

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310-336-010-00200

A. Applicant Information

Name of Owner Tom Komienski

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1877 Windham Road 2

Town and Postal Code Scotland, ON N0E 1R0

Phone Number _____

Cell Number 519-750-3688

Email komienske@outlook.com

Name of Applicant Agent

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent David McPherson

Address 8 Culver Lane

Town and Postal Code Simcoe, ON N3Y 5C8

Phone Number _____

Cell Number 519-427-6483

Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 2 Concession 1 Townsend

Municipal Civic Address: 311 Jenkins Road

Present Official Plan Designation(s): Agricultural

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Residential and Agricultural

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Vacant farm land

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a 2 storey single family dwelling of some 400 sqm and a 2 storey detached garage of some 480 sqm of "usable floor area".

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

100 years

9. Existing use of abutting properties:

agricultural and residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

House

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	620m	30m		620m	
Lot depth	666m			666m	
Lot width	620m			620m	
Lot area	98 acres			98 acres	
Lot coverage					
Front yard	145m	13m		145m	
Rear yard	508m	9m		508m	
Height	13.5m	11m		13.5m	2.5m
Left Interior side yard	147m	1.2m		147m	
Right Interior side yard	468m	1.2m		468m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

GARAGE

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	620m	30m		620m	
Lot depth	666m			666m	
Lot width	620m			620m	
Lot area	98 acres			98 acres	
Lot coverage					
Front yard	183m	13m		183m	
Rear yard	463m	9m		463m	
Height	10.5m	8m		10.5m	2.5m
Left Interior side yard	185m	1.2m		185m	
Right Interior side yard	453m	1.2m		453m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other	USABLE FLOOR AREA	200 sqm		480 sqm	280 sqm

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The house design has a very steep roof pitch which makes the height exceed the maximum.
The detached garage has a second storey which doubles the maximum permitted useable floor area. The steep roof pitch also exceeds the maximum building height.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____
If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____
Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a
Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells

- Communal wells
- Other (describe below)

Sewage Treatment

- Municipal sewers

- Communal system

- Septic tank and tile bed in good working order

- Other (describe below)

Storm Drainage

- Storm sewers
- Other (describe below)

- Open ditches

2. Existing or proposed access to subject lands:

- Municipal road

- Provincial highway

- Unopened road

- Other (describe below)

Name of road/street:

Jenkins Road

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

I. Transfers, Easements and Postponement of Interest

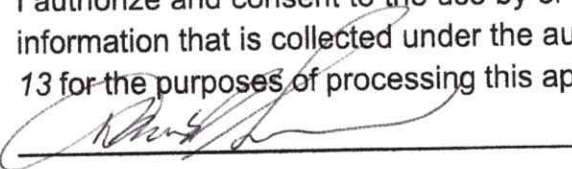
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

Feb 9, 2025

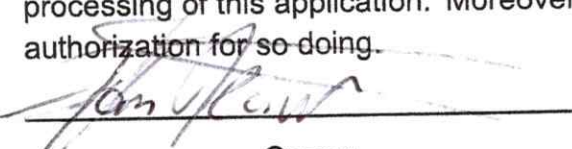
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Tom Kowalski am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

02/09/25

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.



K. Declaration

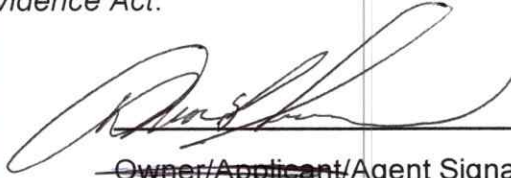
I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

12 Gilbertson dr



~~Owner/Applicant/Agent Signature~~

In Norfolk County

This 28 day of Feb

A.D., 2025

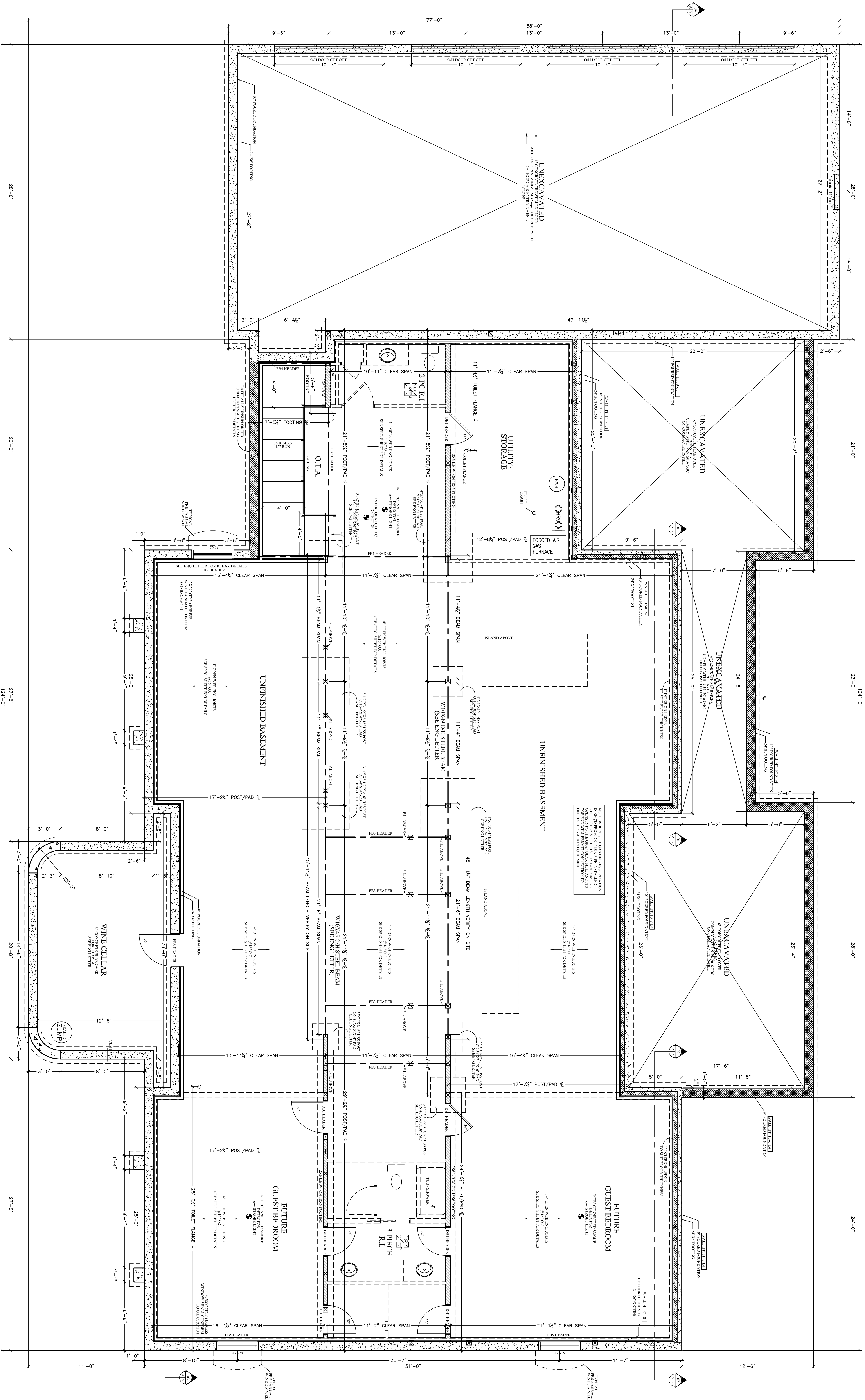


A Commissioner, etc.

Sherry Lorianne Vanchik, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 24, 2028.

FOUNDATION PLAN

Scale 1/4"=1'-0"



GENERAL NOTES:

- FOUNDATION PLAN NOTES:
1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
2. ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL (ASSUMED SOIL BEARING CAPACITY - 2500 P.S.F.)
3. APPROVED GRANULAR FILL SHALL BE COMPACTED IN 6" LAYERS TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED GRADE TO PROTECT FROM FROST ACTION.
5. CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa. ALL OTHER CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa UNLESS OTHERWISE SPECIFIED. (6% AIR / 4' SLUMP)
6. REINFORCING STEEL TO HAVE MINIMUM 1/2" COVER. MAXIMUM 2" COVER AT BOTTOM OF SLAB.

I review and take responsibility for the design work on behalf of a firm registered under subsection 217.4, of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

Tony Wall
BCRN: 22052

FLOOR	SQUARE FOOTAGE
MAIN FLOOR	4330 SQ.FT.
UPPER FLOOR	3002 SQ.FT.
GARAGE	1615 SQ.FT.

REV.#	DATE	DESCRIPTION:
1	11/28	CLIENT REVISIONS
2	11/28	CLIENT REVISIONS
3	11/28	CLIENT REVISIONS
4	11/28	CLIENT REVISIONS
1	11/02	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
Rt# 1 MORTBURWELL
SCOTTLAND, ON
TEL: 905-881-8888
FAX: 905-881-4887

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

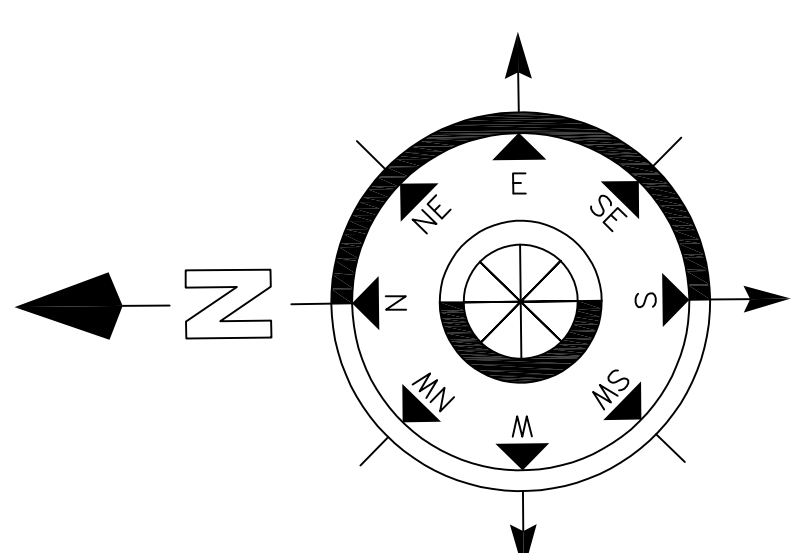
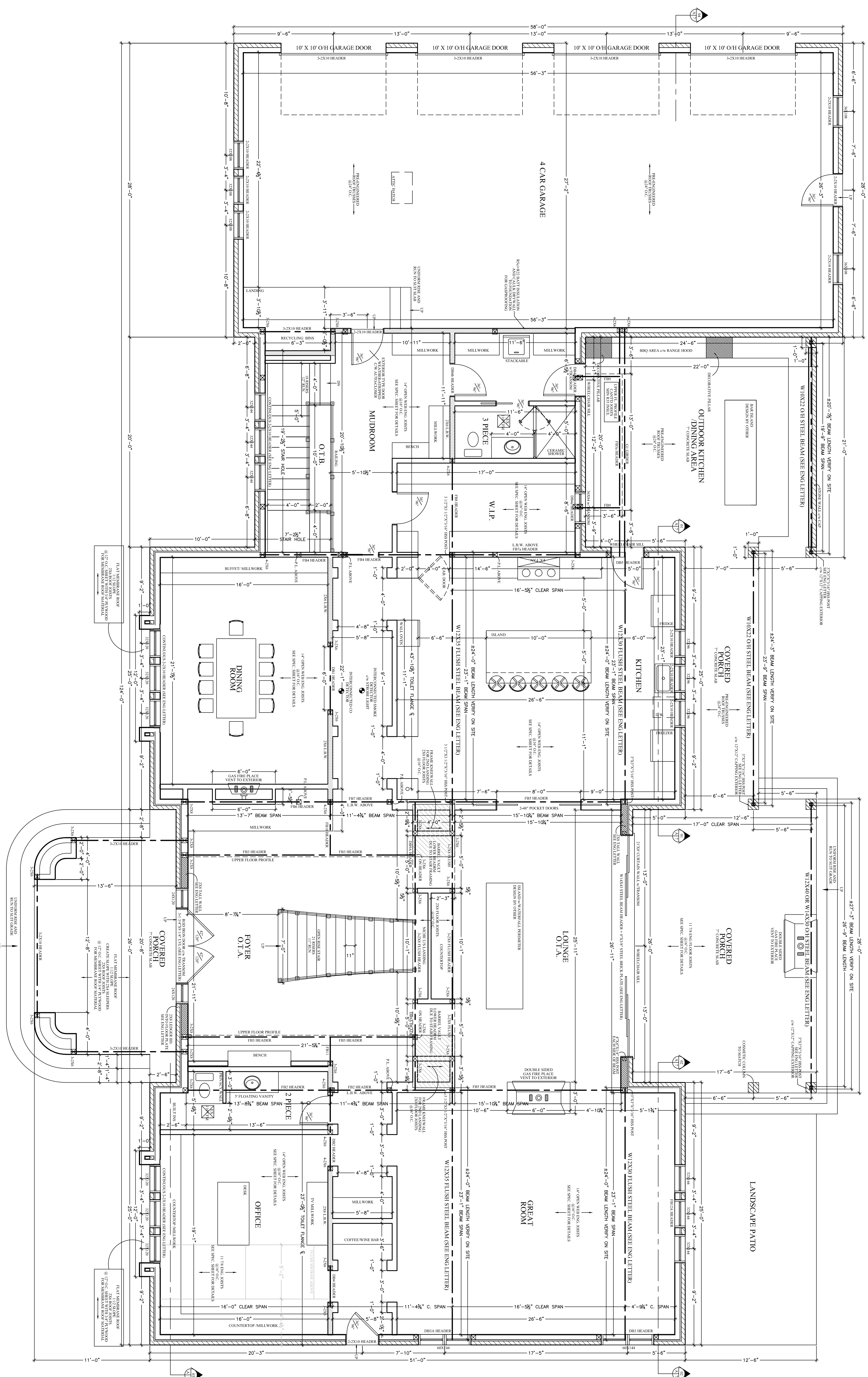
PROPOSED HOUSE PLANS
FOUNDATION PLAN

DRAWN BY: TONY WALL SCALE: SEE DWG
BCRN: 296630 PO#: 23232
DATE: NOVEMBER 2023
SHEET NO. 1 OF 8

A1

MAIN FLOOR PLAN

Scale 1/4" = 1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN: 22052

REV.#	DATE	DESCRIPTION:
1	11/02	PERMIT ISSUE
2	11/28	CLIENT REVISIONS
3		
4		

AREA	SQUARE FOOTAGE
MAIN FLOOR	4330 SQ.FT.
UPPER FLOOR	3002 SQ.FT.
GARAGE	1615 SQ.FT.

PROPERTY OF VIEW-IT DESIGN
VIEW-IT DESIGN
R#1 LPORTDUBWELL
JENKINS ROAD
SCOTTLAND, ON
TEL: 516-831-4887
FAX: 516-831-4887

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

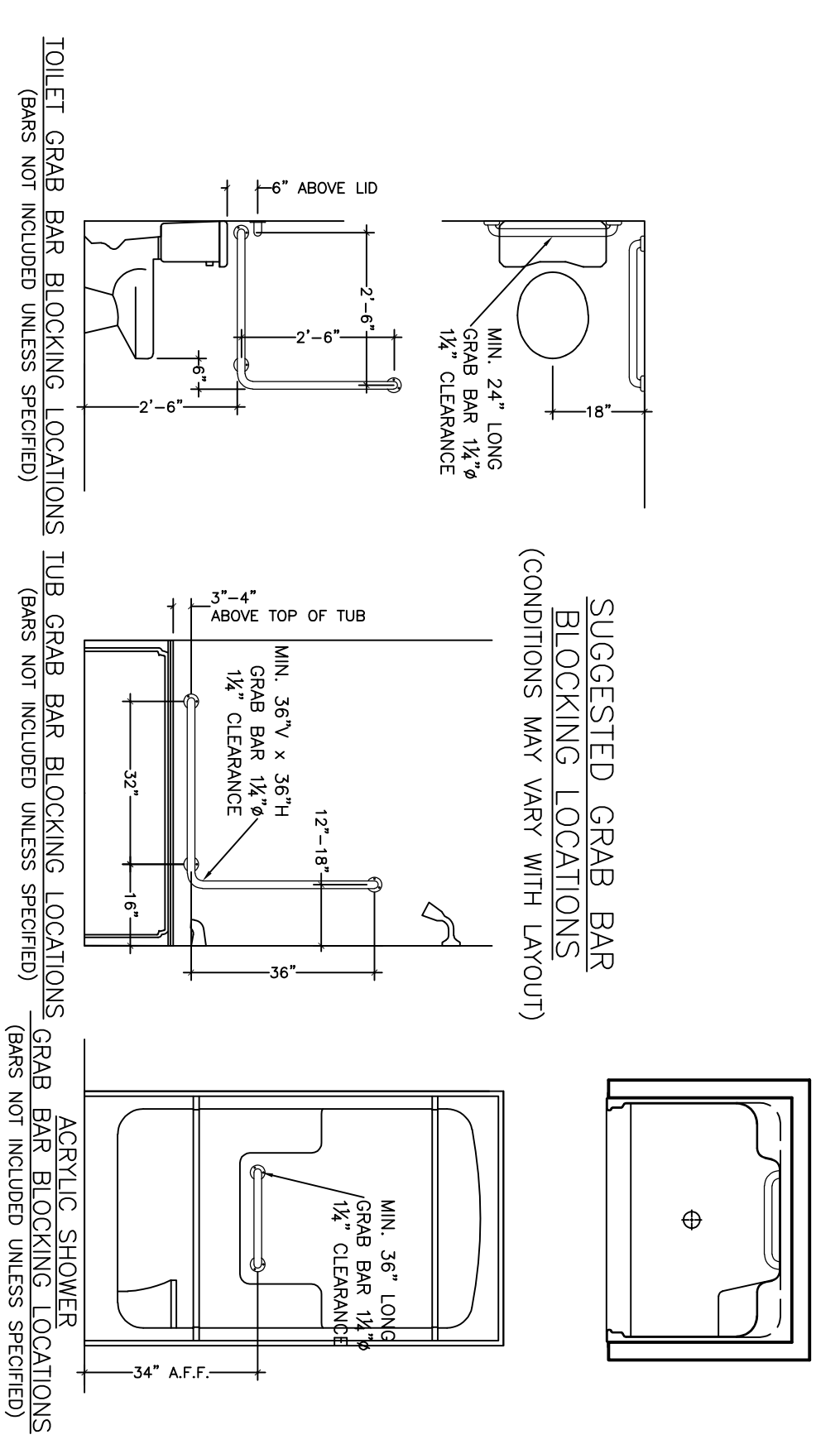
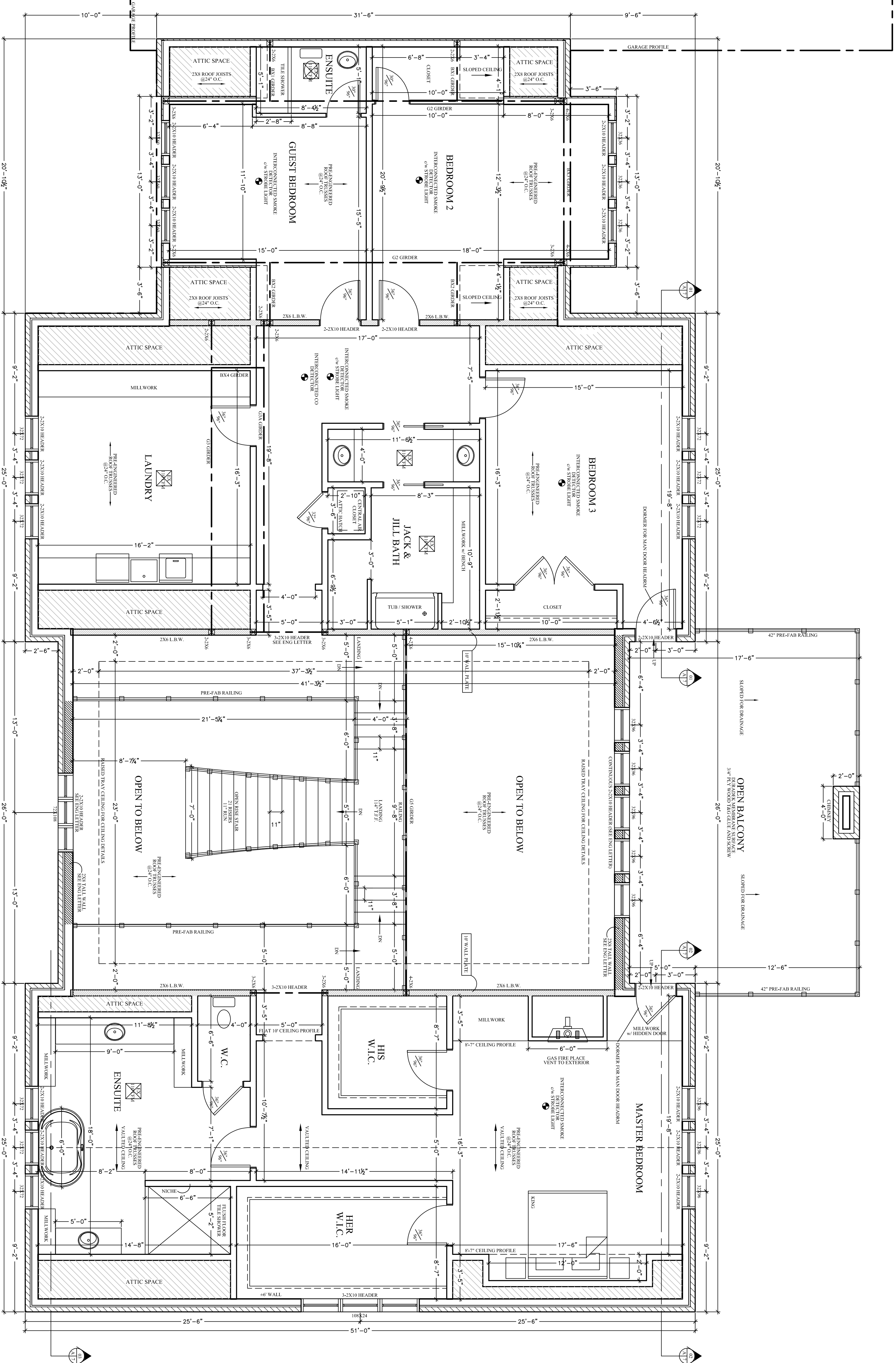
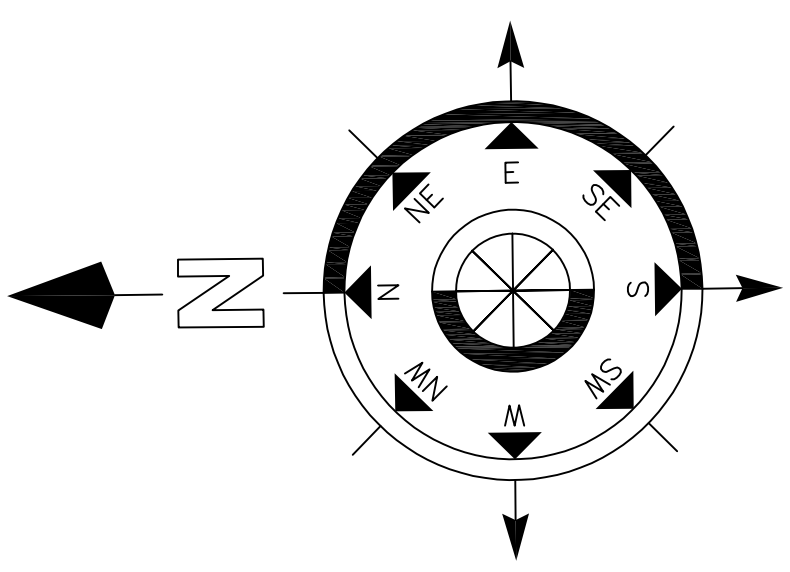
PROPOSED HOUSE PLANS
MAIN FLOOR PLAN

DRAWN BY: TONY WALL
BCIN: 29620
DATE: NOVEMBER 2023
SCALE: SEE DWG
SHEET NO. 2 OF 8

A2

UPPER FLOOR PLAN

Scale 1/4"=1'-0"



GIRDER POST SUPPORTS
BUILT-UP COLUMN SELECTION TABLE
NAILED BUILT-UP

S-P-F No.1 / No.2		2 x 4		
WALL HT	2 PLY	3 PLY	4 PLY	5 PLY
8'	3,442 lbf	9,652 lbf	15,342 lbf	19,177 lbf
9'	2,645 lbf	8,390 lbf	12,291 lbf	15,363 lbf
10'	2,063 lbf	6,996 lbf	9,860 lbf	12,325 lbf
11'	1,628 lbf	5,911 lbf	7,946 lbf	9,939 lbf
12'	1,299 lbf	4,810 lbf	6,366 lbf	7,911 lbf

S-P-F No.1 / No.2		2 x 6		
WALL HT	2 PLY	3 PLY	4 PLY	5 PLY
8'	5,279 lbf	14,932 lbf	25,382 lbf	33,951 lbf
9'	4,098 lbf	12,973 lbf	22,947 lbf	32,030 lbf
10'	3,207 lbf	10,868 lbf	20,895 lbf	30,000 lbf
11'	N/A	3,215 lbf	9,014 lbf	18,808 lbf
18'	N/A	3,013 lbf	7,957 lbf	13,870 lbf

NOTES:

- * PROVIDE SOLID BEARING BELOW ALL BEAMS AND GIRDER TRUSSES (i.e., 2 PLY TRUSS REQUIRES MINIMUM 2 STUDS FOR BEARING).
- * ALL LUMBER IN THE DESIGNS ABOVE ARE SP# 2 OR BETTER
- * BUILT-UP COLUMNS ARE TO BE MAILED OR BOLTED AS PER ONTARIO BUILDING CODE AND CSA-086.1-94 REQUIREMENTS.
- * THESE CHARTS ARE MEANT TO BE USED AS A DESIGN GUIDELINE ONLY. ALL ITEMS NOT CONFORMING TO THE ONTARIO BUILDING CODE PART 9 ARE TO BE REVIEWED AND CERTIFIED BY A STRUCTURAL ENGINEER.

GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 217.4, of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

Tony Wall
 BCIN: 22052

REV.#	DATE	DESCRIPTION
1	11/02	PERMIT ISSUE
2		
3		
4		

PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
 R#11 HORTONURWELL
 1100 HORTONURWELL
 FAN: 516-851-4887

KOMIENSKI RESIDENCE
 JENKINS ROAD
 SCOTTLAND, ON

PROPOSED HOUSE PLANS

UPPER FLOOR PLAN

DRAWN BY: TONY WALL SCALE: SEE DWG
 BCIN: 29620 PO#: 23223
 DATE: NOVEMBER 2023

SHEET NO. 3 OF 8

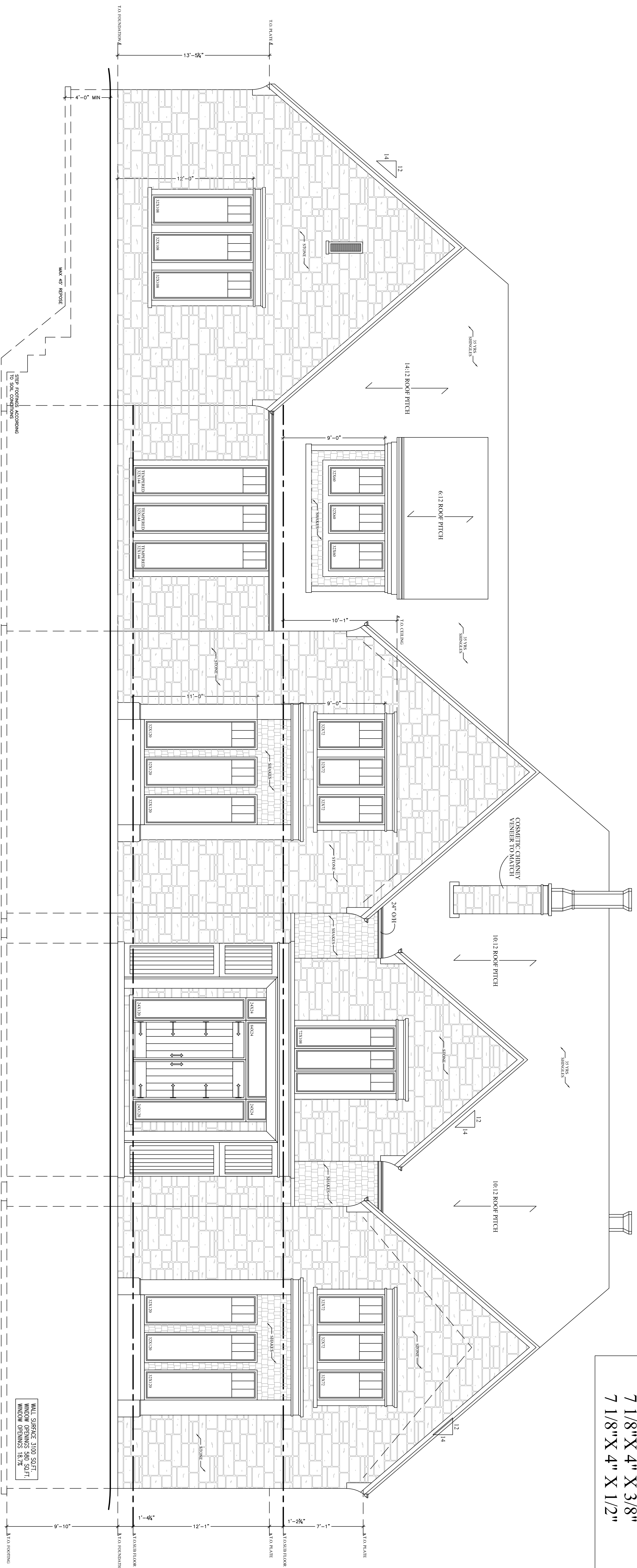
A3

LINTEL SCHEDULE FOR MASONRY VENEERS
as per 9.20.5.2B 2016 OBC

	BRICK	STONE
3 1/2" X 3 1/2" X 1/4"	8'-1"	7'-9"
4" X 3 1/2" X 1/4"	8'-9"	8'-2"
4 7/8" X 3 1/2" X 5/16"	10'-10"	10'-1"
4 7/8" X 3 1/2" X 3/8"	11'-5"	10'-8"
4 7/8" X 3 1/2" X 1/2"	11'-9"	10'-11"
5 7/8" X 3 1/2" X 3/8"	12'-7"	11'-8"
5 7/8" X 3 1/2" X 1/2"	13'-5"	12'-5"
5 7/8" X 4" X 1/2"	13'-6"	12'-7"
7 1/8" X 4" X 3/8"	14'-1"	13'-1"
7 1/8" X 4" X 1/2"	15'-1"	14'-0"

NORTH ELEVATION

Scale 1/4"=1'-0"



I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

Tony Wall
BCIN: 22052

	SQUARE FOOTAGE
MAIN FLOOR	4300 SQ.FT.
UPPER FLOOR	3062 SQ.FT.
GARAGE	1645 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2	11/28	CLIENT REVISIONS
1	11/02	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 NORTHURWELL
SCOTTLAND, ON
PHONE: 518-871-8881
FAX: 518-871-4087

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED HOUSE PLANS
ELEVATIONS

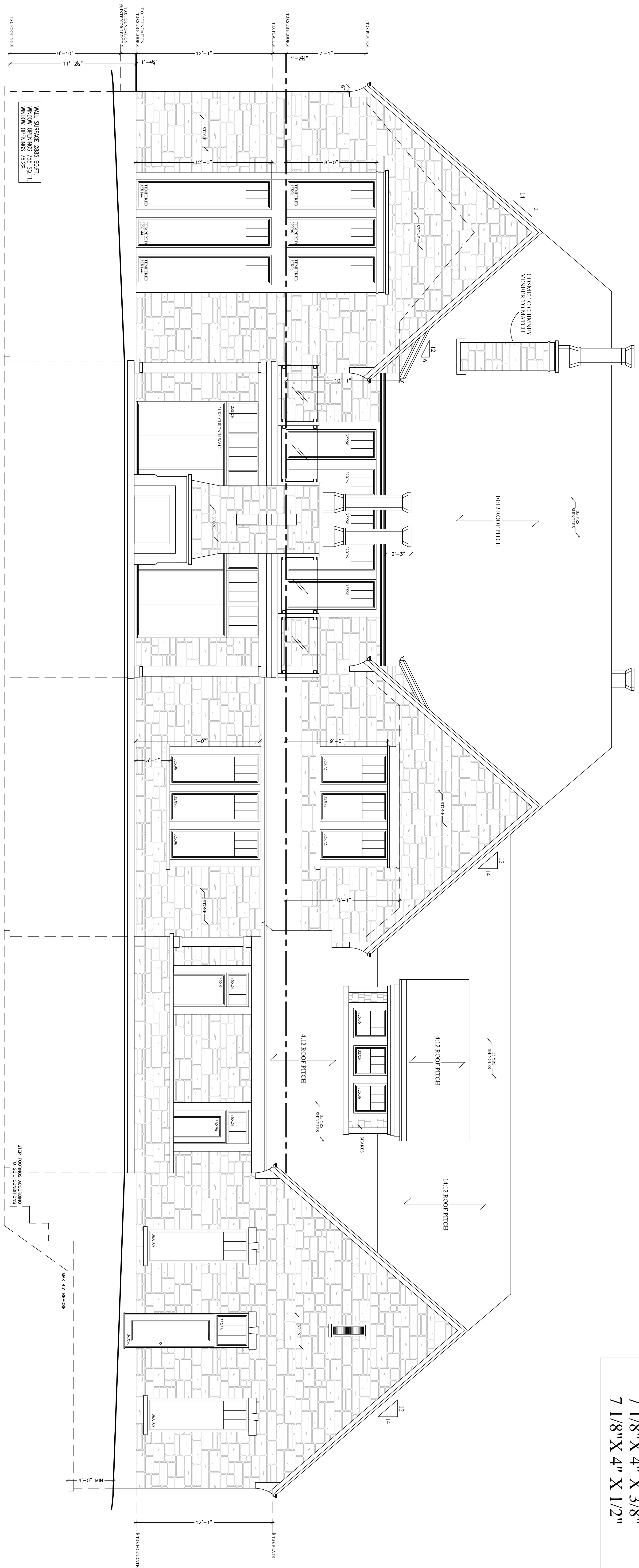
DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620	PO#: 23223
DATE: NOVEMBER 2023	
SHEET NO. 4 OF 8	A4

LINTEL SCHEDULE FOR MASONRY VENEERS
as per 9.20.5.2B 2016 OBC

	BRICK	STONE
3 1/2" X 3 1/2" X 1/4"	8'-1"	7'-9"
4" X 3 1/2" X 1/4"	8'-9"	8'-2"
4 7/8" X 3 1/2" X 5/16"	10'-10"	10'-1"
4 7/8" X 3 1/2" X 3/8"	11'-5"	10'-8"
4 7/8" X 3 1/2" X 1/2"	11'-9"	10'-11"
5 7/8" X 3 1/2" X 3/8"	12'-7"	11'-8"
5 7/8" X 3 1/2" X 1/2"	13'-5"	12'-5"
5 7/8" X 4" X 1/2"	13'-6"	12'-7"
7 1/8" X 4" X 3/8"	14'-1"	13'-1"
7 1/8" X 4" X 1/2"	15'-1"	14'-0"

SOUTH ELEVATION

Scale 1/4" = 1'-0"



KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED HOUSE PLANS

ELEVATIONS

DRAWN BY: TONY WALL SCALE: SEE DWG
BCIN: 29620 PO#: 23223
DATE: NOVEMBER 2023

SHEET NO. 5 OF 8 **A5**

Tony Wall
BCIN: 22052

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

REV.#	DATE	DESCRIPTION
1	11/28	CLIENT REVISIONS
2	11/02	PERMIT ISSUE

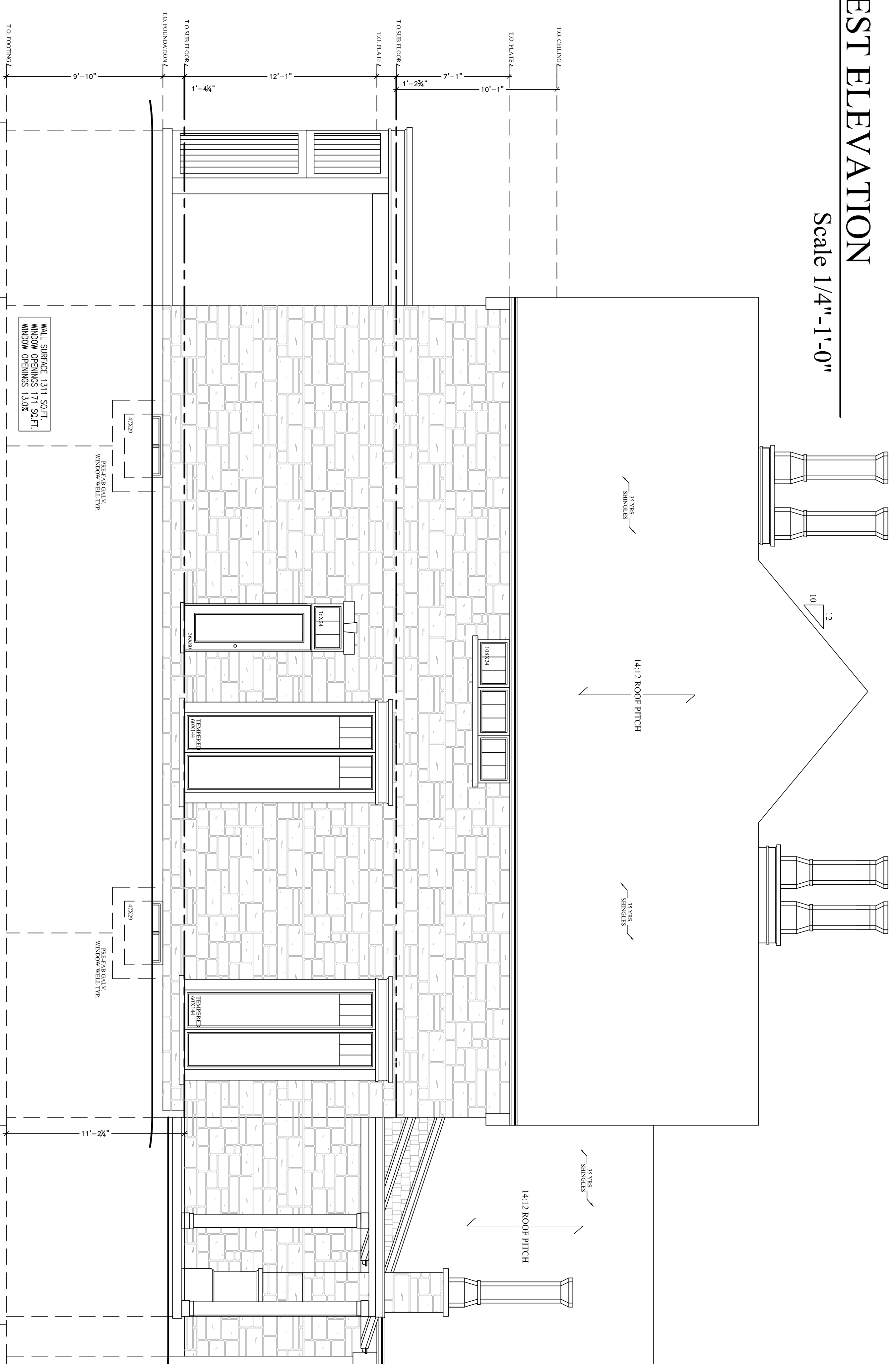
FLOOR	SQUARE FOOTAGE
MAIN FLOOR	430 SQ.FT.
UPPER FLOOR	300 SQ.FT.
GARAGE	1615 SQ.FT.



PROPERTY OF VIEW-IT DESIGN
VIEW-IT DESIGN
RR# 1 PORTLURWELL
SCOTTLAND, ON
TEL: 519-871-4887
FAX: 519-871-4887

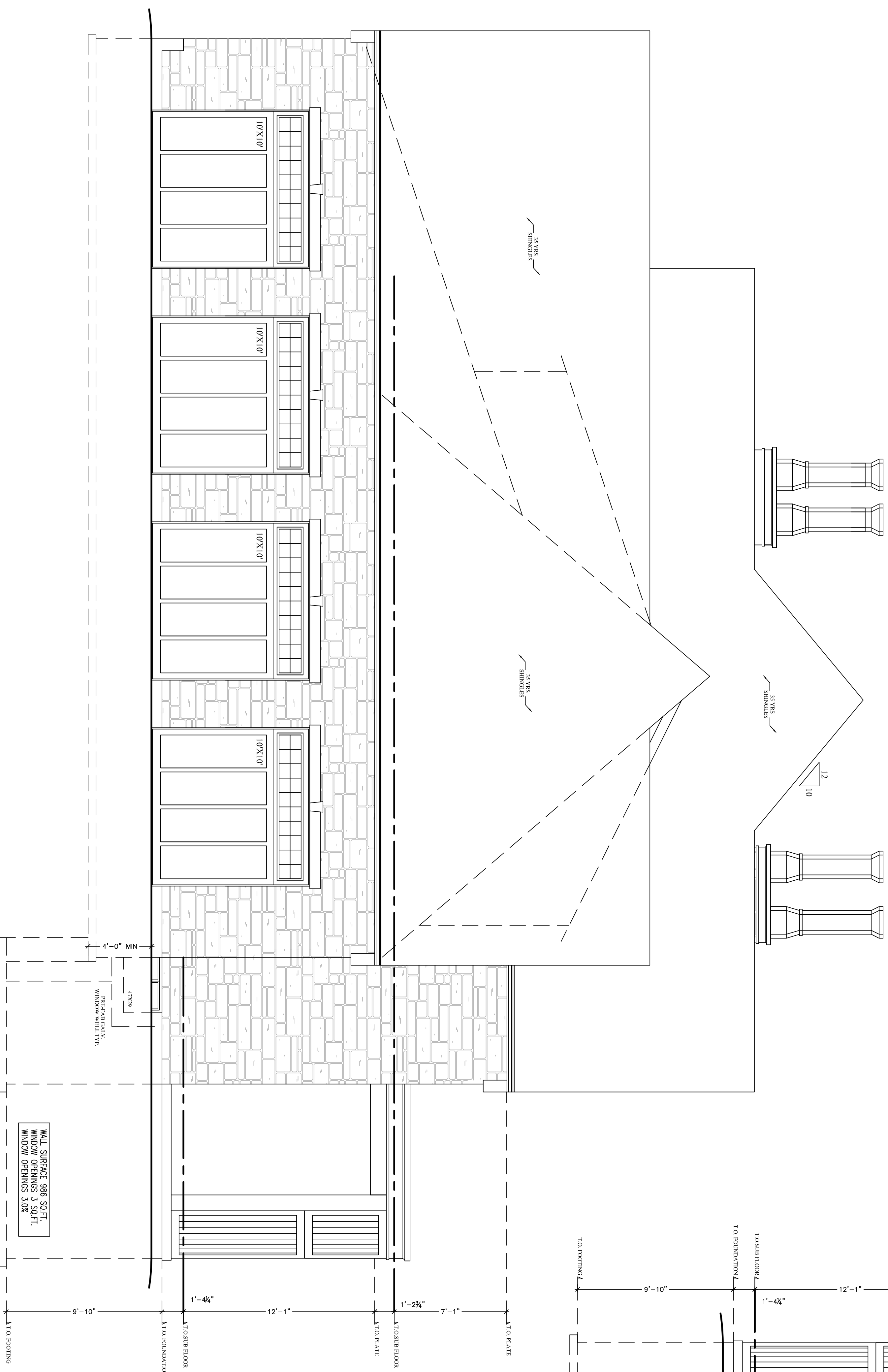
WEST ELEVATION

Scale 1/4"=1'-0"



EAST ELEVATION

Scale 1/4"=1'-0"



LINTEL SCHEDULE FOR MASONARY VENEERS

as per 9.20.5.2B 2016 OBC

	BRICK	STONE
3 1/2" X 3 1/2" X 1/4"	8'-1"	7'-9"
4" X 3 1/2" X 1/4"	8'-9"	8'-2"
4 7/8" X 3 1/2" X 5/16"	10'-10"	10'-1"
4 7/8" X 3 1/2" X 3/8"	11'-5"	10'-8"
4 7/8" X 3 1/2" X 1/2"	11'-9"	10'-11"
5 7/8" X 3 1/2" X 3/8"	12'-7"	11'-8"
5 7/8" X 3 1/2" X 1/2"	13'-5"	12'-5"
5 7/8" X 4" X 1/2"	13'-6"	12'-7"
7 1/8" X 4" X 3/8"	14'-1"	13'-1"
7 1/8" X 4" X 1/2"	15'-1"	14'-0"

GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 217.4, of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

Tony Wall
BCRN : 22052

REV.#	DATE	DESCRIPTION:
1	11/02	PERMIT ISSUE
2	11/28	CLIENT REVISIONS
3		
4		

REV.#	DATE	DESCRIPTION:
1	11/02	PERMIT ISSUE
2	11/28	CLIENT REVISIONS
3		
4		



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
R#11 MORTIMURWELL
PH: 518-581-4887
FAX: 518-581-4887

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTLAND, ON

PROPOSED HOUSE PLANS

ELEVATIONS

SCALE: SEE DWG

SCALE: SEE DWG

SCALE: SEE DWG

SCALE: SEE DWG

A6

SCALE: SEE DWG

GENERAL NOTES:

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER.

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ONTARIO REG. 403.97 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE, AND BE FAMILIAR WITH PART 9 OF THE CODE.

