

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310-401-011-06800

A. Applicant Information

Name of Owner Antonella De Stasio

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 3 Frontier Trail

Town and Postal Code Waterdown, ON L8B 1Y7

Phone Number _____

Cell Number 416-838-6377

Email destasio.imperium@gmail.com

Name of Applicant Agent

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent David McPherson

Address 8 Culver Lane

Town and Postal Code Simcoe, ON N3Y 5C8

Phone Number _____

Cell Number 519-427-6483

Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 7 Blk 101 Plan 182

Municipal Civic Address: 100 Colborne Street South, Simcoe

Present Official Plan Designation(s): Urban Residential

Present Zoning: R2

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Residential



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing is a two storey semi-detached dwelling. Building is shown on the attached site plan.

Existing dwelling is about 144 sq.m.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a basement ADU of about 45 sqm.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50 years

9. Existing use of abutting properties:

residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	15.3m			15.3m	
Lot depth	23.9m			23.9m	
Lot width	15.3m			15.3m	
Lot area	365.67 sqm			365.67 sqm	
Lot coverage					
Front yard	6.1m			6.1m	
Rear yard	0.85m			0.85m	
Height	6.8m			6.8m	
Left Interior side yard	1.07m			1.07m	
Right Interior side yard	1.25m			1.25m	
Exterior side yard (corner lot)	1.07m			1.07m	
Parking Spaces (number)	3	5	4.9 a) & e)	3	2
Aisle width					
Stall size	1 parking space is undersized	3m x 5.8m	4.1.3 b)	3m x 3.28m	2.52m of length
Loading Spaces					
Other	40% front yd landscape	50%	4.2.5 b)	40%	10%

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

This dwelling is in an older section of town, the building covers the buld of the lot making the provision of parking spaces difficult.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a
Depth:
Width:
Lot Area:
Present Use:
Proposed Use:

Proposed final lot size (if boundary adjustment):
If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage:
Depth:
Width:
Lot Area:
Present Use:
Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a
Depth:



Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____



Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

Storm Drainage

- Storm sewers
- Other (describe below)
- Open ditches

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

Colborne Street South and Chapel Street

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

David McPherson
Owner/Applicant/Agent Signature

Feb 27/25
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Antonella De Stasio am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Antonella De Stasio
Owner

Feb - 27 - 2025
Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

12 Gilbertson dr



Owner/Applicant/Agent Signature

In Norfolk County

This 28 day of Feb

A.D., 2025



A Commissioner, etc.

Sherry Lorianne Vanchik, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 24, 2028.

**Premise and Justification of
Minor Variance Application
for 98-100 Colborne St., S., Simcoe**

Situate on this property is a semi-detached house recently renovated by building permit PRBD20212199. The owners now propose an Accessory Residential Dwelling Unit in the basement of the existing building.

The proposed Accessory Residential Dwelling Unit is a permitted use. However, the Building Department is insistent on the full provision of the required parking compliment. Two parking spaces are required for each unit of the semi-detached and one parking space is required for the Accessory Residential Dwelling Unit, bringing the total required number of parking spaces to five. Only three are provided, one of which is marginally undersized.

This application seeks relief of two parking spaces from the total required parking spaces of five, to permit three parking spaces. The application also seeks relief of 2.52m of length from the required parking space length of 5.8m, to permit one parking space with a length of 3.28m. Finally, the application seeks relief of 10% from the required 50% front yard landscape requirement to permit 40% of the front and exterior side yard to be landscaped.

This semi-detached dwelling resides in an older part of the downtown core fringe, consisting of smaller lots housing aged dwellings. Until the recent renovation, only one parking space was provided for the dwelling, the undersized space off Chapel Street. During renovation, the owners obtained Entrance Permit 2022-0160 to construct a new entrance off Colborne Street and provided 2 additional parking spaces. However, the provision of these two new parking spaces reduced the required front yard landscaping requirement from 50% to 40%.

A Site Plan shows the existing parking and landscaping is attached.

This proposal has regard for Section 2 of the Planning Act.

