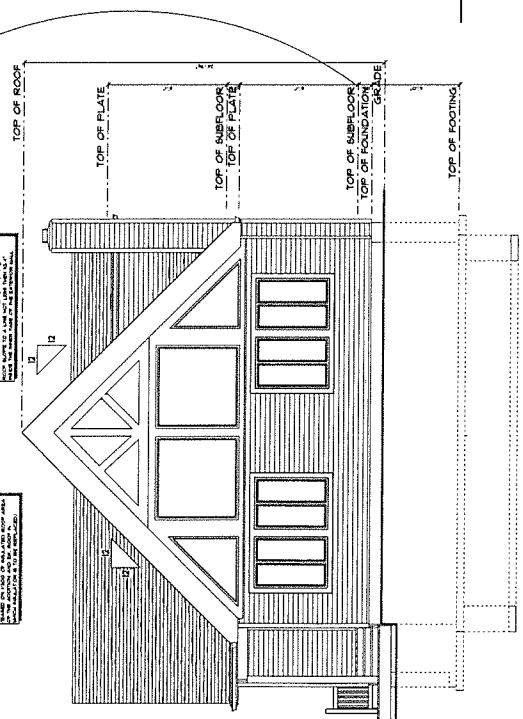
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



TOP OF FOUNDATION TO BE AT OR BELOW THE FLOORING STANDARD FINISH (S.F.) GRADE HEIGHT TO BE 5'-11" OR LESS

EAST ELEVATION
 SCALE: 1/4" = 1'-0"

AREA OF WALLS = 603.11'
 AREA OF WINDOWS = 61.31'
 WINDOW AREA PERCENT = 10.1%



AREA OF WALLS = 525.41'
 AREA OF WINDOWS = 93.11'
 WINDOW AREA PERCENT = 17.9%

WEST ELEVATION
 SCALE: 1/4" = 1'-0"

NOTES:
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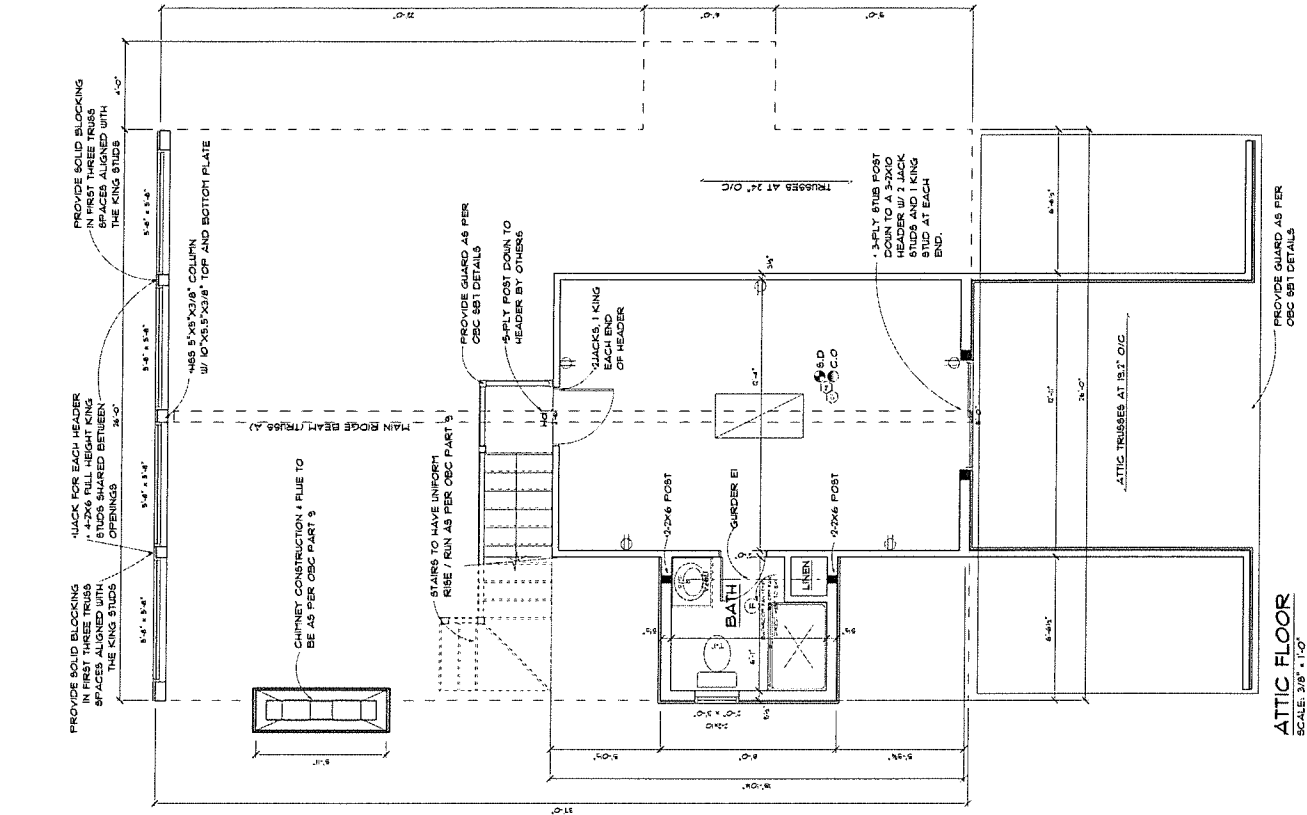
CHECKED BY: [Signature]
 APPROVED: [Signature]