STAIR DIMENSIONS (UNLESS OTHERWISE SHOWN ON DRAWINGS)

INTERIOR:
 MAX RISE 200mm (7 7/8")
 MIN. RUN 255mm (10")
 MIN. TREAD 278mm (11")
 NOSING 25mm (1")

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS

MINIMUM HEADROOM 1950mm (6'5")
 GUARD HEIGHT AT LANDING 902mm (3'11 1/2")
 GUARD HEIGHT AT STAIRS 1067mm (3'6")
 GUARD SPACING 100mm (4") MIN. ON CLIMBABLE HANDRAILS INSTALLED BETWEEN 920mm (3'6")

GUARD HEIGHT - 2'0" ABOVE GRADE = 902mm (3'5 1/2")
 GUARD HEIGHT - 5'0" ABOVE GRADE = 1067mm (4'2")
 CONCRETE STAIRS OVER 2 RISERS ARE REQUIRED TO BE HANDRAILED FROM STAIRS OVER 3 RISERS INSTALLED BETWEEN 864mm (3'4") & 965mm (3'8")

CONCRETE

AS PER OBC SECTION 9.15 & 9.16

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, WITH A MIN SOIL BEARING PRESSURE OF 2000 PSF CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS STEP FOOTINGS:

MAX RISE 600mm (23 5/8") FOR FIRM SOIL
 MAX RISE 400mm (16" FOR SAND OR GRAVEL
 MIN RUN BETWEEN RISERS 600mm (23 5/8")
 ANGLE OF REPOSE IS 45°

CONCRETE FOUNDATION WALLS SHALL EXTEND TO 6" MIN. ABOVE FINISHED GRADE FOOTING DESIGN MIN. 6" DEEP X 4" MIN. PROTECTION BEYOND FOUNDATION WALL AND MIN. OF 16" WIDE CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PROVIDE ADEQUATE FROST PROTECTION

WOOD FRAME CONSTRUCTION

AS PER OBC SECTION 9.23

ALL STRUCTURAL LUMBER TO BE SPF#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM SPAN TABLES OF THE BUILDING CODE.

SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-10" MAX ON SPACING WITH 4" MIN. ON EMBEDEDMENT INTO THE CONCRETE

JOIST END BEARING TO BE 1 1/2 MIN.
 BEAMS & GIRDERS SHALL HAVE 3 1/2" MIN END BEARING
 ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE JOIST OR SOLID BLOCKING AT 311" O.C.
 ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

HEAT TRANSFER, AIR LEAKAGE & CONDENSATION CONTROL

AS PER OBC SECTION 9.23

PROVIDE AN AIR BARRIER IN STRICT ACCORDANCE WITH OBC SECTION 9.23.3 INSULATION REQUIREMENTS:

MIN. R24-R22 IN ALL EXTERIOR WALLS
 MIN. R60 IN EXPOSED CEILINGS WITH ATTIC SPACE
 MIN. R20 CI IN FOUNDATION WALLS ENCLOSING HEATED SPACE
 VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACE OF ANY THERMALLY INSULATED WALL, CEILING & FLOOR ASSEMBLIES AND TO BE INSTALLED ON THE WARM SIDE OF THE INSULATION. ALL PENETRATION OF THE VAPOUR BARRIER TO BE SEALED TO MAINTAIN THE INTEGRITY OF THE BARRIER SYSTEM.

EXTERIOR DOORS & WINDOWS

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS
 ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-A-032.2-M, STEEL INSULATED CONFORM TO CAN/CSB-82.2-M WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS
 ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6- RESISTANCE TO FORCED ENTRY
 EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. THESE WINDOWS MUST HAVE AN UNOBSTRUCTED OPEN AREA OF 3.8 SQ.FT. WITH NO DIMENSION LESS THAN 15"

VENTILATION

AS PER OBC SECTION 9.23.4

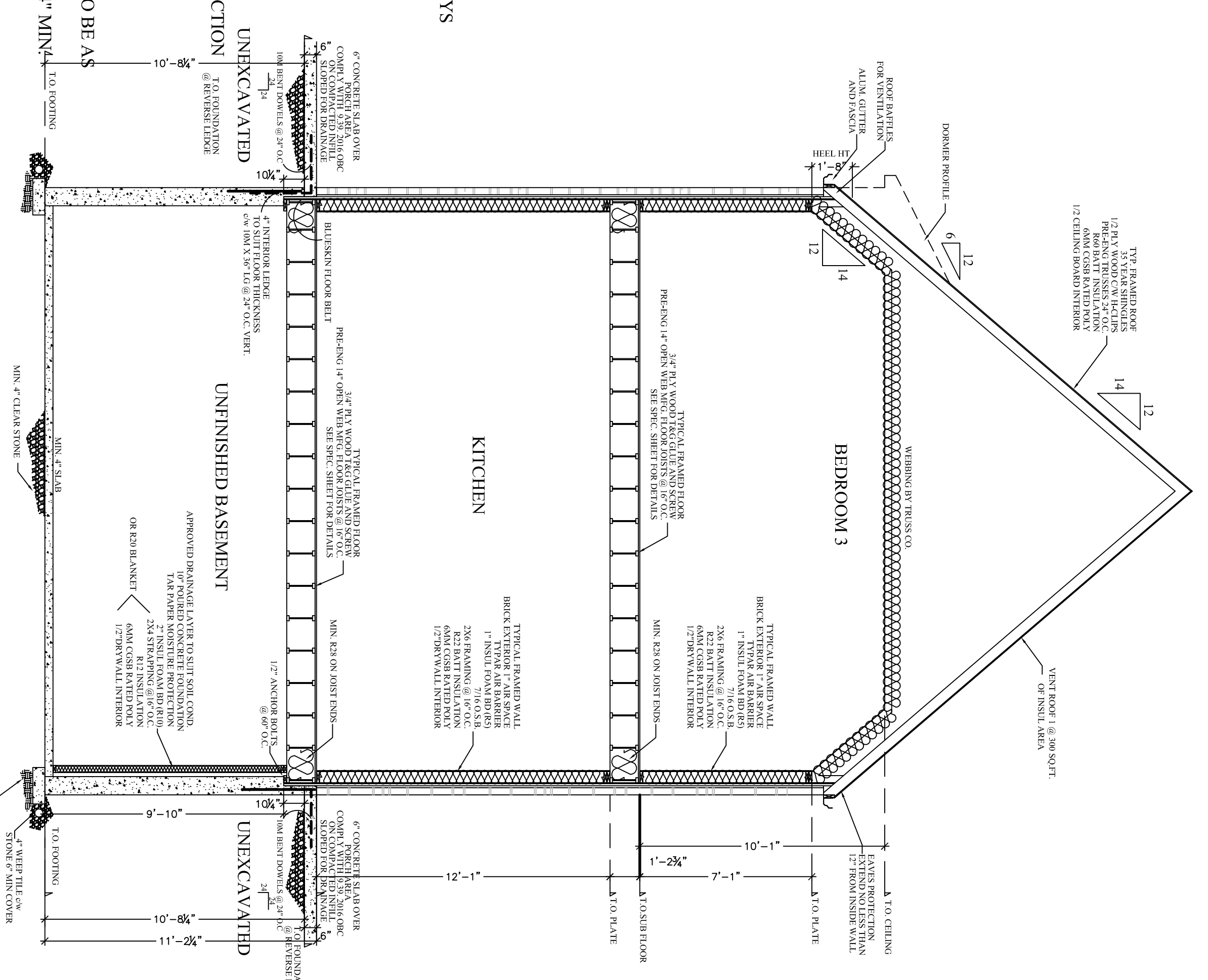
PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ.FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ.FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE EAVES.
 PROVIDE BAFFLES AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW
 PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.32.2 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

ELECTRICAL

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34
 ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS)

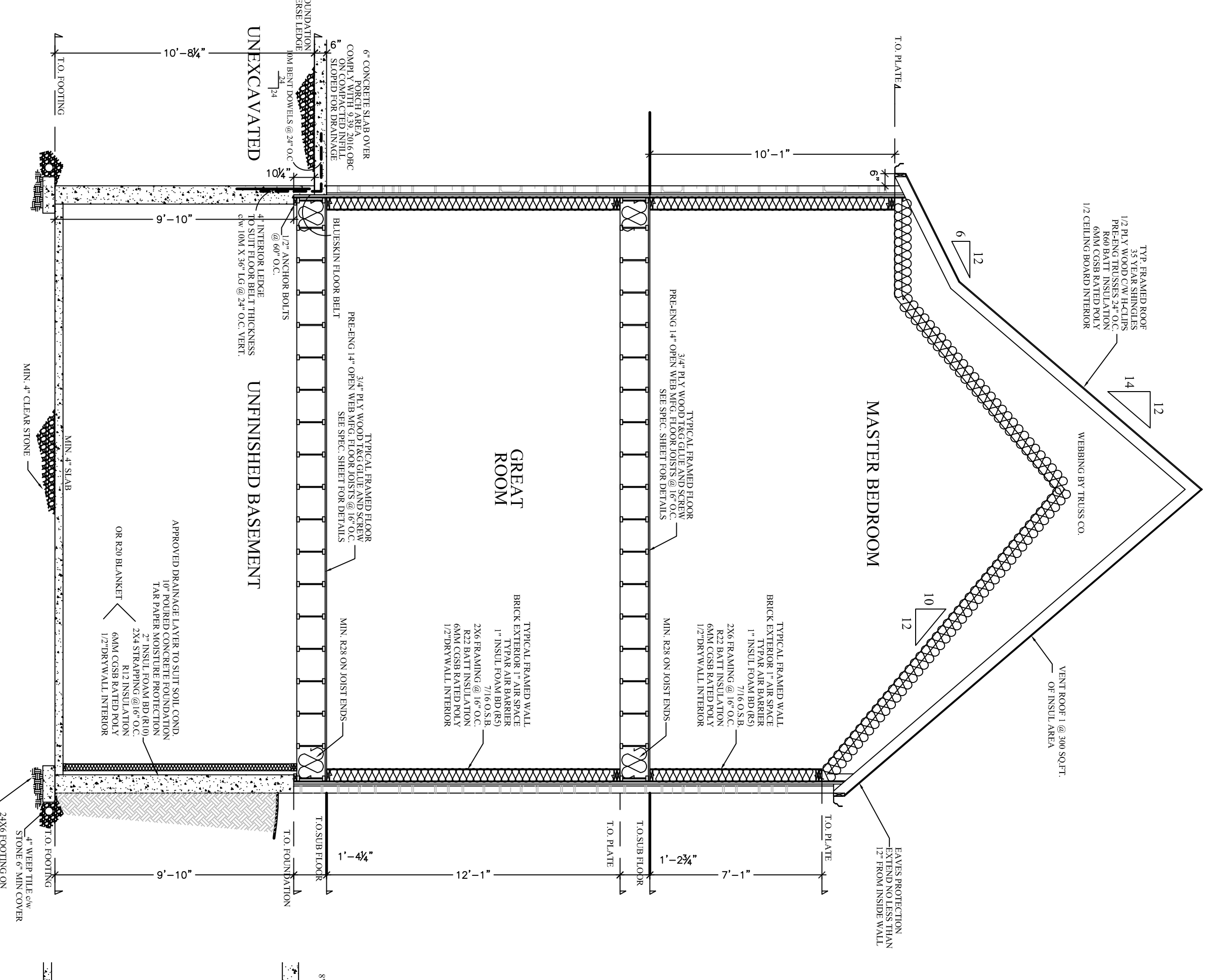
SECTION 01:01

Scale 1/4"=1'-0"



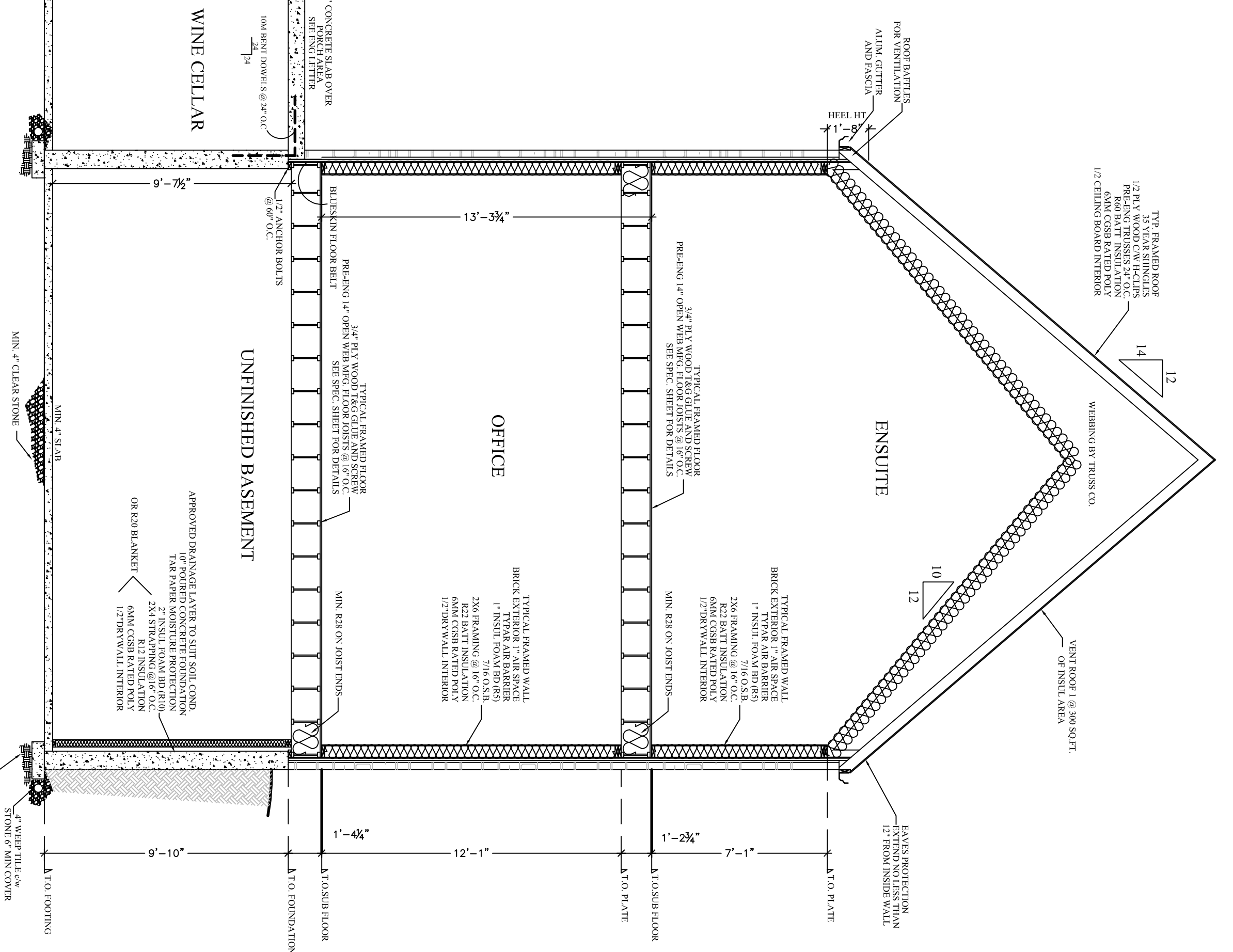
SECTION 02:02

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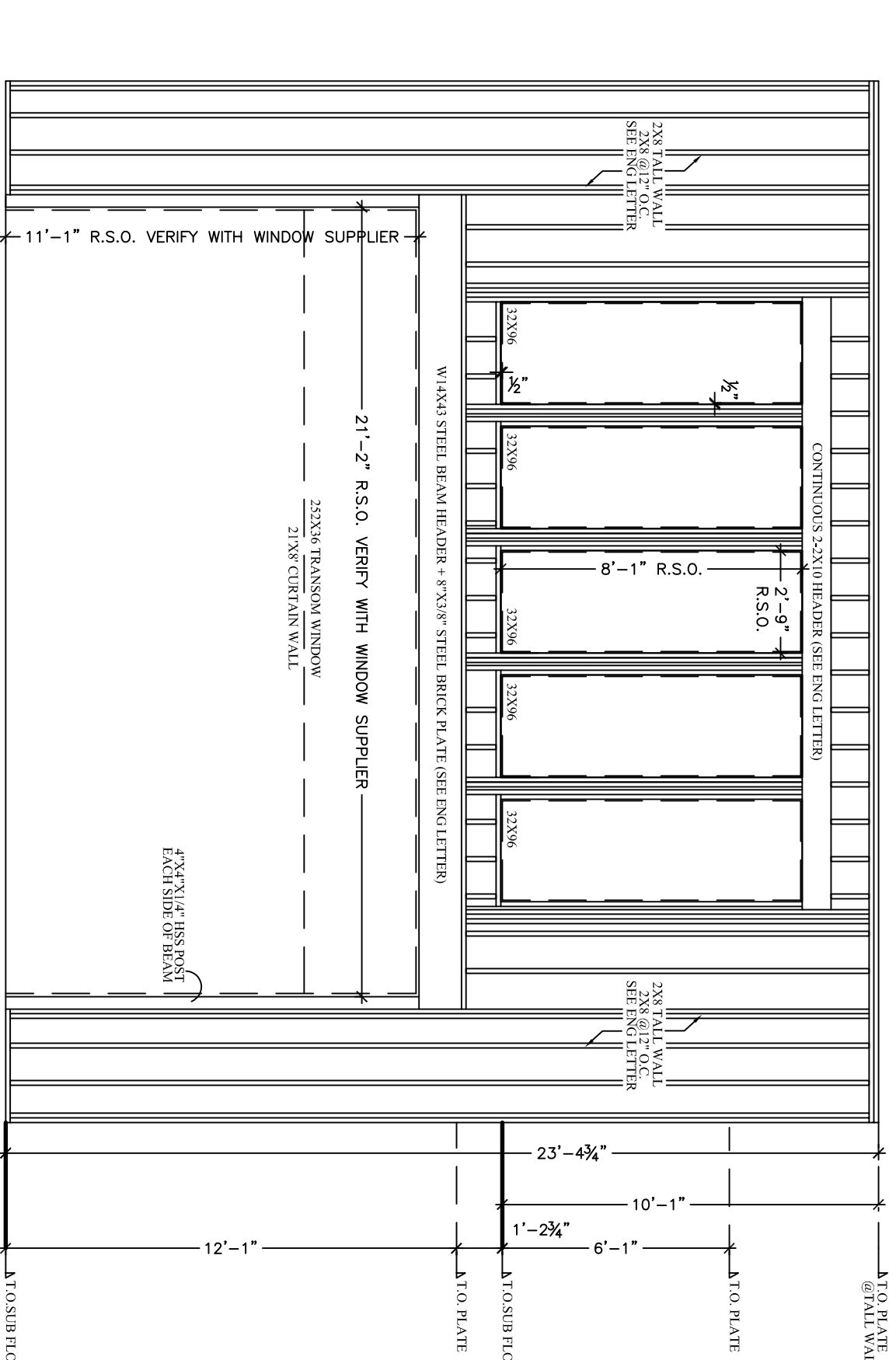
SECTION 03:03

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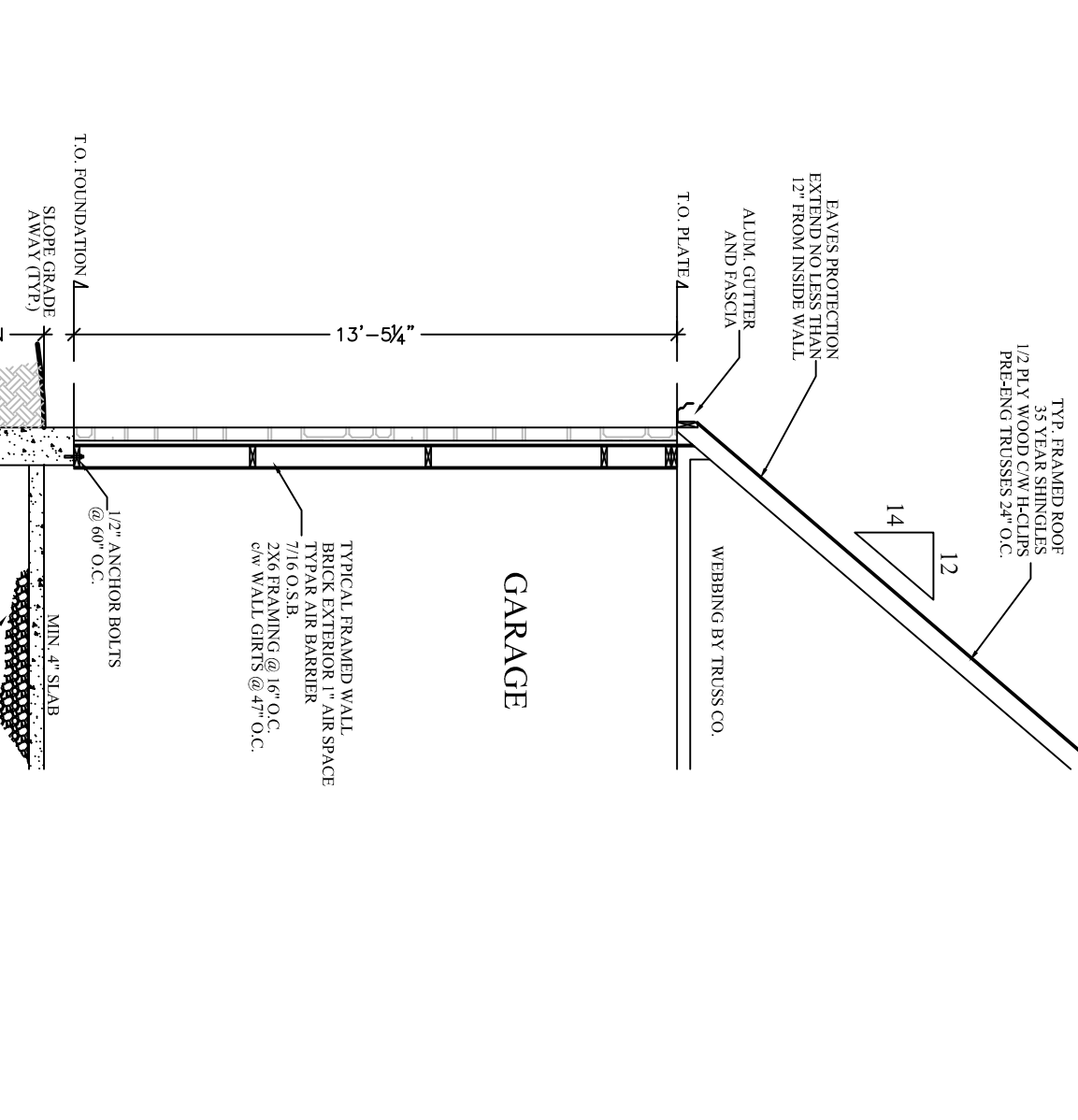
LOUNGE TALL WALL DETAIL

Scale 1/4"=1'-0"



SECTION 04

Scale 1/4"=1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. 1 mm quadrat, and the firm is registered, in the appropriate classes/categories

Tony Wall
 BCIN: 22052

REV#	DATE	DESCRIPTION
4		
3		
2	11/28	CLIENT REVISIONS
1	11/02	PERMIT ISSUE

FLOOR	AREA
MAIN FLOOR	4330 SQ.FT.
UPPER FLOOR	3002 SQ.FT.
GARAGE	1615 SQ.FT.