This proposal has regard for policies 2.1.4, 2.1.6, 2.2.1, and 2.3.1 of the Provincial Planning Statement. In particular, the Provincial Planning Statement promotes general intensification and redevelopment to support a range and mix of housing options. The proposed Accessory Residential Dwelling Unit fulfills the intensification and redevelopment target in so far as this property is concerned.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Urban Residential in the Norfolk County Official Plan. Both semi-detached dwellings and Accessory Residential Dwelling Units are permitted within the Urban Residential Designation. Therefore, this application conforms to the Norfolk County Official Plan.

Norfolk County Zoning By-law 1-Z-2014

Zoning By-law 1-Z-2014 zones the property R2. Articles 5.2.1 b) permits a semi-detached dwelling and 5.2.1 g) permits an Accessory Residential Dwelling Unit. Therefore, this application conforms to the Norfolk County Zoning By-law.

Is the Variance Desirable and Appropriate

This building has existed as a semi-detached dwelling for well over 75 years. Up until the building was renovated in 2021, only one parking space was provided and that was undersized by today's standards. In 2022, two new parking spaces were added off of Colborne Street to improve the parking situation for the dwelling. The parking situation is comparable with and compatible with existing uses in the neighborhood. This proposal is an improvement of the property, promotes the Provincial goal of intensification and is a desirable and an appropriate reflection of the existing Colborne Street and Chapel Street streetscape

Is the Variance Minor in Nature

The application is minor in nature because the parking requirements for the semi-detached dwelling were improved upon in 2022 by the provision of two new spaces, the undersized parking space off Chapel Street has existed for 75 plus years, and Colborne Street, South hosts four traffic lanes, two of which are dedicated to street parking and two are used by vehicular traffic. The provision of downtown core housing in which personal services and shopping can be accessed by short walks reduce the necessity for the on-site provision of parking. The reduction in front yard landscaping by only 10% is minor.

Conclusion

The requested relief of two parking spaces, a slightly reduced space length, and a modest reduction in front yard landscaping is minor in nature, appropriate for the neighborhood, compatible with the existing streetscape, supported by the Provincial Planning Statement, and generally meets the intent of the Norfolk County Official Plan, and the Norfolk County Zoning By-law.

David McPherson

SITE INFORMATION & STATISTICS

ADDRESS	100 COLBORNE STREET SOUTH - SIMCOE - ON.
ZONING TYPE	R2
LOT AREA	3936 SQ FT (365.66 SQ M)
LOT FRONTAGE	50.19' (15.30m)

GENERAL NOTES:

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

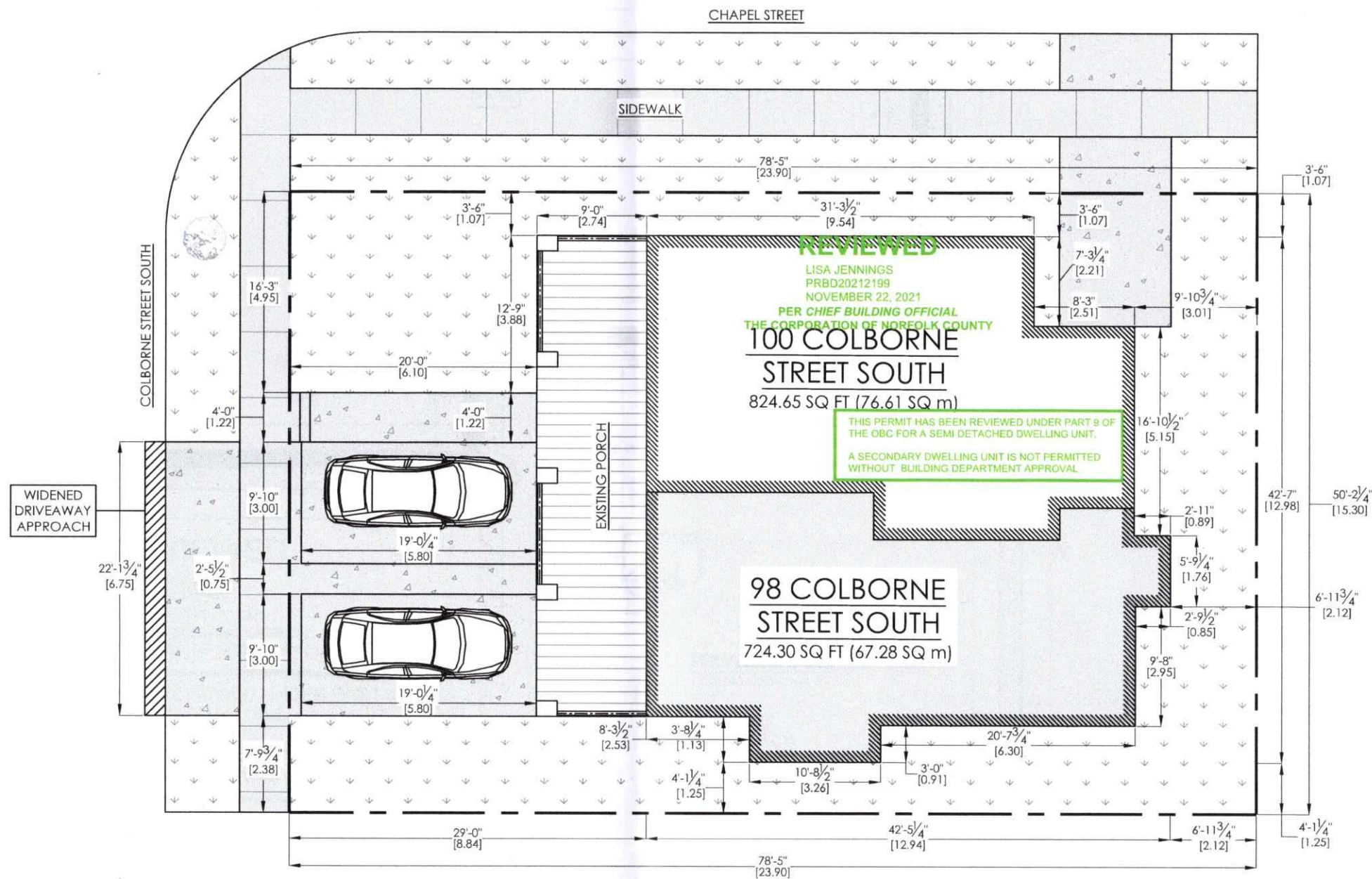
EXISTING STRUCTURE NOTE:

OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:

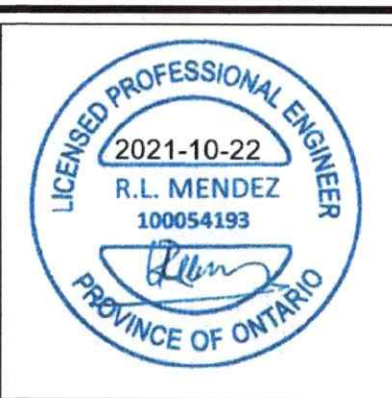
THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

ELETRONIC STAMP



SITE PLAN:

BASED ON SIMCOE SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SIMCOE MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES



LEAD DESIGNER & CONSULTANT

Ken Bekendam B.A. BUSCOM, L.T.
kenbekendam@gmail.com
office: 855.546.4467 cell: 905.961.0647

Legal Second Suites architectural and engineering services is owned by and operated in affiliation with King Homes, Inc.



NORTH POSITION:



ADDRESS: **100 COLBORNE STREET SOUTH - SIMCOE, ON.**

SUBJECT: **SITE PLAN**

PROJECT: **INTERIOR ALTERATIONS**

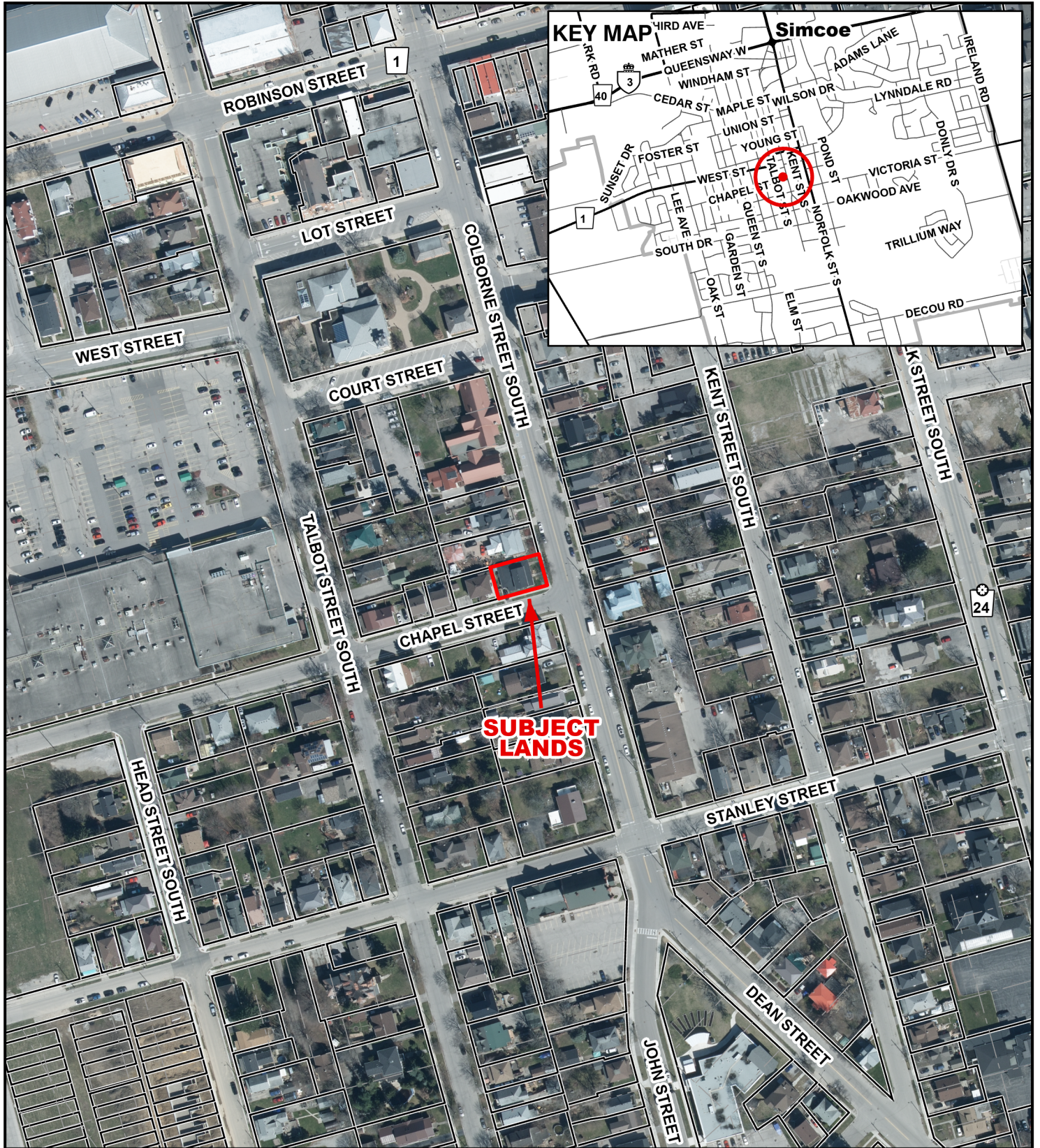
SCALE: **3/32" = 1'**

SHEET#: **SP 1.01**


DATE: **OCT. 2021**

MAP A
CONTEXT MAP
Urban Area of SIMCOE

ANPL2025069



Legend

 Subject Lands

2020 Air Photo