SCALE: AS SHOWN
 DRAWN BY: [Signature]

Mike Travis
 PHONE: [Number]
 MOBILE: [Number]
 131 GARDEN DRIVE
 TWINBROOK, OHIO 43153

STINK BALDINELLI SD MONZ
 STRUCTURAL DESIGN
 10000 W. STATE ST. SUITE 100
 COLUMBUS, OHIO 43240
 (614) 291-1111
 www.stinkbaldinelli.com



ATTIC FLOOR
 SCALE: 3/8" = 1'-0"

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE PRIOR TO THE START OF WORK.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

11. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

14. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

15. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

16. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

17. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

20. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

21. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

22. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

23. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

26. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

27. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

28. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

29. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

30. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

32. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

33. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

34. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

35. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

36. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

37. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

38. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

TOP ELEVATION
 SCALE: 1/4" = 1'-0"

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE PRIOR TO THE START OF WORK.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

10. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

11. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

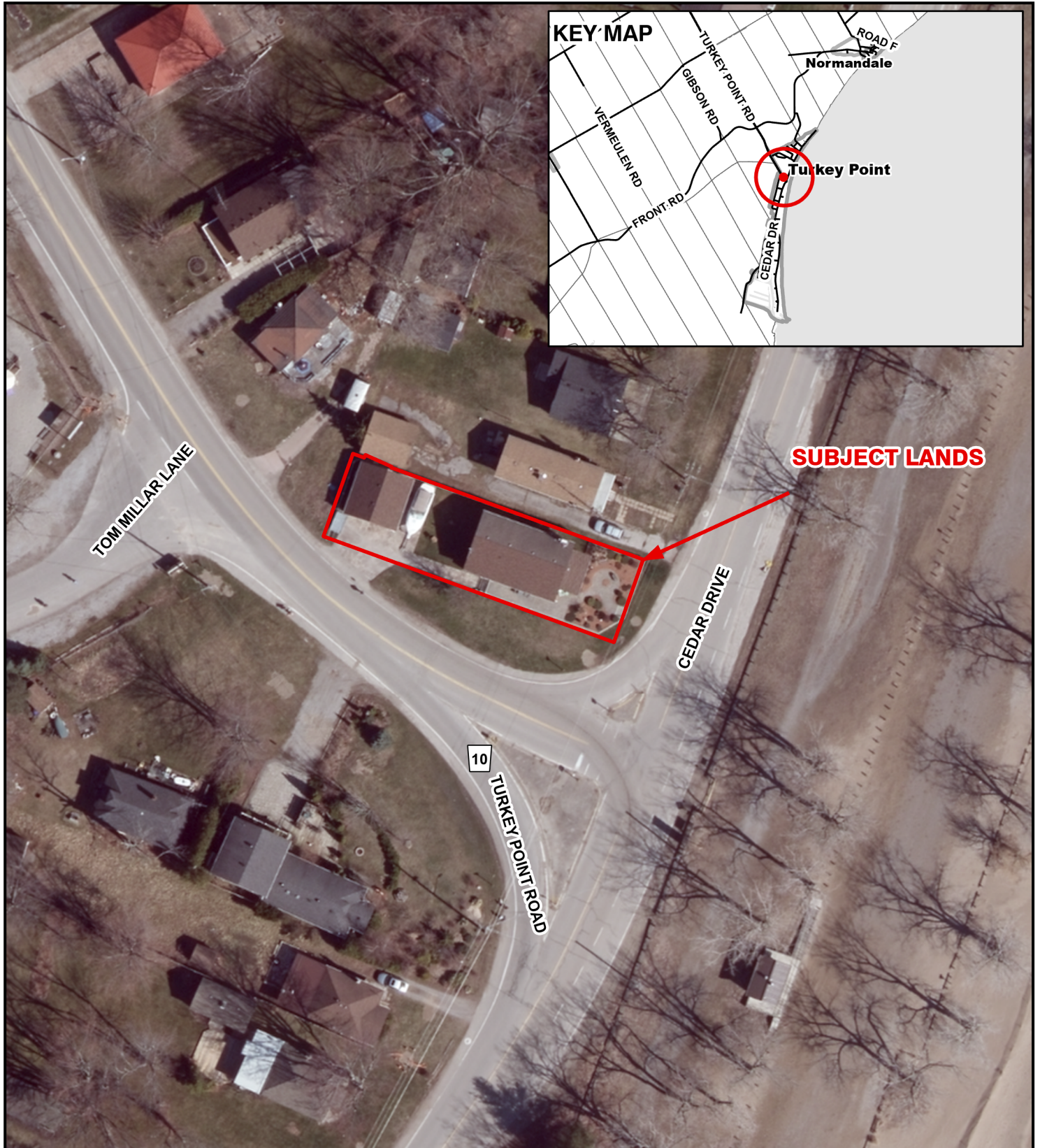
12. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.


14. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2025095



Legend

 Subject Lands

2020 Air Photo

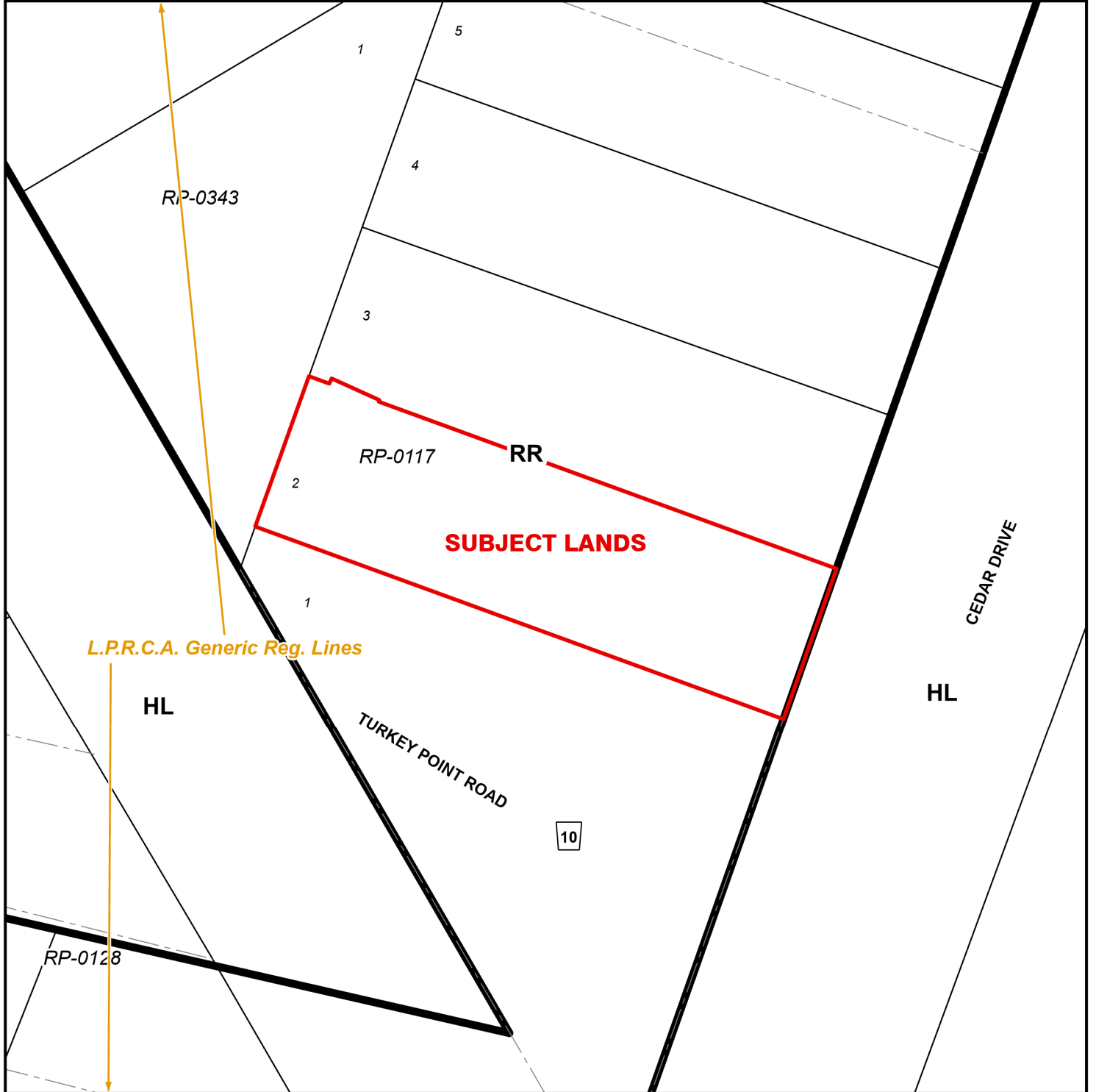
4/13/2025






6 3 0 6 12 18 24 Meters

MAP B
ZONING BY-LAW MAP
 Geographic Township of CHARLOTTEVILLE

ANPL2025095



LEGEND

-  Subject Lands
-  Adjacent Lands
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