PROPERTY OF VIEW-IT DESIGN
VIEW-IT DESIGN
 R#11 MORTIMERWELL
 1100 BAYVIEW AVE. UNIT 10
 SCOTT, ONT. M1M 1B7
 TEL: 416-291-1888
 FAX: 416-291-1887

KOMIENSKI RESIDENCE
 JENKINS ROAD
 SCOTLAND, ON

PROPOSED HOUSE PLANS

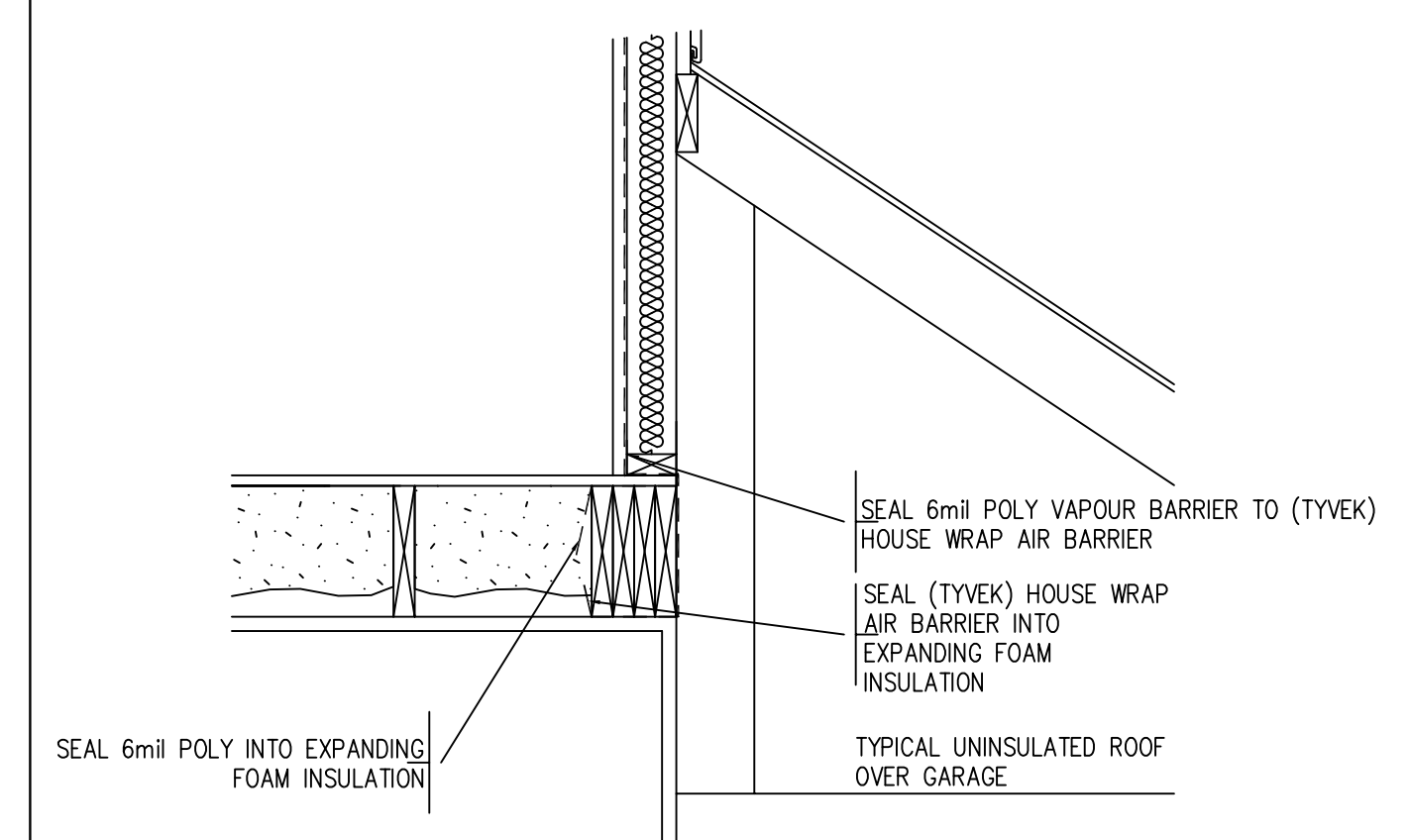
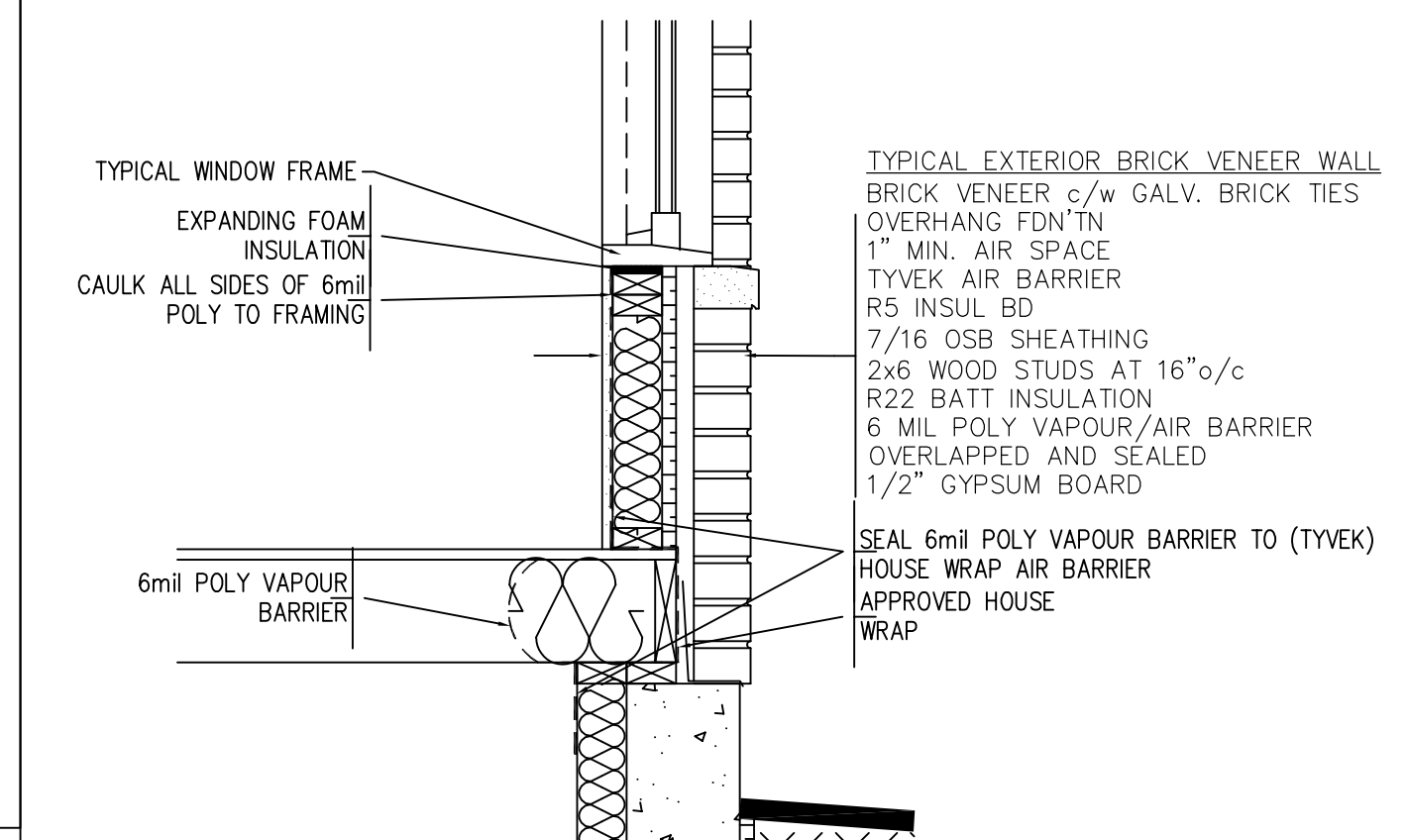
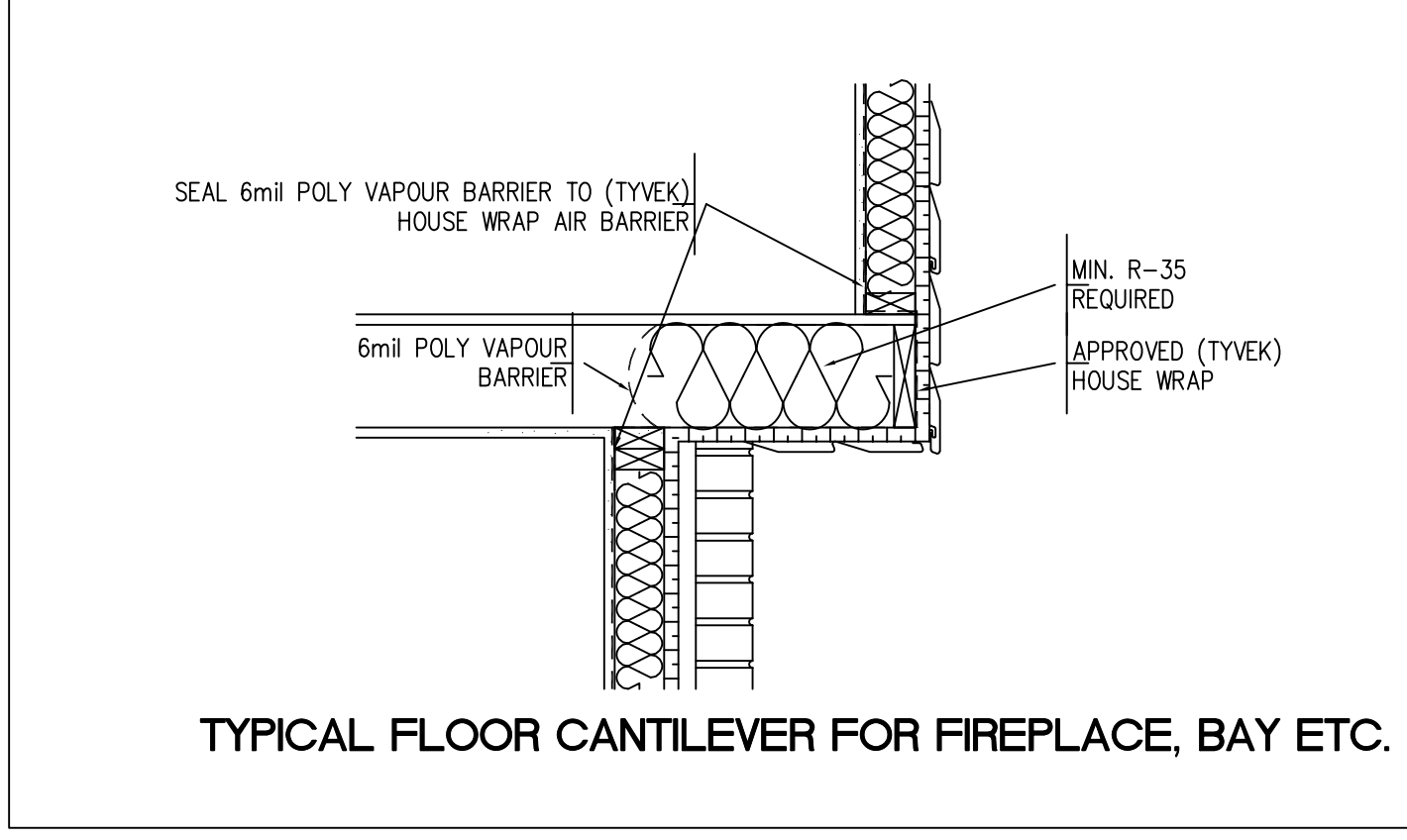
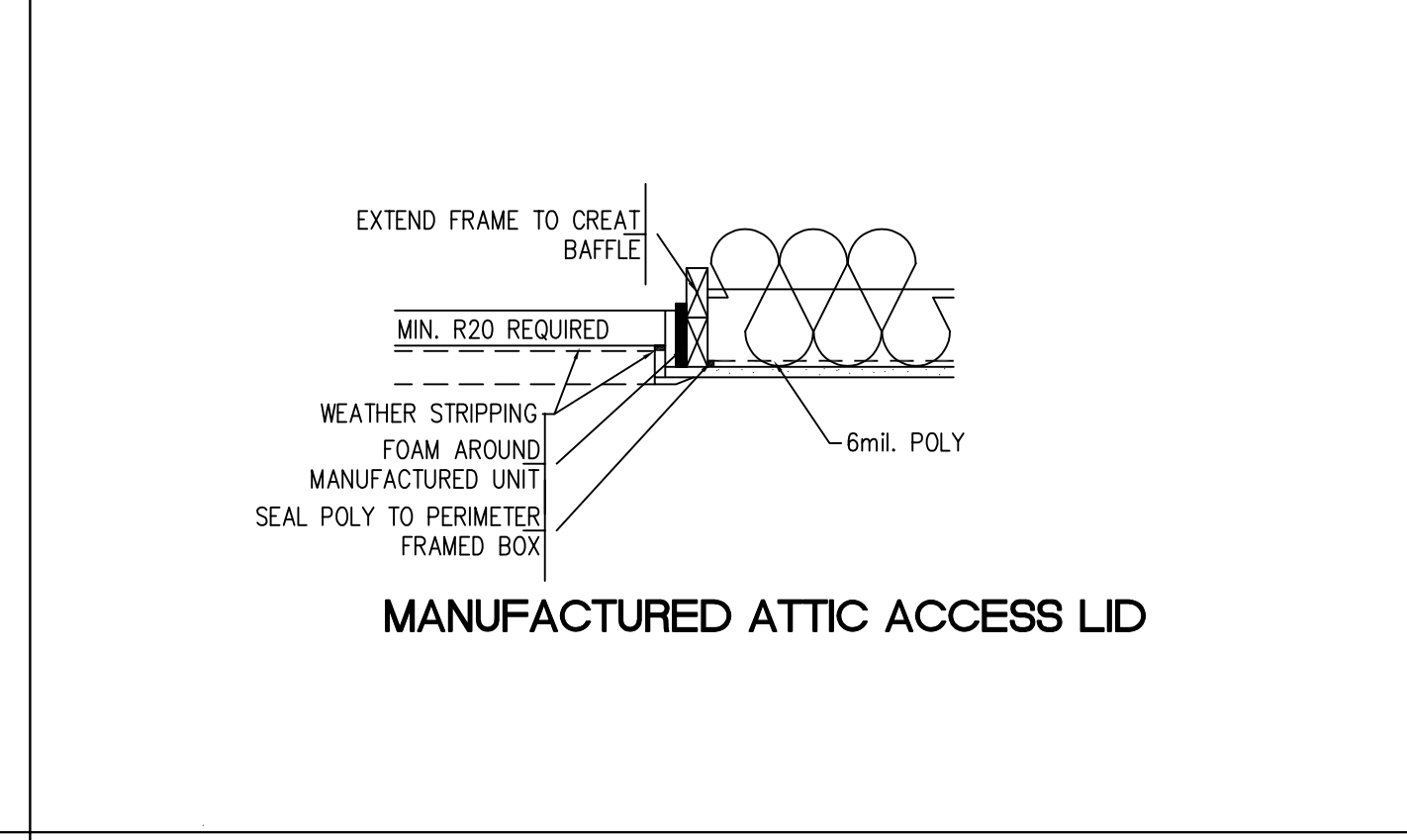
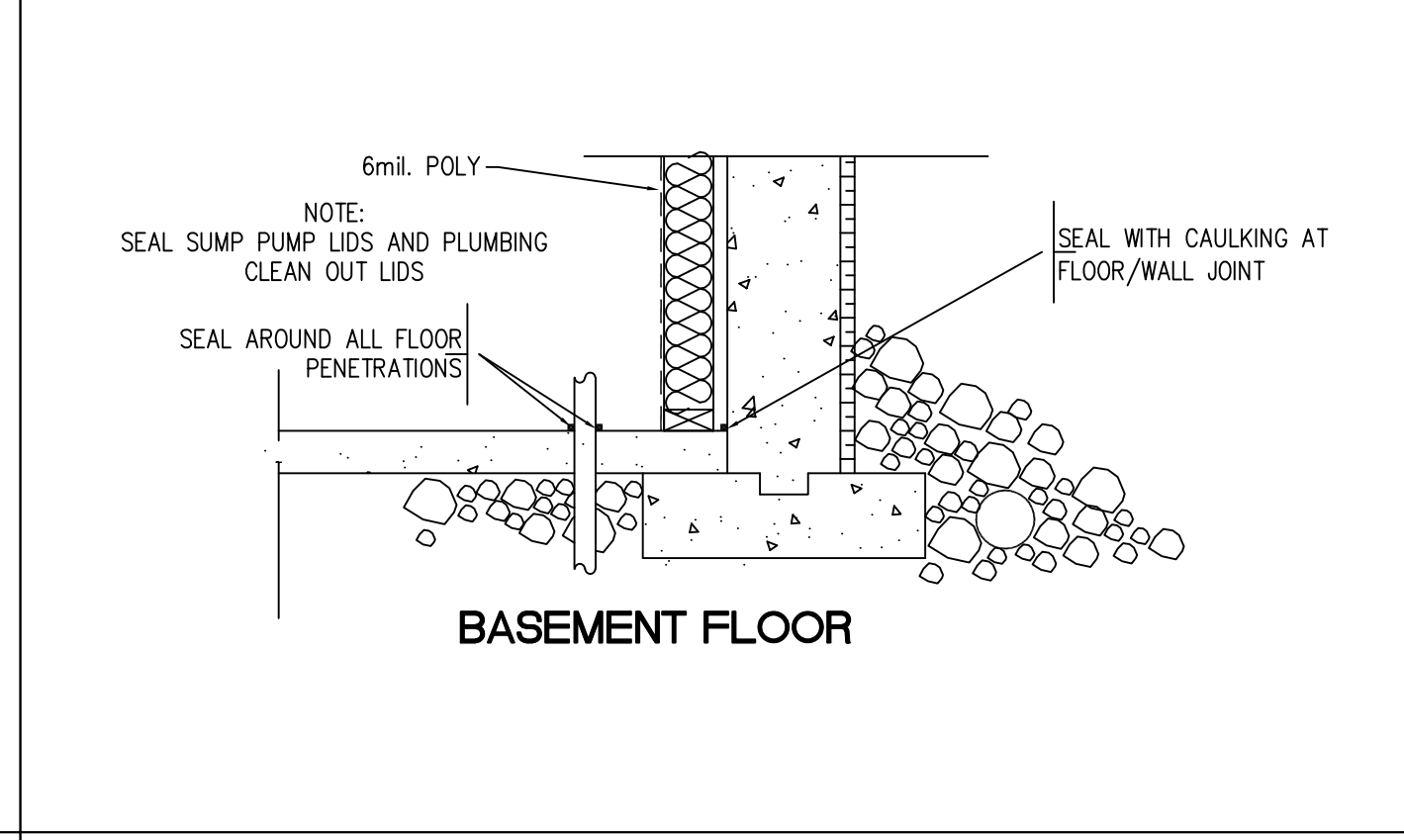