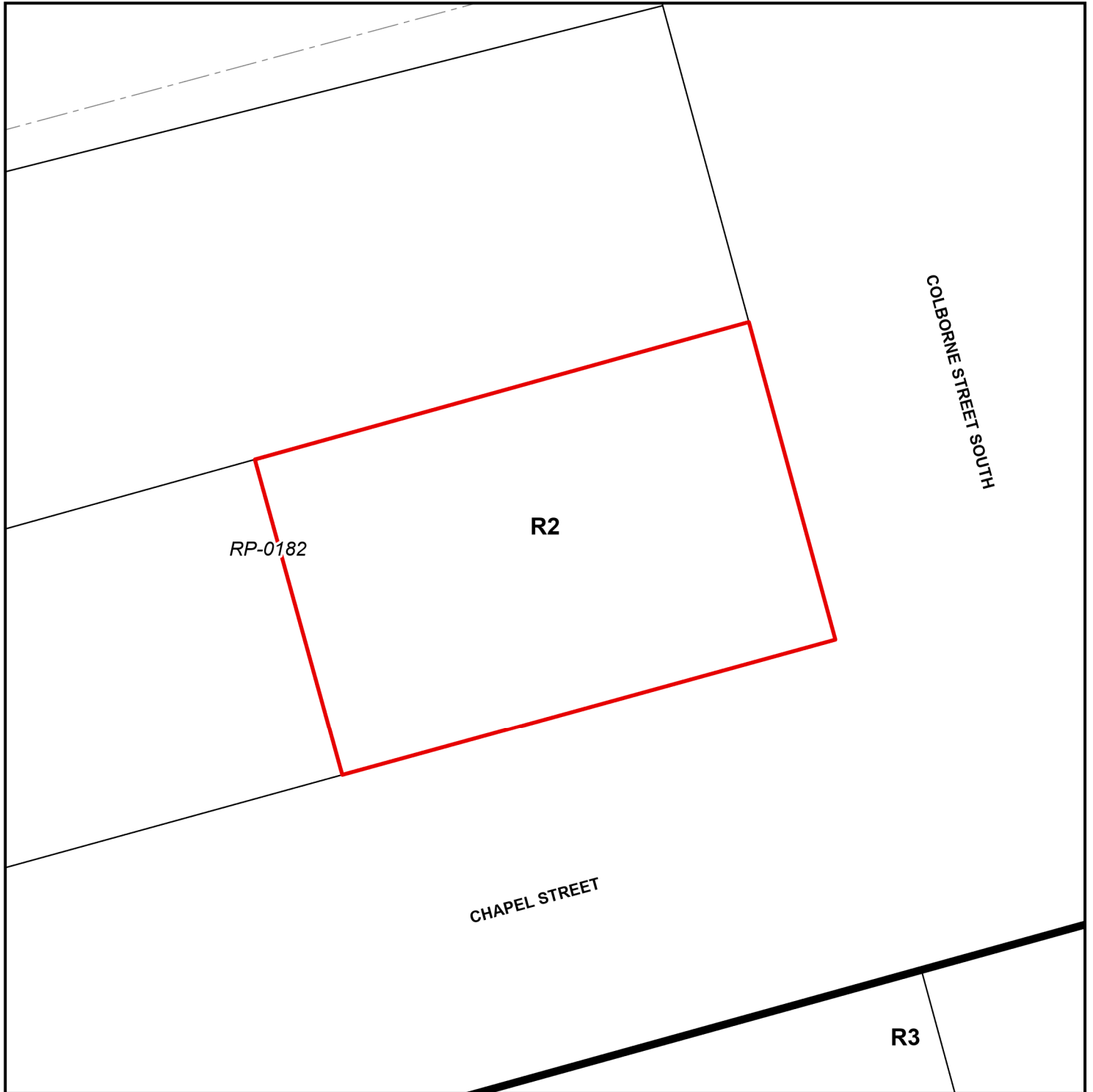
5/7/2025



105 0 10 20 30 40
Meters

MAP B
ZONING BY-LAW MAP
Urban Area of SIMCOE

ANPL2025069



RP-0182

R2

COLBORNE STREET SOUTH

CHAPEL STREET

R3

LEGEND

 Subject Lands

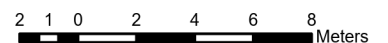
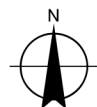
ZONING BY-LAW 1-Z-2014