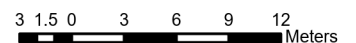
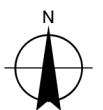
4/13/2025

(H) - Holding

Layer

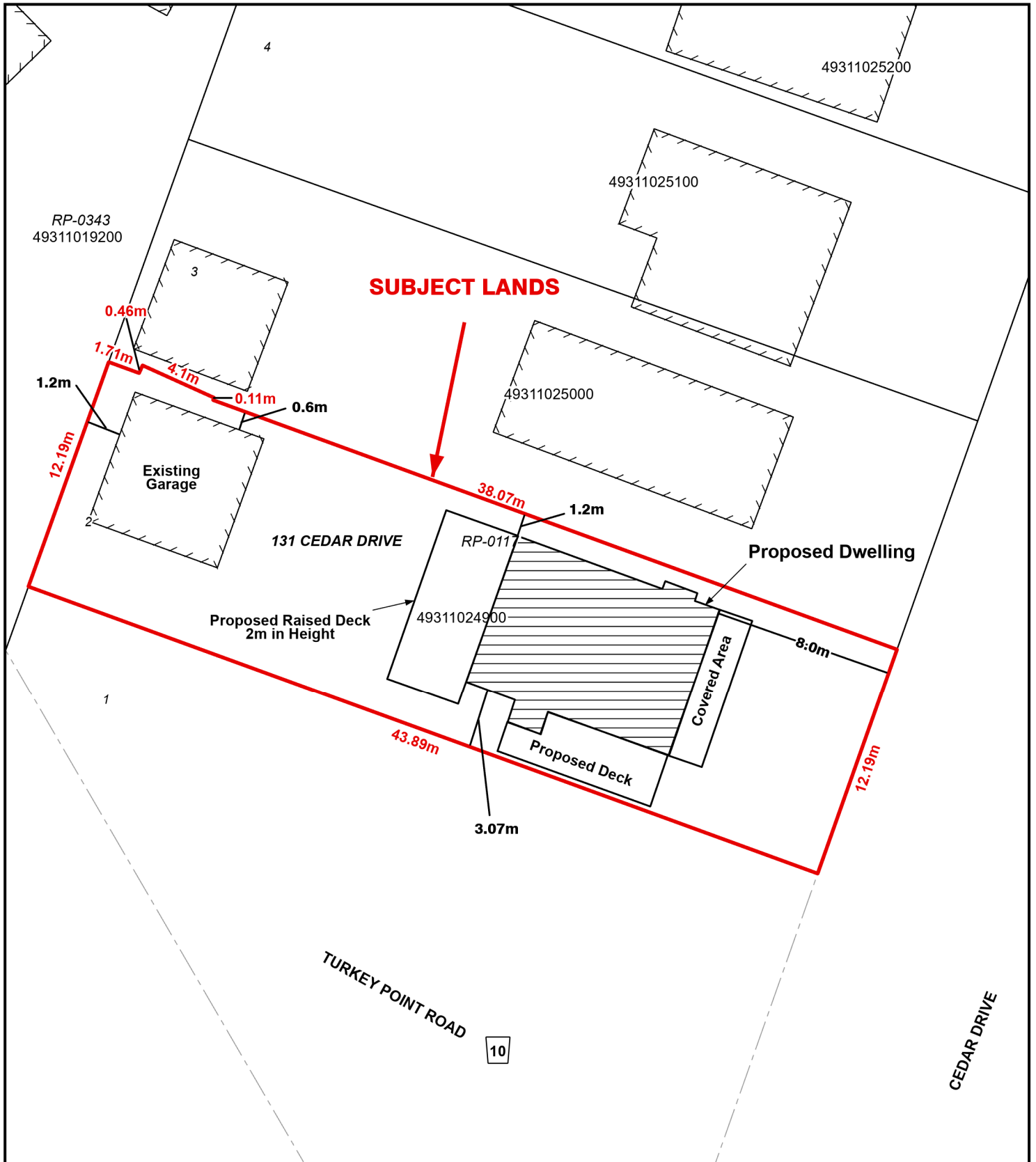
HL - Hazard Land Zone

RR - Resort Residential Zone



CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

Subject Lands

4/13/2025