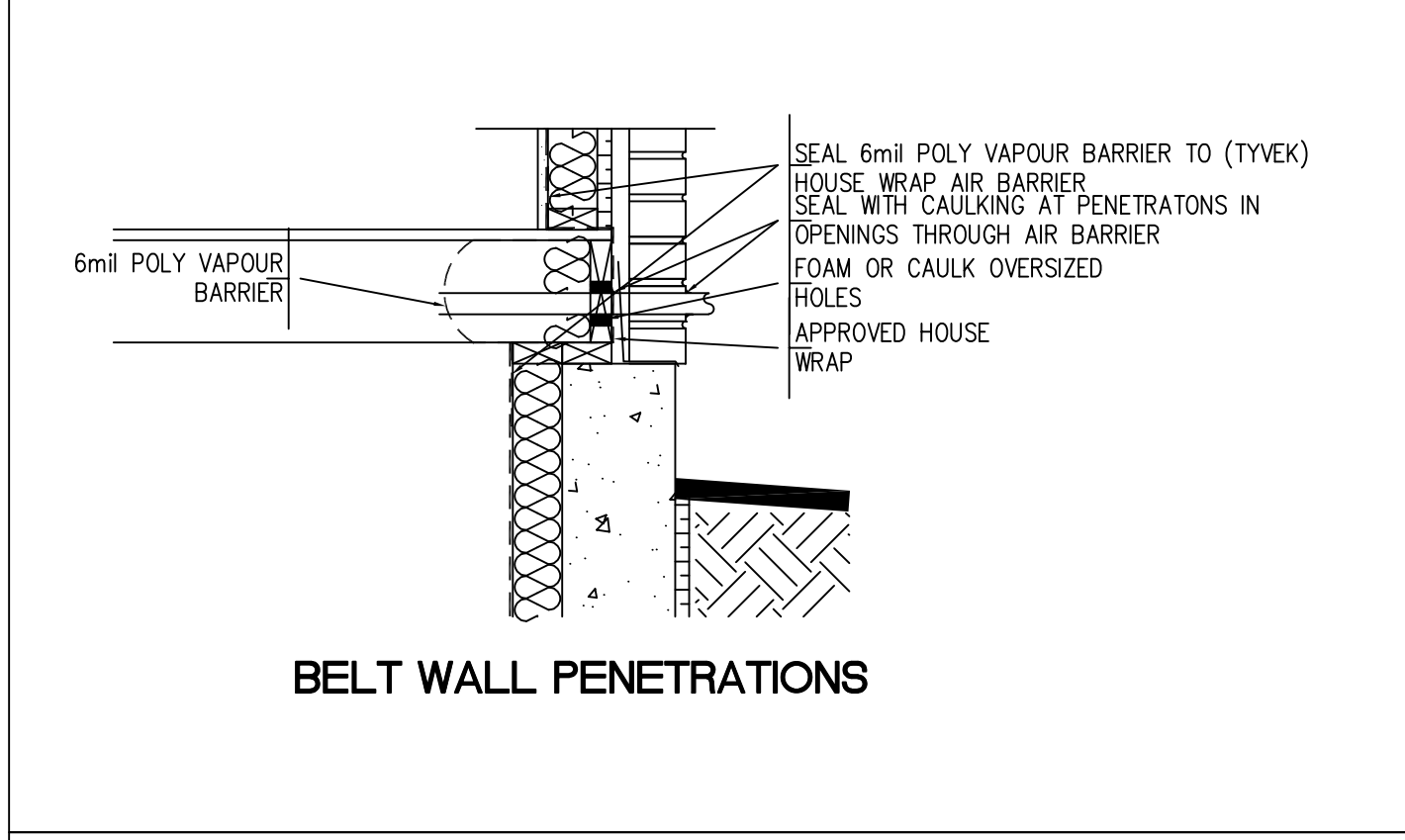
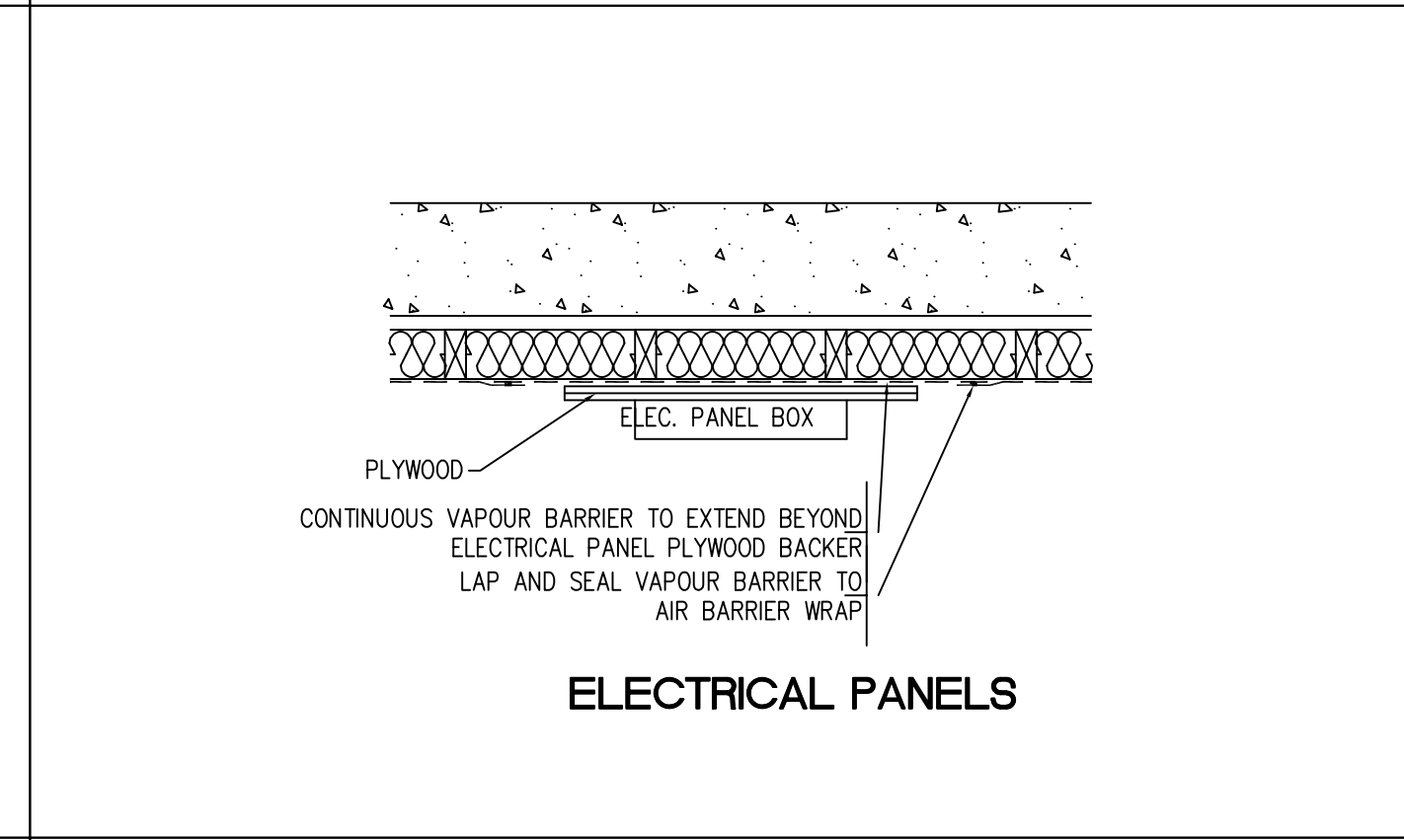
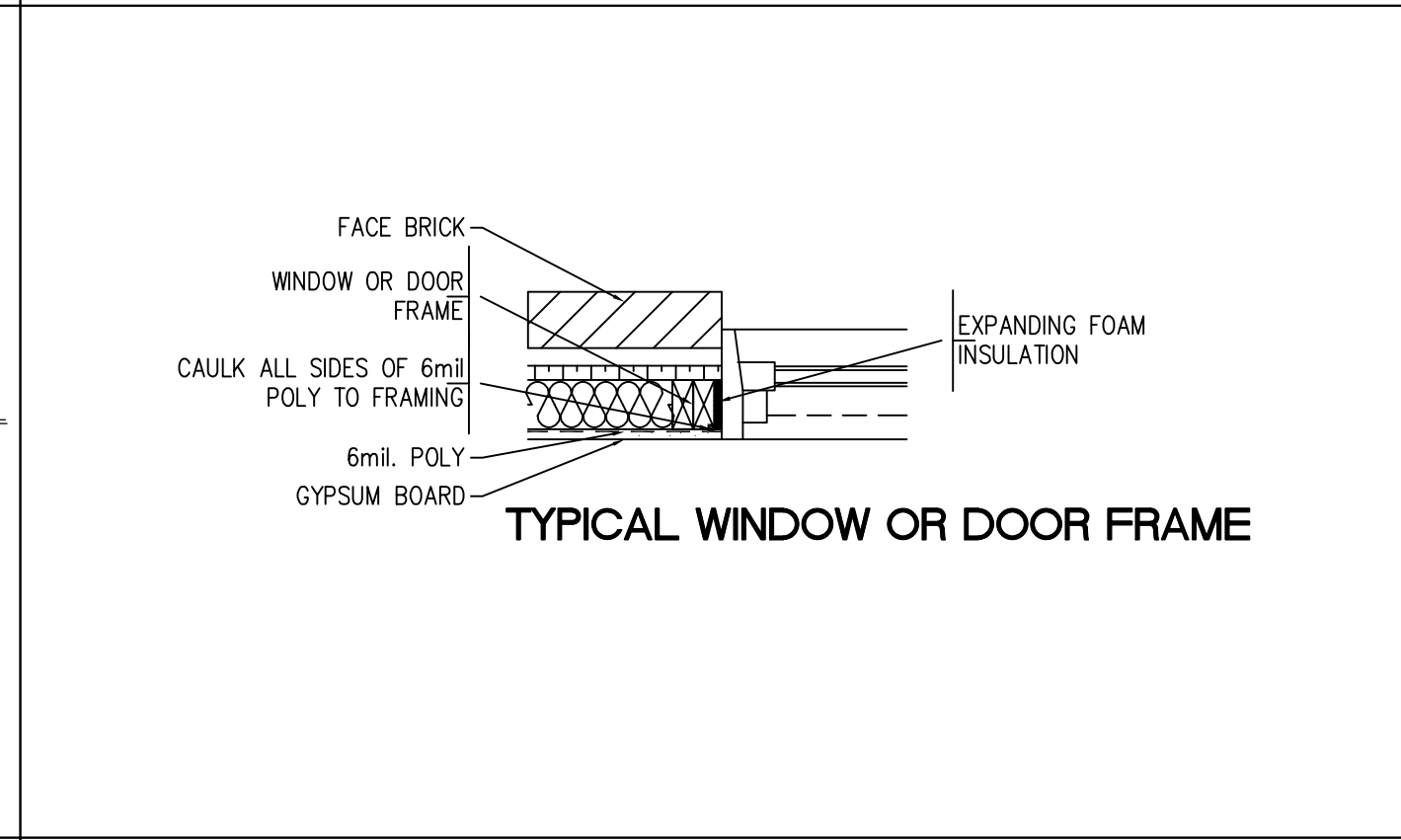
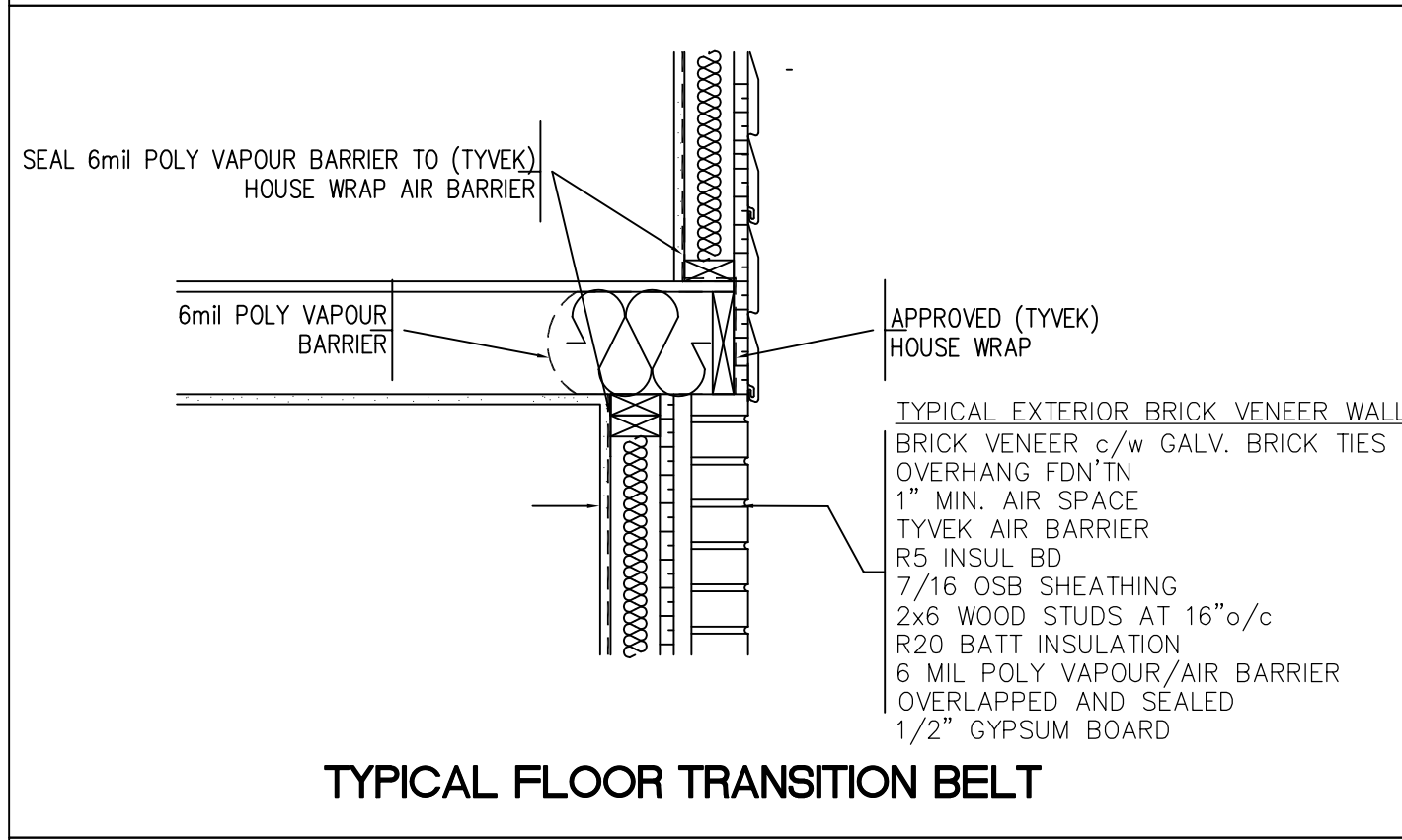
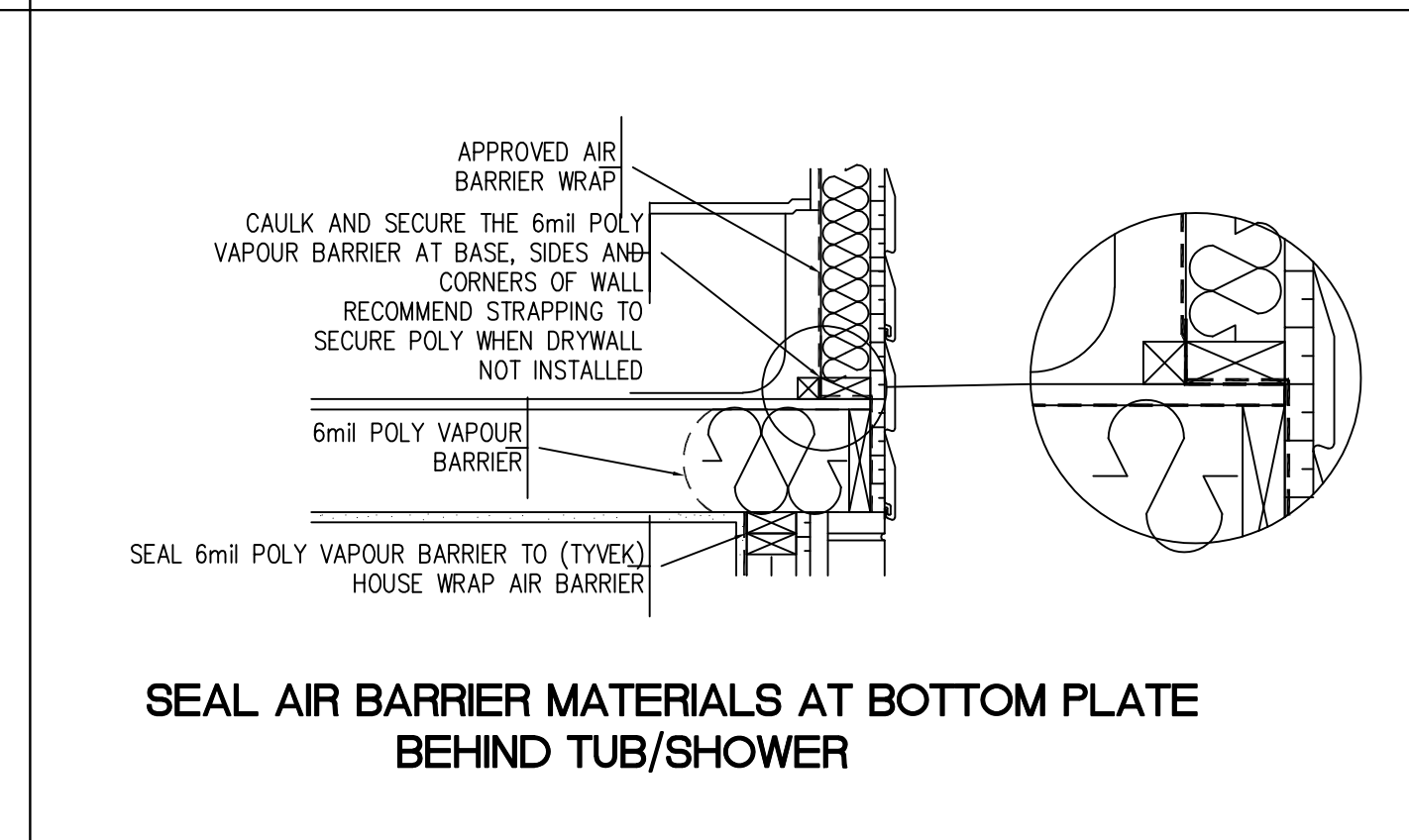
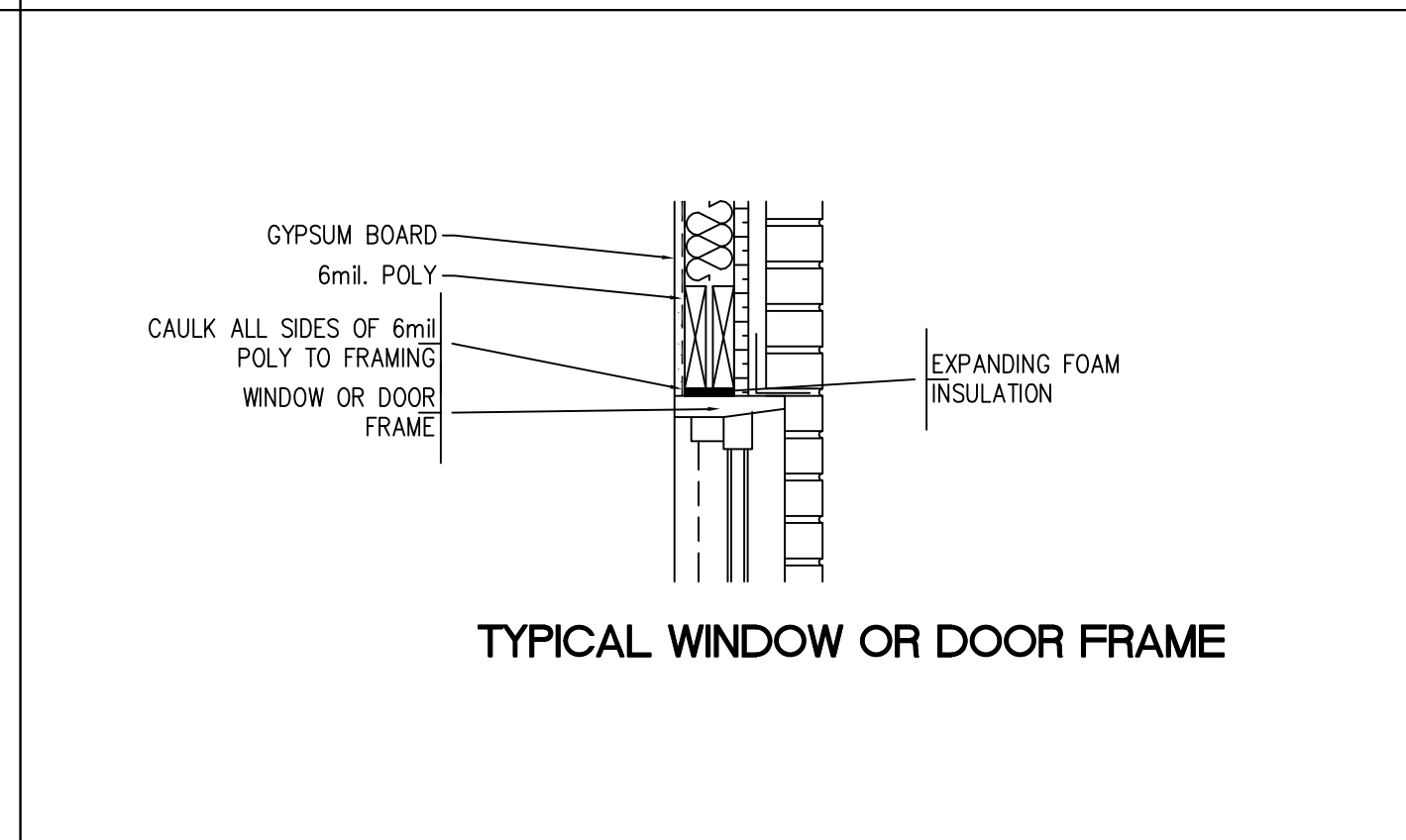
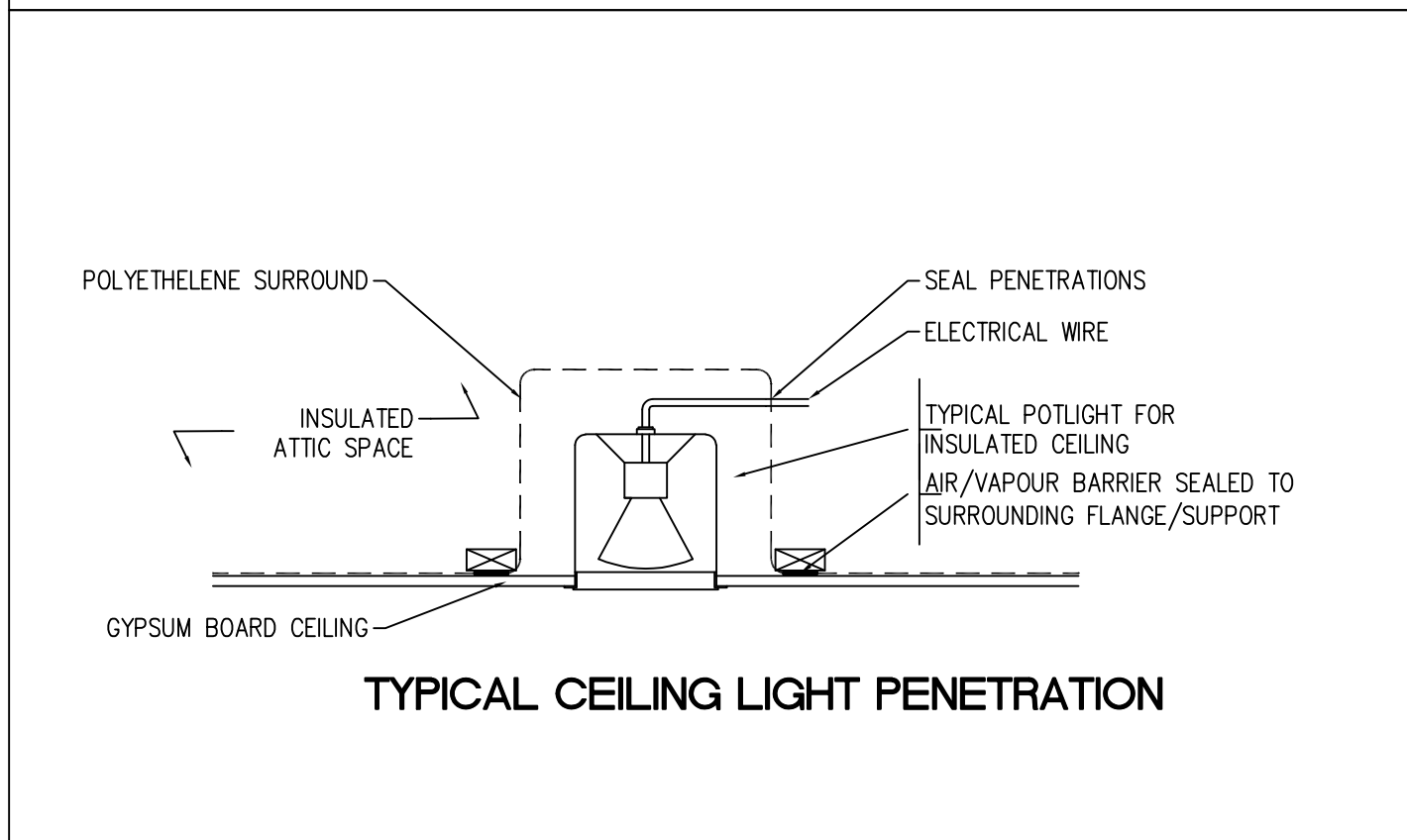
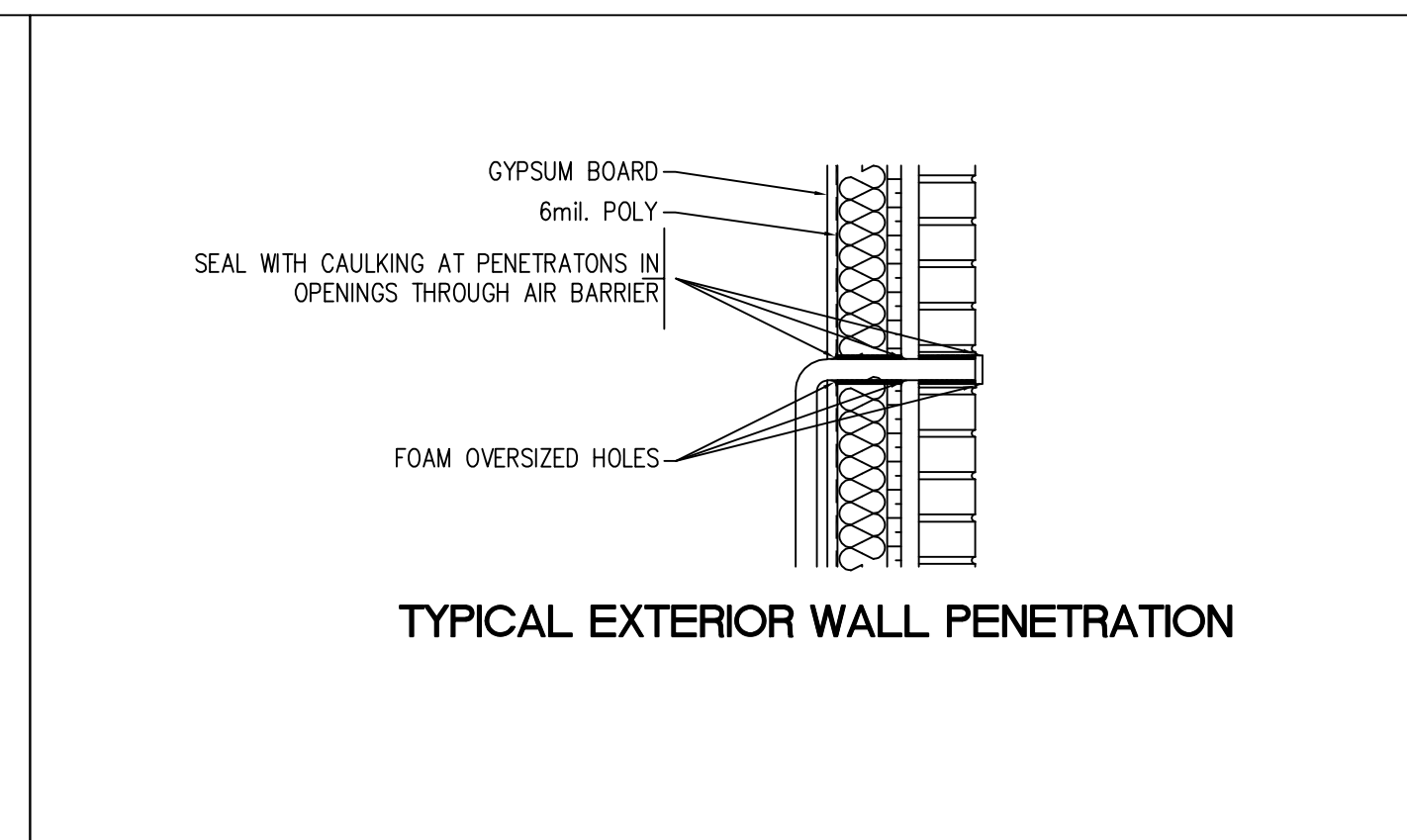
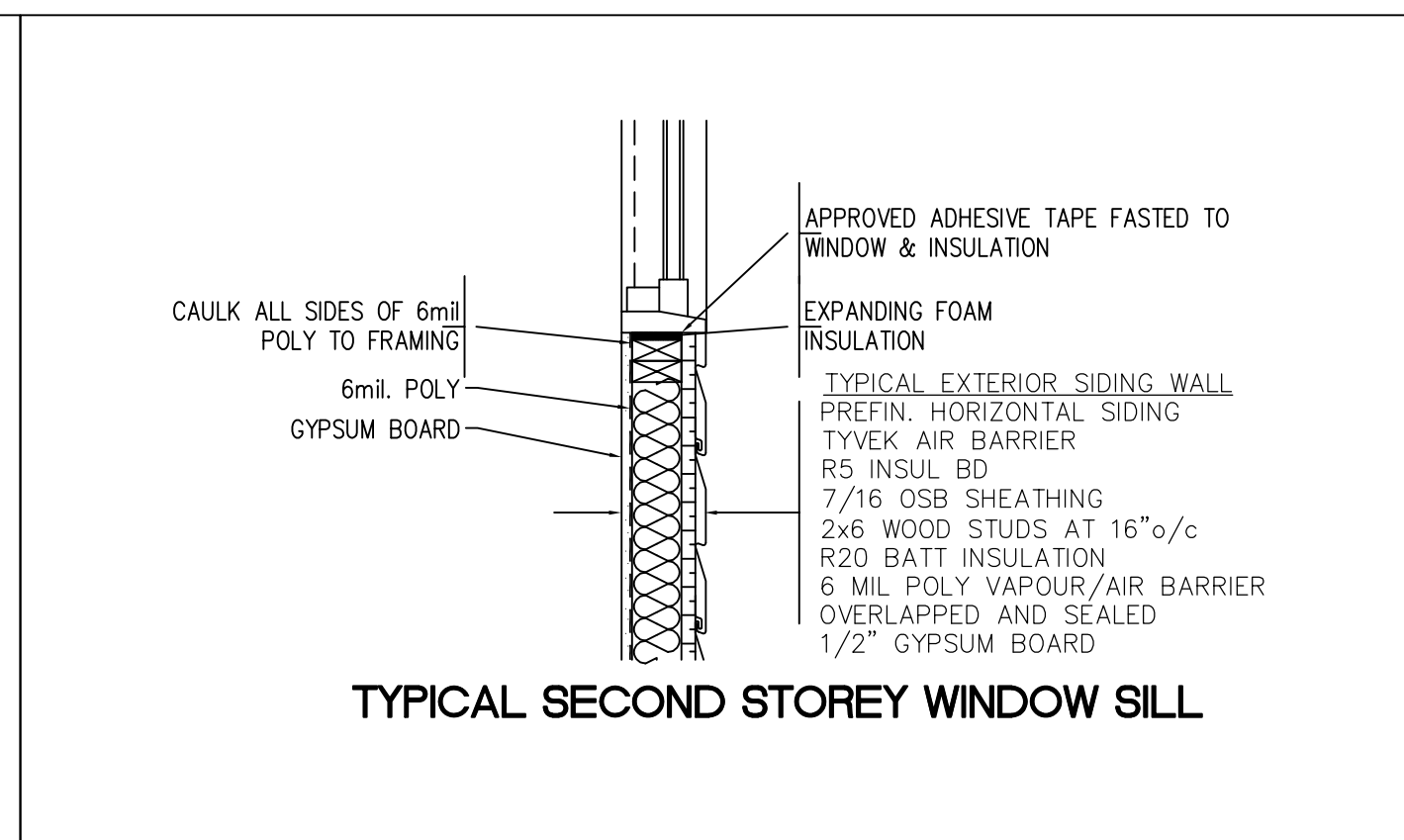
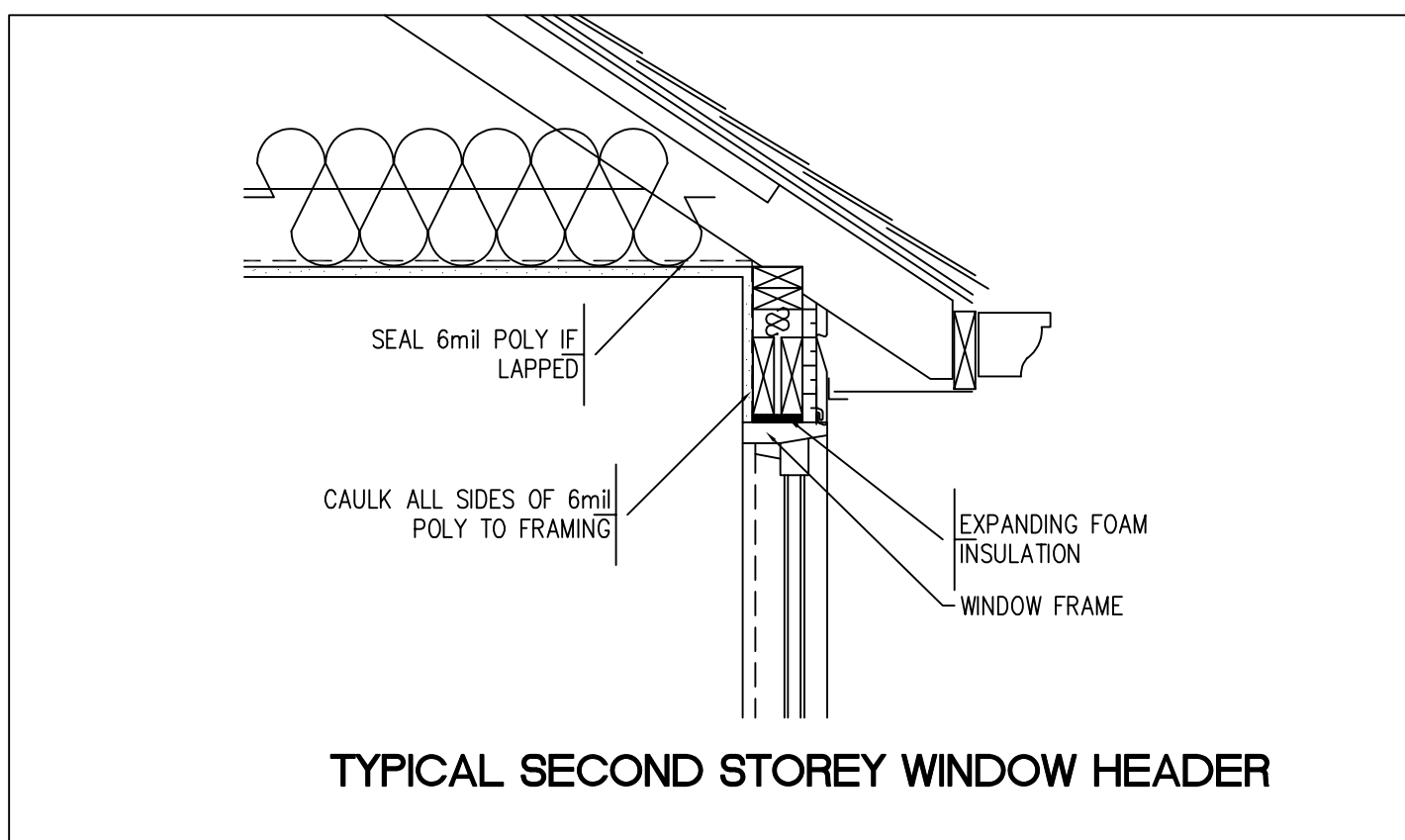
SECTION/NOTES