5/7/2025

(H) - Holding

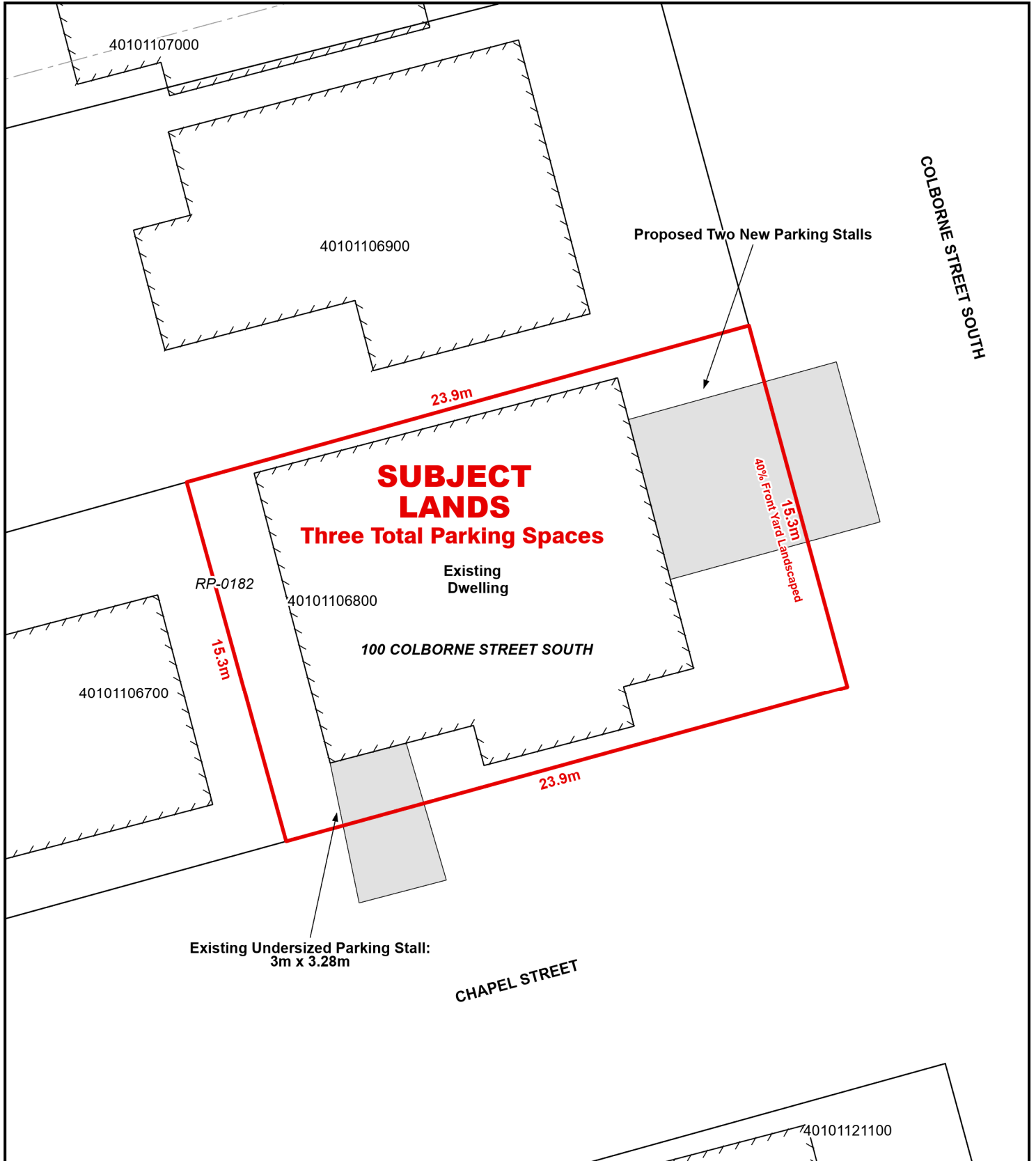
R2 - Residential R2 Zone

R3 - Residential R3 Zone




CONCEPTUAL PLAN

Urban Area of SIMCOE



Legend

 Subject Lands

5/7/2025