DRAWN BY: TONY WALL
 BCIN: 29630
 DATE: NOVEMBER 2023

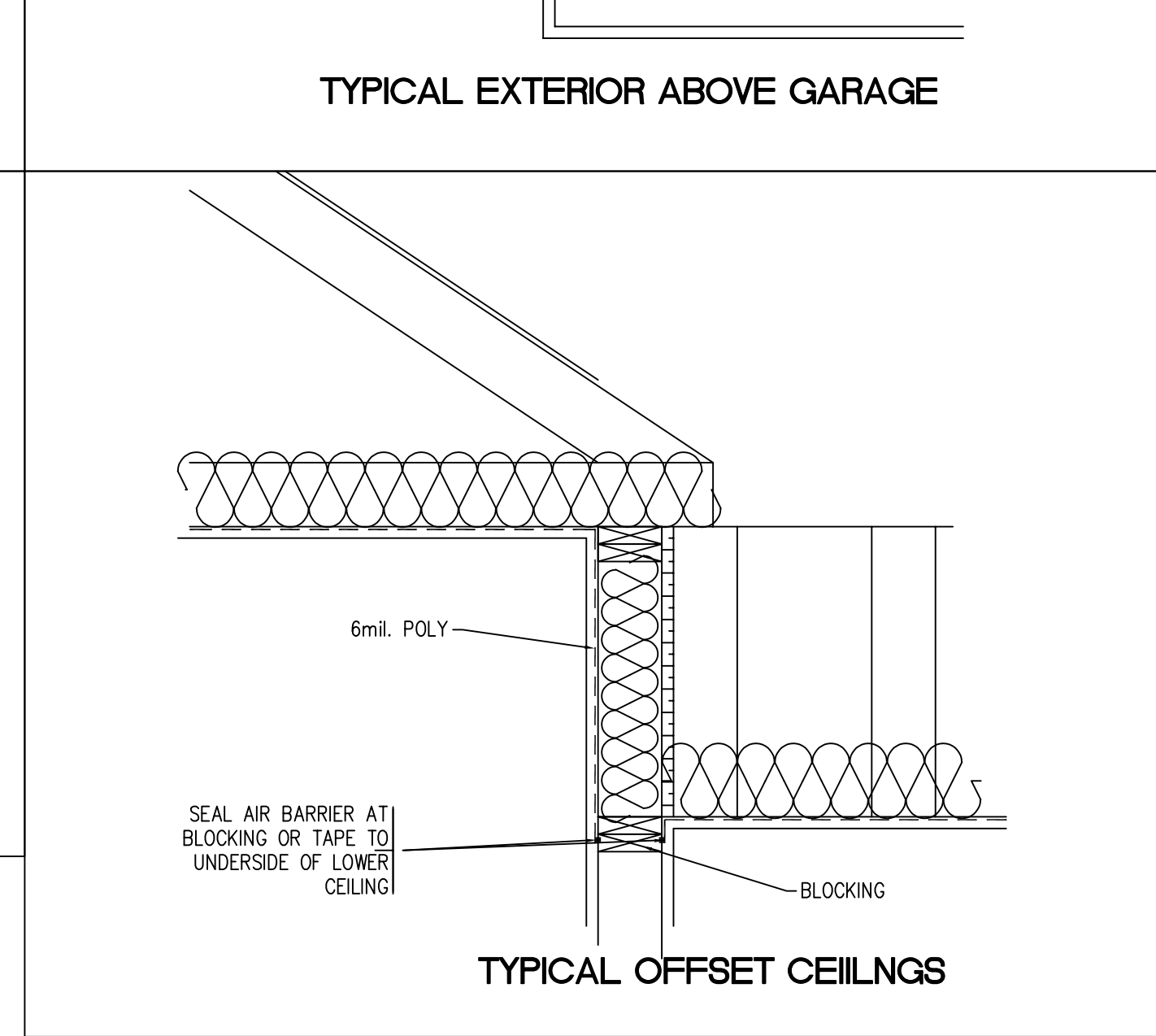
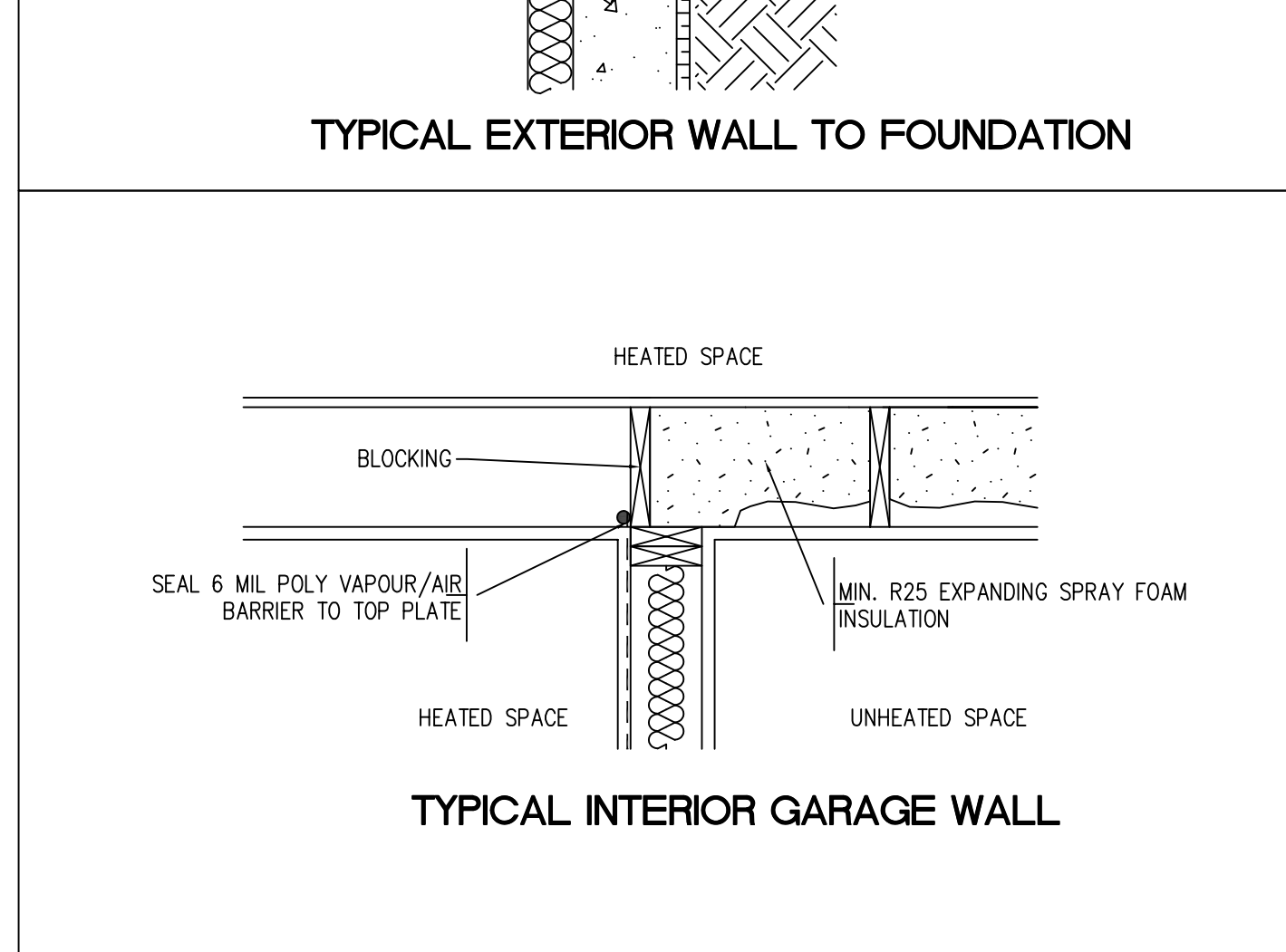
FO# 2323
 SCALE: SEE DWG

SHEET NO. 7 OF 8

A7



- SUPPLEMENTARY AIR BARRIER DETAILS**
- DOOR AND WINDOW FRAMES ARE TO BE FOAMED AND SEALED TO THE INTERIOR OR EXTERIOR AIR BARRIER. (DIV. B-PT. 9, 9.25.3.3(10), (11) & (12))
 - IF THE AIR BARRIER IS LOCATED ON EXTERIOR, SEAL GAPS BETWEEN RIGID INSULATION AND DOOR OR WINDOW FRAMES. RIGID INSULATION IS TO BE CAULKED TO THE TOP AND BOTTOM PLATES. NOTE: PETROLEUM BASED TAR PRODUCTS ARE NOT TO COME IN CONTACT WITH RIGID FOAM SEATHING.
 - BELTS AT FOUNDATION AND BRICK CANILVERS ARE TO BE WRAPPED WITH FLEXIBLE AIR BARRIER MATERAIL AND SEALED TO THE INTERIOR VAPOUR BARRIER, AND FOUNDATION WALL. DIV. B-PT. 9, 9.25.3.3(6) & (8)
 - WALLS ABUTTING ATTIC SPACE AND AN INTERIOR SPACE ARE TO BE BLOCKED SO THE AIR BARRIER CAN BE SEALED ALONG THE BLOCKING WITH AN APPROVED SEALANT. DIV. B-PT. 9, 9.25.3.3(9)
 - ALL PENETRATIONS THROUGH THE WALL OR CEILING AIR BARRIER ARE TO BE TAPED OR CAULKED. ALL BUTT JOINTS IN PANEL TYPE AIR BARRIERS ARE TO BE TAPED. DIV. B-PT. 9, 9.25.3.3(9)
 - SEAL AROUND ALL ATTIC HATCHES
 - ALL LAPS IN AIR BARRIER LOCATED BEHIND TUBS, SHOWERS AND FIREPLACES TO BE SEALED AND CLAMPED. DIV. B-PT. 9, 9.25.3.3(3)
 - ALL PENETRATIONS THROUGH BELTS (PLUMBING, HVAC, ETC.) TO BE SEALED WITH SPRAY FOAM OR CAULKED. DIV. B-PT. 9, 9.25.3.3(9)
 - ALL SUMP PITS TO HAVE A SEALED COVER. DIV. B-PT. 9, 9.25.3.3(16)
 - CLEANOUT COVERS TO BE SEALED, (WEATHER STRIPPED). DIV. B-PT. 9, 9.25.3.1(2)
 - AIR BARRIER TO BE CONTINUOUS THROUGHOUT ENTIRE BASEMENT. DIV. B-PT. 9, 9.25.3.1(2)
 - CAULKING IS REQUIRED AT PERIMETER OF FOUNDATION WALL/FLOOR JOINT AND ALL PIPE AND POST PENETRATIONS. DIV. B-PT. 9, 9.25.3.3(15)
 - MAINTAIN AIR BARRIER BETWEEN COLD ROOM AND BASEMENT. DIV. B-PT. 9, 9.25.3.1(1)
 - AIR BARRIER IS A SEPARATE INSPECTION WHICH MUST BE CALLED PRIOR TO ANY EXTERIOR FINISH (BRICK, SIDING) BEING INSTALLED. BUILDER IS RESPONSIBLE TO ENSURE AIR BARRIER DETAILS ARE IN PLACE WHEN INSPECTION CALLED. DIV. C-PT. 1, 1.3.5.1(e-1)



KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

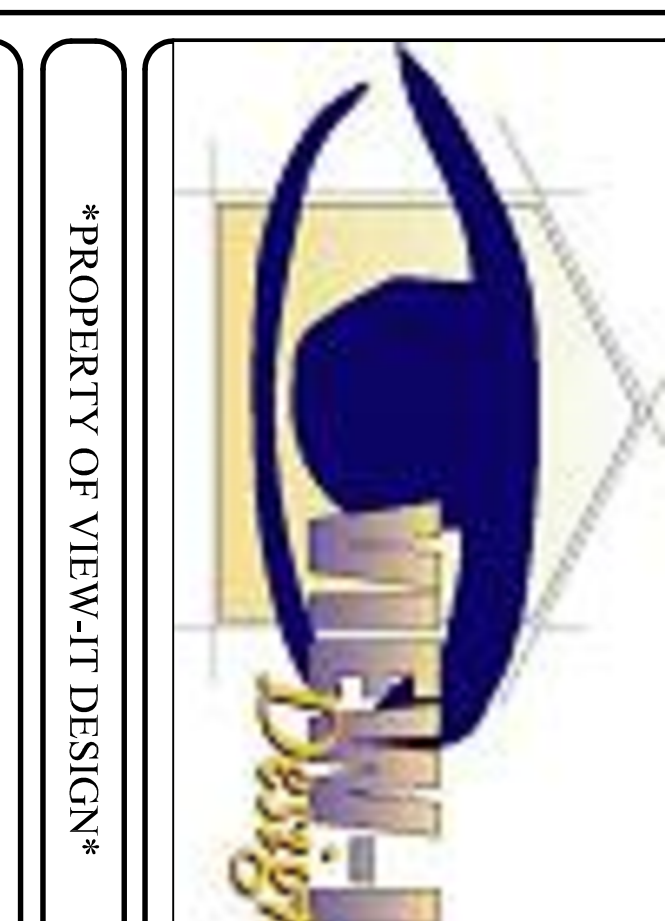
PROPOSED HOUSE PLANS

AIR BARRIER

DRAWN BY: TONY WALL
RCIN: 20620
DATE: NOVEMBER 2023

SCALE: SEE DWG

VIEW-IT DESIGN
R#11 MORTIMERWELL
SCOTTLAND, ON
TEL: 516-814-0877
FAX: 516-814-0877



REV.#	DATE	DESCRIPTION
1		PERMIT ISSUE
2		
3		
4		

FLOOR	SQUARE FOOTAGE
MAIN FLOOR	4300 SQ.FT.
UPPER FLOOR	3000 SQ.FT.
GARAGE	1615 SQ.FT.

Tony Wall
BCIN: 22052

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate classes/categories

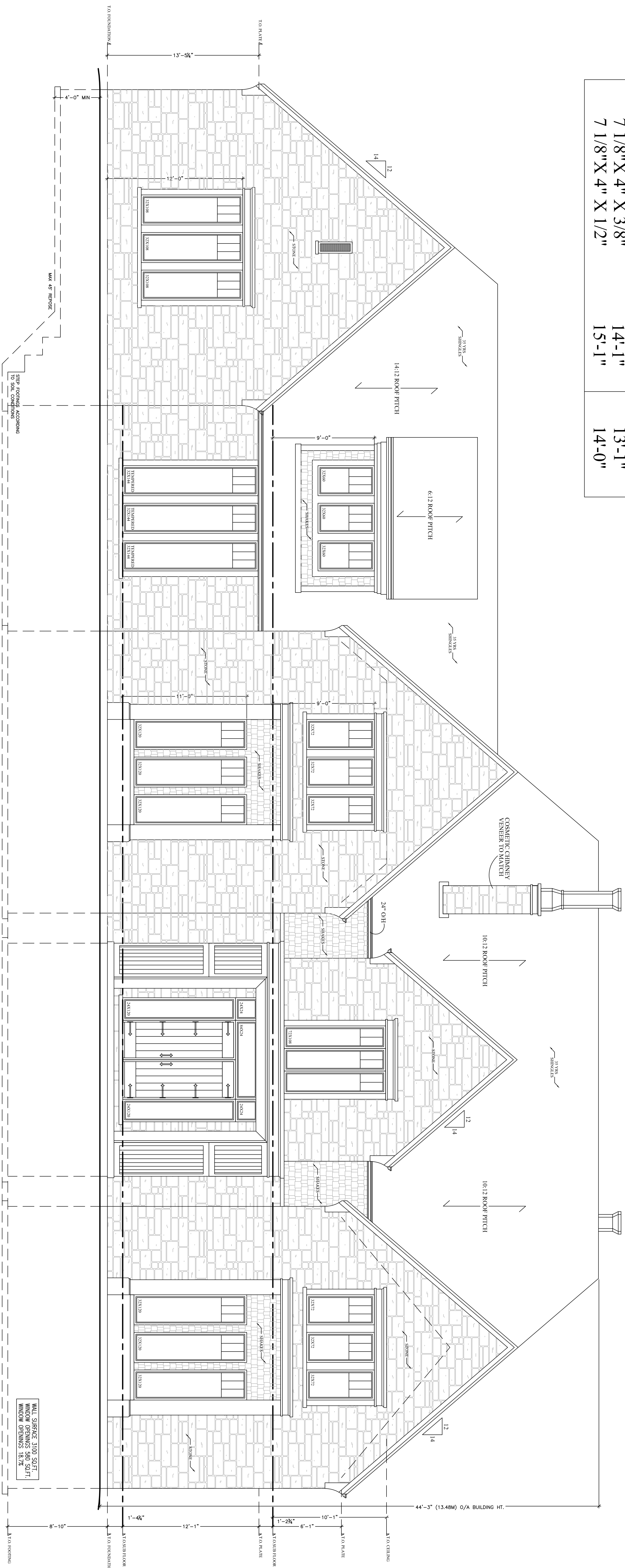
GENERAL NOTES:

LINTEL SCHEDULE FOR MASONRY VENEERS
as per 9.20.5.2B 2016 OBC

	BRICK	STONE
3 1/2" X 3 1/2" X 1/4"	8'-1"	7'-9"
4" X 3 1/2" X 1/4"	8'-9"	8'-2"
4 7/8" X 3 1/2" X 5/16"	10'-10"	10'-1"
4 7/8" X 3 1/2" X 3/8"	11'-5"	10'-8"
4 7/8" X 3 1/2" X 1/2"	11'-9"	10'-11"
5 7/8" X 3 1/2" X 3/8"	12'-7"	11'-8"
5 7/8" X 3 1/2" X 1/2"	13'-5"	12'-5"
7 1/8" X 4" X 3/8"	14'-1"	12'-7"
7 1/8" X 4" X 1/2"	15'-1"	13'-1"
		14'-0"

NORTH ELEVATION

Scale 1/4"=1'-0"



GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the O.B.C. I am qualified, and the firm is registered, in the appropriate class/categories

Tony Wall
BCIN: 22052

	SQUARE FOOTAGE
MAIN FLOOR	430 SQ.FT.
UPPER FLOOR	300 SQ.FT.
GARAGE	1615 SQ.FT.

REV.#	DATE	DESCRIPTION:
1	1102	PERMIT ISSUE
2		
3		
4		



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
SCOTTLAND, ON
PHONE: 518-831-4887
FAX: 518-831-4887

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED HOUSE PLANS
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620	PO#: 23223
DATE: NOVEMBER 2023	
SHEET NO. 4 OF 8	A4

Premise and Justification of Minor Variance Application at 311 Jenkins Road, Scotland

This application seeks relief of 2.5 m from the maximum building height of 11 m, to permit a maximum building height of 13.5 m for the newly proposed single family dwelling. At the same time, this application also seeks relief of 2.5 m from the maximum building height of 8 m to permit a detached residential garage with a maximum building height of 10.5 m. The application further seeks relief of 280 sq. m of “useable floor area” from the maximum permitted 200 sq. m of “useable floor area” of a detached residential accessory building (garage), to permit a two-storey detached garage with a “useable floor area” of 480 sq. m.

The following is attached:

- Site plan showing proposed house and detached garage locations.
- Architectural drawings of the house.
- Architectural drawings of the garage.

Building Permit PRBD20240289 has been issued for the construction of the single family dwelling.

Septic Permit PRSEP20240290 has been issued for the installation of a septic system to service the new dwelling.

Building Permit PRBD 20241431 was applied for as an agricultural building, due to its size. However, because of the “garage doors”, the Building Department has refused to issue the permit as an agricultural building and has deemed it to be a “residential accessory building”. Hence, this has triggered this application to seek relief from maximum height and maximum “useable floor area”.

The application is supported by the 2024 Provincial Planning Statement “2.6.1 c)”. “On rural lands located in municipalities, permitted uses are residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services”. This house and detached garage therefore conform to the 2024 Provincial Planning Statement.

Under Section 45(1) of the Planning Act there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Agricultural in the Norfolk County Official Plan. Single family dwellings, and their appurtenant accessory building, are permitted within this designation. Therefore, this application conforms to the Norfolk County Official Plan.

Norfolk County Zoning By-law 1-Z-2014

Zoning By-law 1-Z-2014 zones the property as Agricultural. Article 12.1.1 d) permits single family dwellings and their appurtenant accessory buildings (detached garage) within the Agricultural Zone. Therefore, this application conforms to the Norfolk County Zoning By-law.

Is the Variance Desirable and Appropriate

This is a 98 acre farm, vacant of any buildings. The construction of the farmer's personal home and personal garage is an appropriate use of this property. The land owner farms the subject lands, making it desirable to live on the property on which he works.

Is the Variance Minor in Nature

The application is minor in nature because it deals with a large scale home set back 145 m from the road, set on a hill on a 98 acre farm to showcase the owner's architectural style. Jenkins Road showcases some of the largest, most prestigious homes in Norfolk County. The combined house and detached garage blend in perfectly with the established streetscape of Jenkins Road. From this location going east, the road is dotted with large scale homes set on large scale properties. A moderate increase of maximum building height on a home and garage, set so far back from the road on a 98 acre parcel of land is negligible. The increase in "useable floor area" of the detached garage amounts to 0.12% of the total lot area, whereas the by-law would permit 10%.

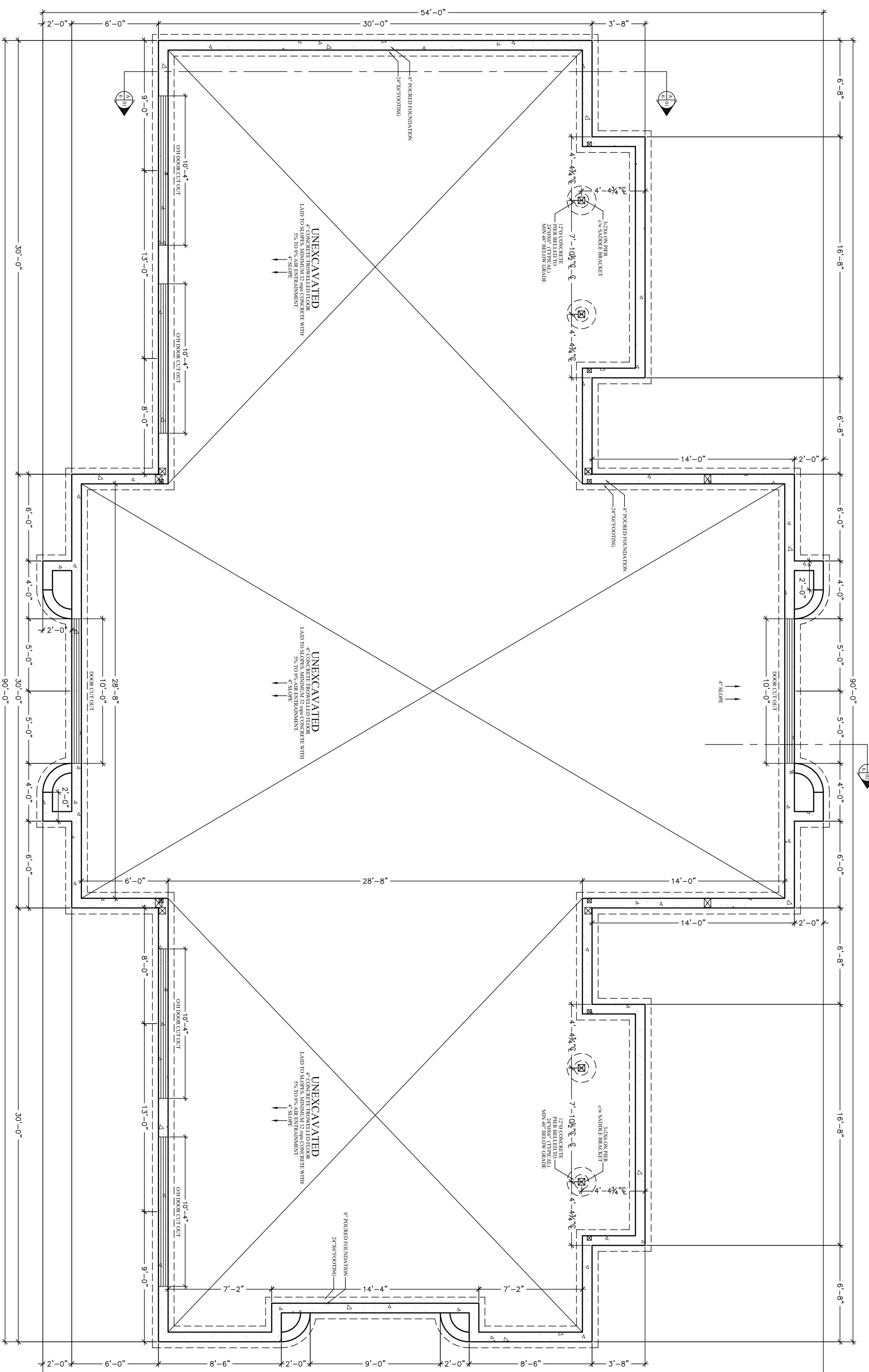
Conclusion

The requested relief in building height and "useable floor area" is minor in nature, appropriate for the neighborhood, compatible with the existing streetscape, supported by the Provincial Planning Statement, and generally meets the intent of the Norfolk County Official Plan and the Norfolk County Zoning By-law.

David McPherson

FOUNDATION PLAN

Scale 1/4" = 1'-0"



GENERAL NOTES:

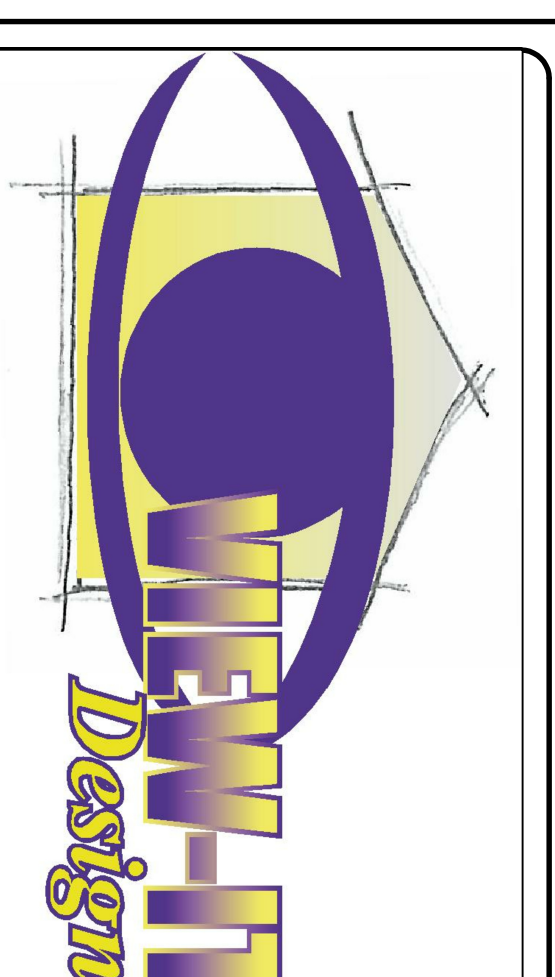
- FOUNDATION PLAN NOTES:
- ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS
- ALL FOOTINGS SHALL BEAR DIRECTLY ON UNDISTURBED SOIL (ASSUMED SOIL BEARING CAPACITY - 2500 P.S.F.)
- APPROVED GRANULAR FILL SHALL BE USED FOR ALL AREAS NOT STANDARD PROJECT MAXIMUM DENSITY.
- ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED GRADE TO PROTECT FROM FROST ACTION.
- CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 25 MPa UNLESS OTHERWISE SPECIFIED. (6% AIR / 4" SLUMP)
- REINFORCING STEEL TO HAVE MINIMUM 1 1/2" COVER, MAXIMUM 2" COVER AT BOTTOM OF SLAB.

I review and take responsibility for the design work on behalf of the business and subscription 2174 of the O.R.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

MAIN FLOOR	SQUARE FOOTAGE	3396 SQ.FT.
UPPER FLOOR	SQUARE FOOTAGE	1775 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2		
1	07/17	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
PHONE: 319-551-1173
FAX: 319-551-4889

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

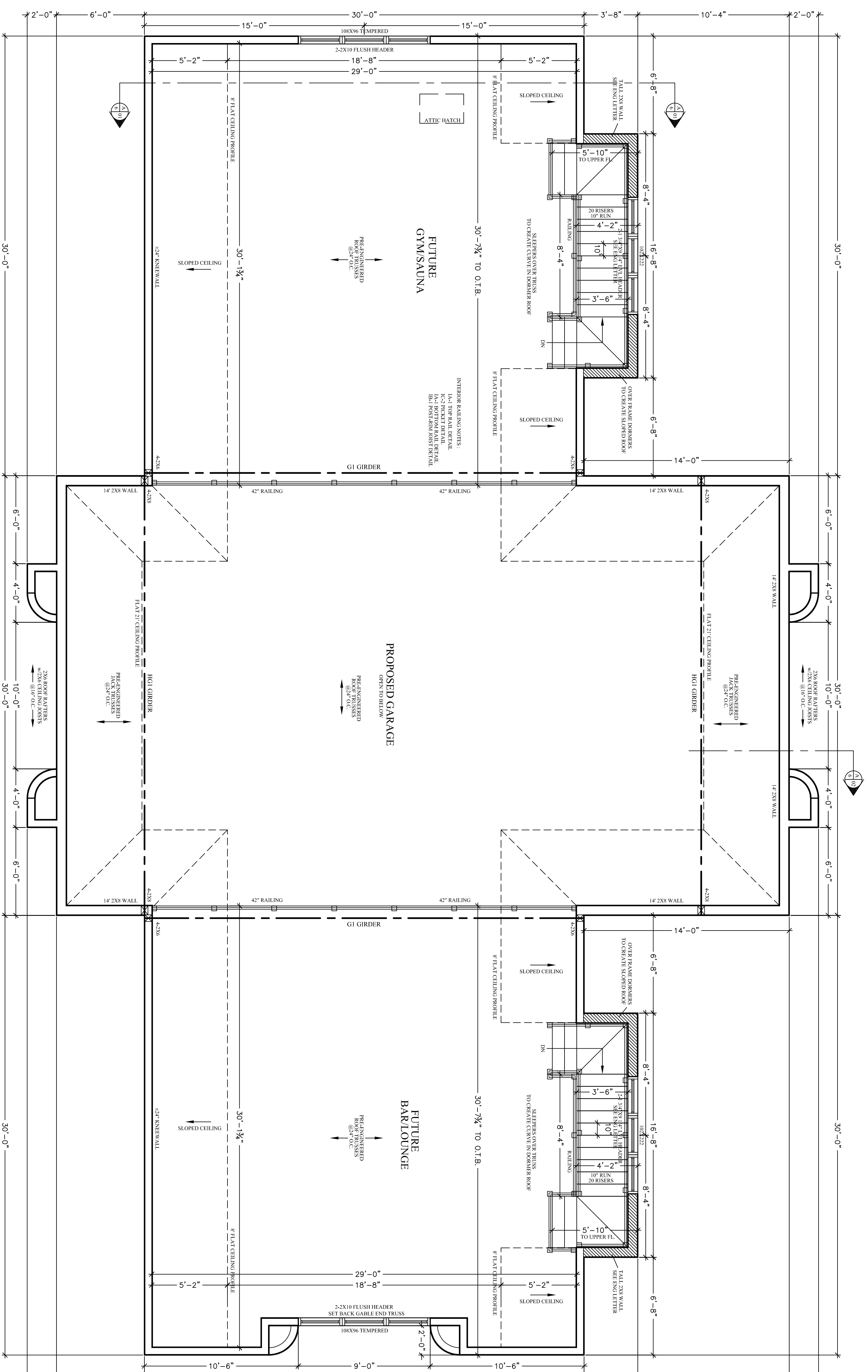
PROPOSED GARAGE PLANS
FOUNDATION PLAN

DRAWN BY: TONY WALL SCALE: SEE DWG
BCIN: 29620 PO#: 24166
DATE: JULY 2024
SHEET NO. 1 OF 6

A1

UPPER FLOOR PLAN

Scale 1/4" = 1'-0"



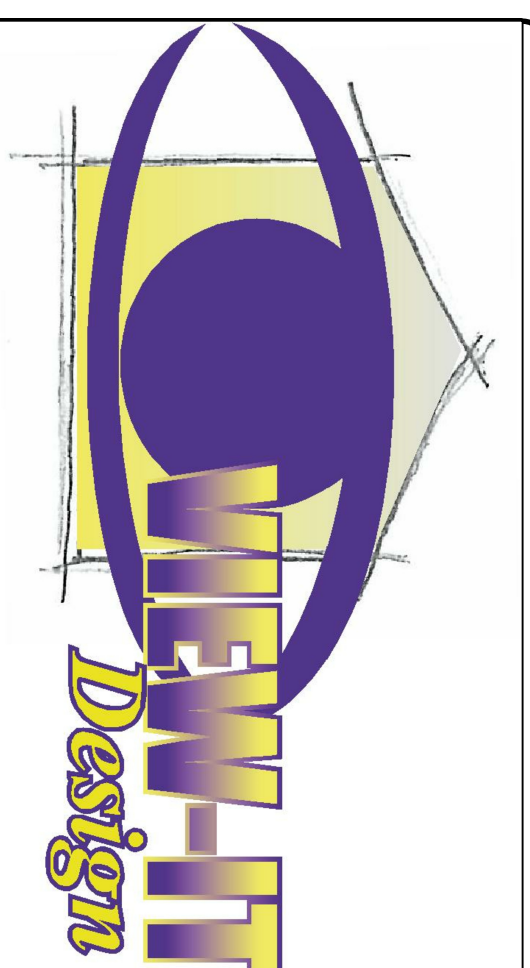
GENERAL NOTES:

I review and take responsibility for the design work on behalf of the business under subsection 2.17.4 of the O.R.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

MAIN FLOOR	SQUARE FOOTAGE	3396 SQ.FT.
UPPER FLOOR	SQUARE FOOTAGE	1775 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2		
1	07/17	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 390-51-1173
PHONE: 390-51-4889
FAX: 390-51-4889

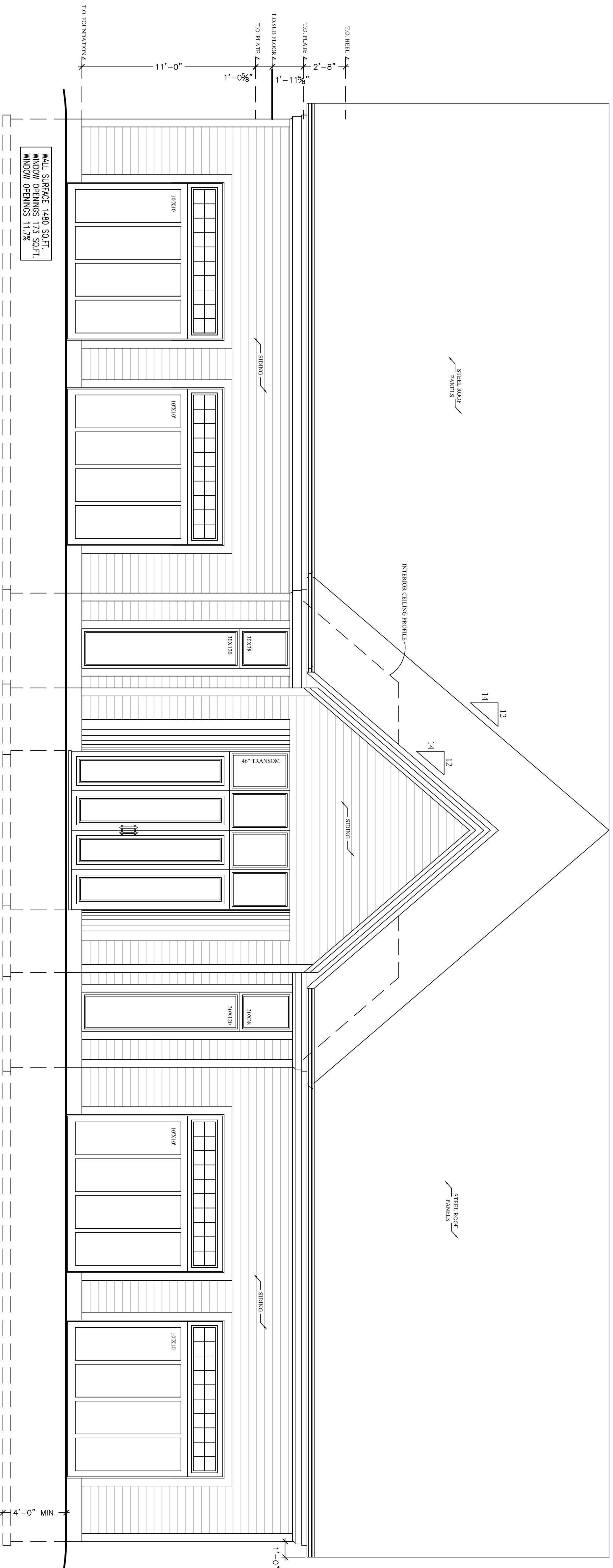
KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED GARAGE PLANS
UPPER FLOOR PLAN

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620	PO#: 24166
DATE: JULY 2024	
SHEET NO. 3 OF 6	A3

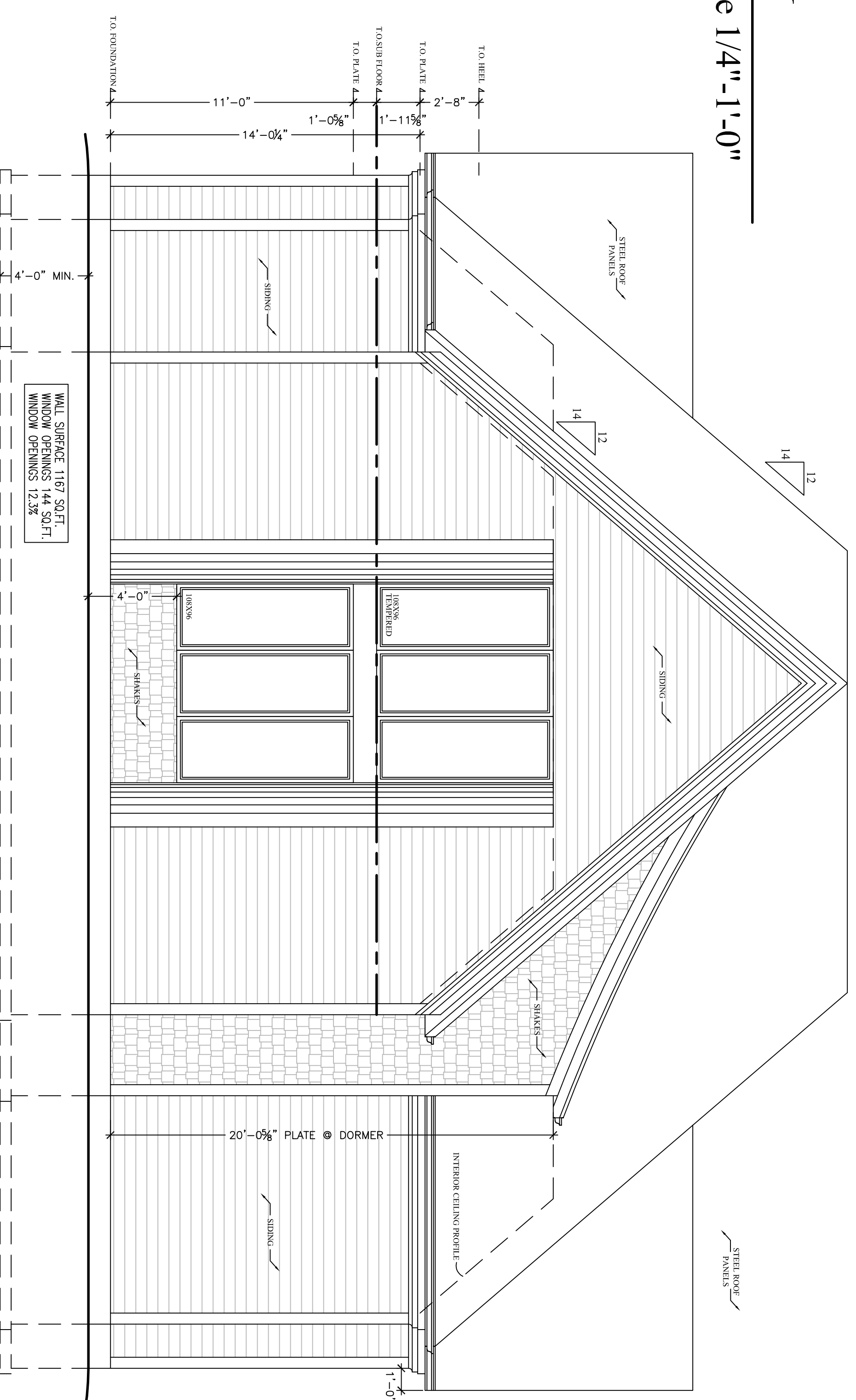
FRONT ELEVATION

Scale 1/4" = 1'-0"



RIGHT ELEVATION

Scale 1/4" = 1'-0"



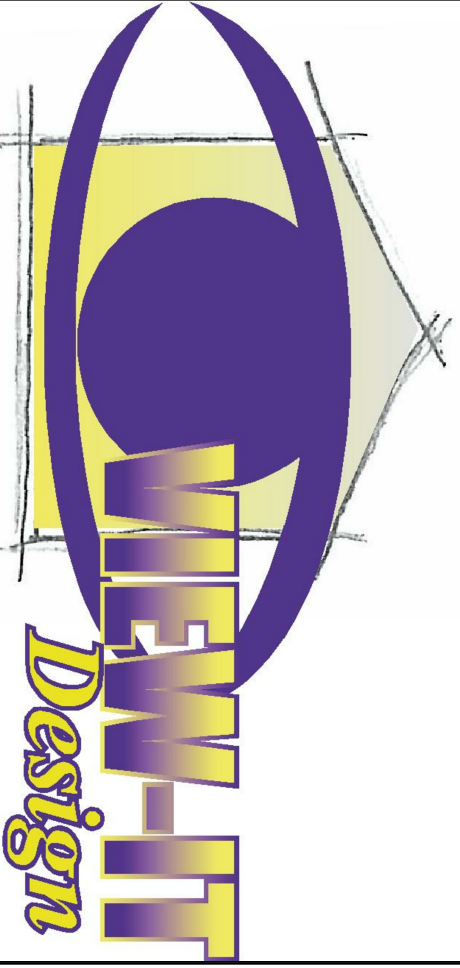
GENERAL NOTES:

I review and take responsibility for the design work on behalf of a firm licensed under subsection 2.17.4. of the O.R.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

MAIN FLOOR	SQ/LARE FOOTAGE	3396 SQ.FT.
UPPER FLOOR	SQ/LARE FOOTAGE	1775 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2		
1	07/17	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
PHONE: 319-851-0172
FAX: 319-851-4889

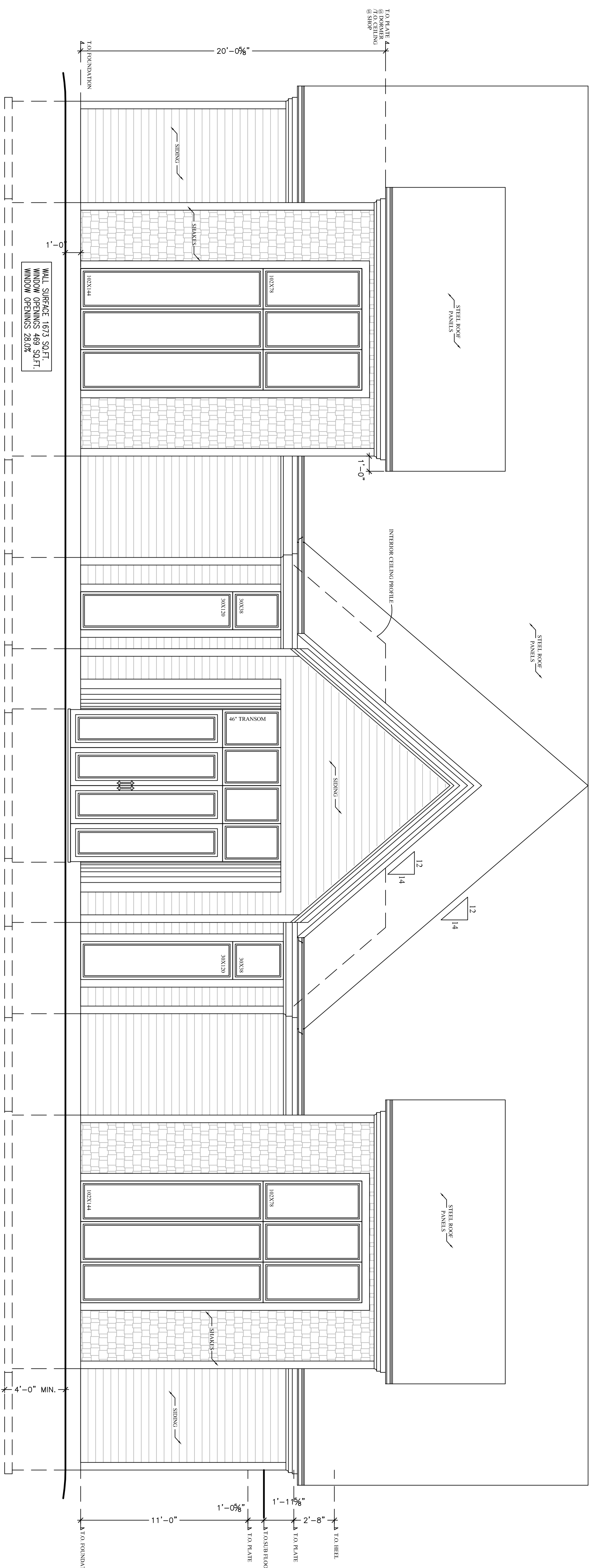
KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED GARAGE PLANS
ELEVATIONS

DRAWN BY: TONY WALL	SCALE: SEE DWG
BCIN: 29620	PO# 24166
DATE: JULY 2024	
SHEET NO. 4 OF 6	A4

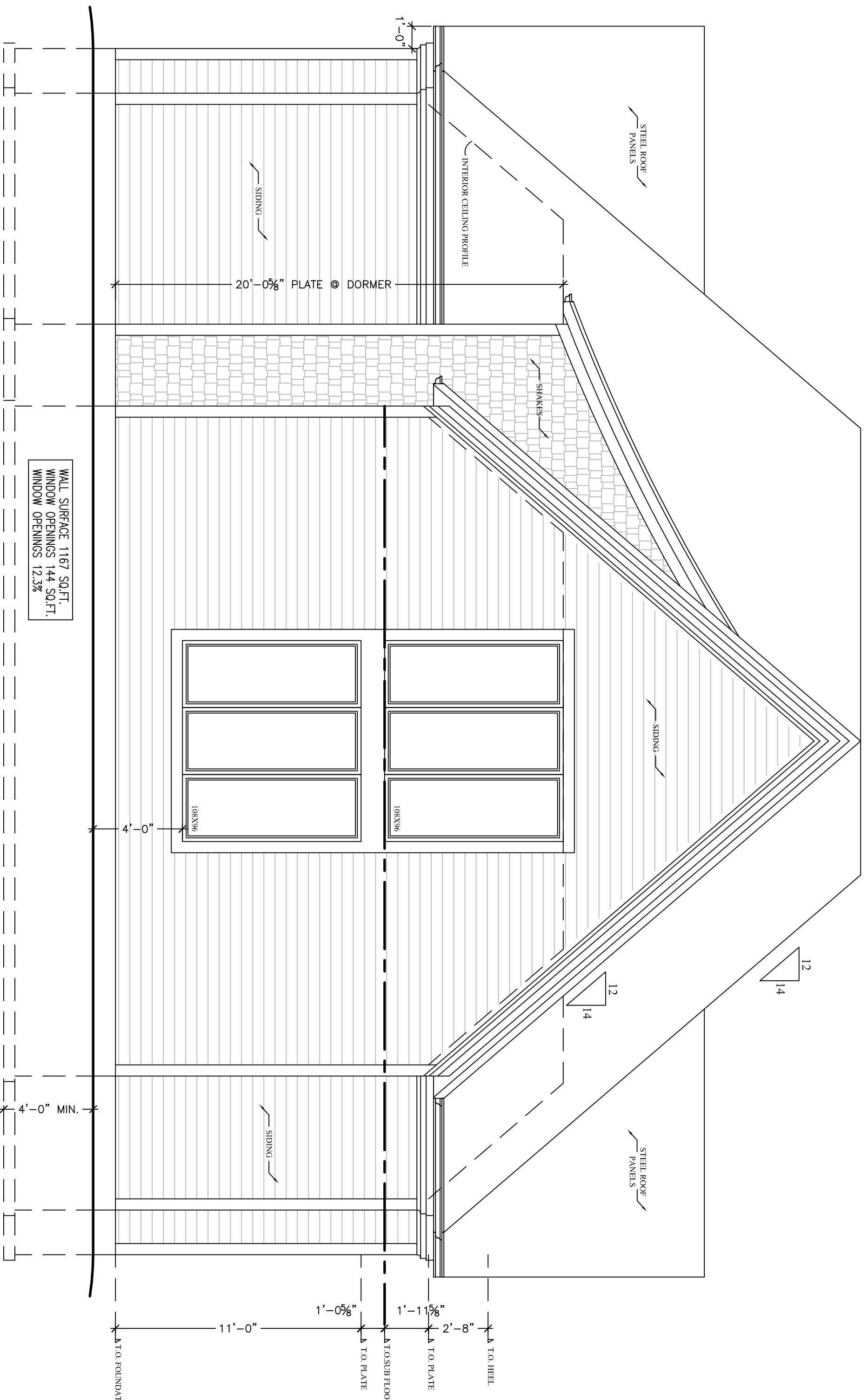
REAR ELEVATION

Scale 1/4" = 1'-0"



LEFT ELEVATION

Scale 1/4" = 1'-0"



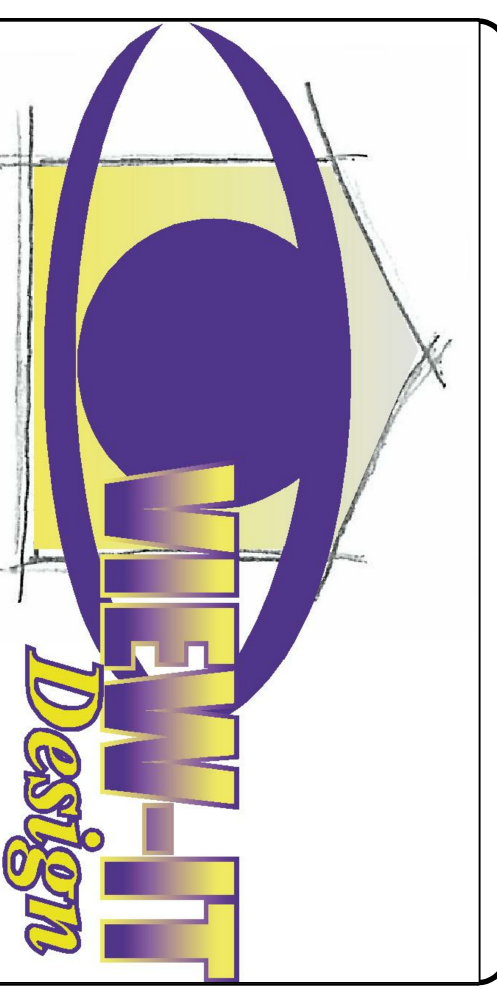
GENERAL NOTES:

I review and take responsibility for the design work on behalf of the architect under subsection 2.17.4. of the O.R.C. I am qualified, and the firm is registered, in the appropriate classes/categories

Tony Wall
BCIN : 22052

MAIN FLOOR	SQUARE FOOTAGE	3396 SQ.FT.
UPPER FLOOR	SQUARE FOOTAGE	1775 SQ.FT.

REV.#	DATE	DESCRIPTION:
4		
3		
2		
1	07/17	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 310-851-0172
PHONE: 310-851-0172
FAX: 310-851-0189

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED GARAGE PLANS

ELEVATIONS

DRAWN BY: TONY WALL SCALE: SEE DWG

BCIN: 29620 PO# 24166

DATE: JULY 2024

SHEET NO. 5 OF 6

A5

GENERAL NOTES:

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ONTARIO REG. 403/97 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND BE FAMILIAR WITH PART 9 OF THE CODE.

STAIR DIMENSIONS (UNLESS OTHERWISE SHOWN ON DRAWINGS)

INTERIOR:

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

EXTERIOR

MAX RISE 200mm (7 7/8")
MIN. RUN 255mm (10")
MIN. TREAD 278mm (11")
NOSING 25mm (1")

UNIFORM RISE & RUN ON ANY FLIGHT OF STAIRS
MINIMUM HEADROOM 1950mm (6' 5")
GUARD HEIGHT AT LANDING 902mm (35 1/2")
AT STAIRS BETWEEN 902mm (35 1/2")
GUARD RAILING 1000mm (41") NON-COMBUSTIBLE
HANDRAILS INSTALLED BETWEEN 920mm (36")

CONCRETE STAIRS OVER 2 RISERS ARE REQUIRED TO BE SUPPORTED ON FOUNDATION
HANDRAIL RFD ON STAIRS OVER 3 RISERS INSTALLED BETWEEN 864mm (34") & 965mm (38")

CONCRETE

AS PER OBC SECTION 9.15 & 9.16

ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MIN SOIL BEARING PRESSURE OF 2000 PSF
CONCRETE FOR FOOTINGS & FOUNDATIONS TO HAVE MIN. COMPRESSIVE STRENGTH OF 20 MPa (2900 PSI) AT 28 DAYS

STEP FOOTINGS:

MAX RISE 600mm (23 5/8") FOR FIRM SOIL
MAX RISE 400mm (16" FOR SAND OR GRAVEL
MIN RUN BETWEEN RISERS 600mm (23 5/8")
ANGLE OF REPOSE IS 45°

CONCRETE FOUNDATION WALLS SHALL EXTEND TO 6" MIN. ABOVE FINISHED GRADE
FOOTING DESIGN MIN. 6" DEEP X 4" MIN. PROTECTION BEYOND FOUNDATION WALL AND MIN. OF 16" WIDE
CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED TO SUFFICIENT DEPTH TO PROVIDE ADEQUATE FROST PROTECTION

WOOD FRAME CONSTRUCTION

AS PER OBC SECTION 9.23

ALL STRUCTURAL LUMBER TO BE SPF#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM SPAN TABLES OF THE BUILDING CODE.

SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-10" MAX ON SPACING WITH 4" MIN. EMBEDMENT INTO THE CONCRETE.

JOIST END BEARING TO BE 1 1/2 MIN.

BEAMS & GIRDERS SHALL HAVE 3 1/2" MIN END BEARING

BEAMS & POINT LOADS SHALL BE SUPPORTED FULL WIDTH TO FOUNDATION

ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE FLOOR JOIST OR SOLID BLOCKING AT 31" O.C.
ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

EXTERIOR DOORS & WINDOWS

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS
ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-0132.2-M, STEEL INSULATED CONFORM TO CAN/CSG-B-82.5M
WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS

ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6. RESISTANCE TO FORCED ENTRY
EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. THESE WINDOWS MUST HAVE AN UNOBSTRUCTED OPEN AREA OF 3.8 SQ.FT. WITH NO DIMENSION LESS THAN 15"

VENTILATION

AS PER OBC SECTION 9.23.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ.FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ.FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE EAVES.

PROVIDE BAFPLES AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW

PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.32.2 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

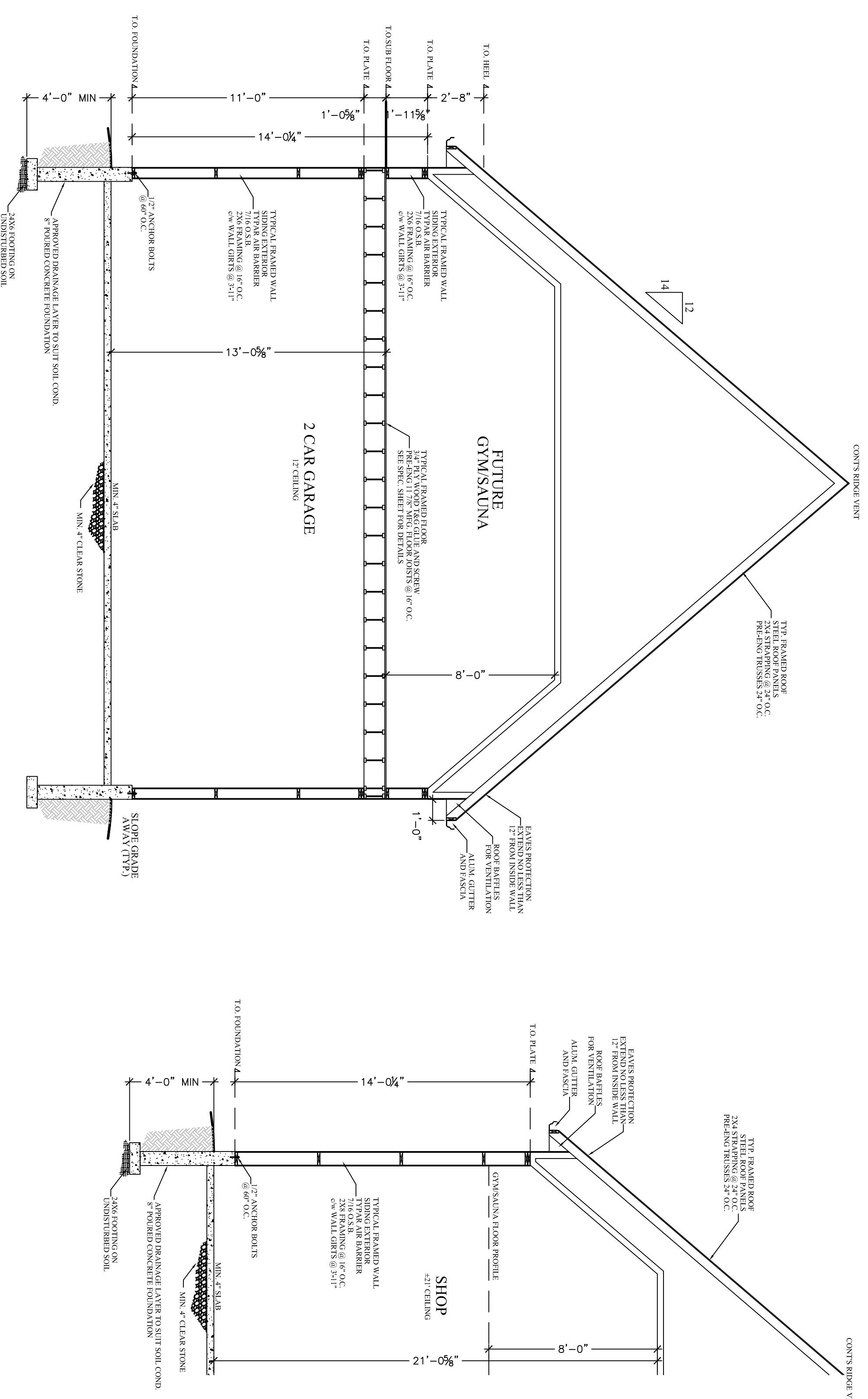
ELECTRICAL

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS)

SECTION 01:01

Scale 1/4"=1'-0"



SECTION 02

Scale 1/4"=1'-0"

GIRDER POST SUPPORTS

BUILT-UP COLUMN SELECTION TABLE				
NAILED BUILT-UP				
	S-P-F No.1 / No.2	3 PLY	4 PLY	5 PLY
8'	3,442 lbf	9,652 lbf	15,342 lbf	19,177 lbf
9'	2,645 lbf	8,390 lbf	12,291 lbf	15,363 lbf
10'	2,063 lbf	6,996 lbf	9,860 lbf	12,325 lbf
11'	1,628 lbf	5,911 lbf	7,946 lbf	9,939 lbf
12'	1,299 lbf	4,810 lbf	6,366 lbf	7,911 lbf

BUILT-UP COLUMN SELECTION TABLE

NAILED BUILT-UP

WALL HT	2 x 6			
	S-P-F No.1 / No.2	3 PLY	4 PLY	5 PLY
8'	5,279 lbf	14,932 lbf	25,382 lbf	33,951 lbf
9'	4,098 lbf	12,973 lbf	22,947 lbf	32,030 lbf
10'	3,207 lbf	10,868 lbf	20,895 lbf	30,000 lbf
17'	N/A	3,215 lbf	9,014 lbf	18,808 lbf
18'	N/A	3,013 lbf	7,957 lbf	13,870 lbf

NOTES:

- * PROVIDE SOLID BEARING BELOW ALL BEAMS AND GIRDER TRUSSES (i.e. 2 PLY TRUSS REQUIRES MINIMUM 2 STUDS FOR BEARING).
- * ALL LUMBER IN THE DESIGNS ABOVE ARE SPF #2 OR BETTER
- * BUILT-UP COLUMNS ARE TO BE MAILED OR BOLTED AS PER ONTARIO BUILDING CODE AND CSA-086.1-94 REQUIREMENTS.
- * THESE CHARTS ARE MEANT TO BE USED AS A DESIGN GUIDELINE ONLY. ALL ITEMS NOT CONFORMING TO THE ONTARIO BUILDING CODE PART 9 ARE TO BE REVIEWED AND CERTIFIED BY A STRUCTURAL ENGINEER.

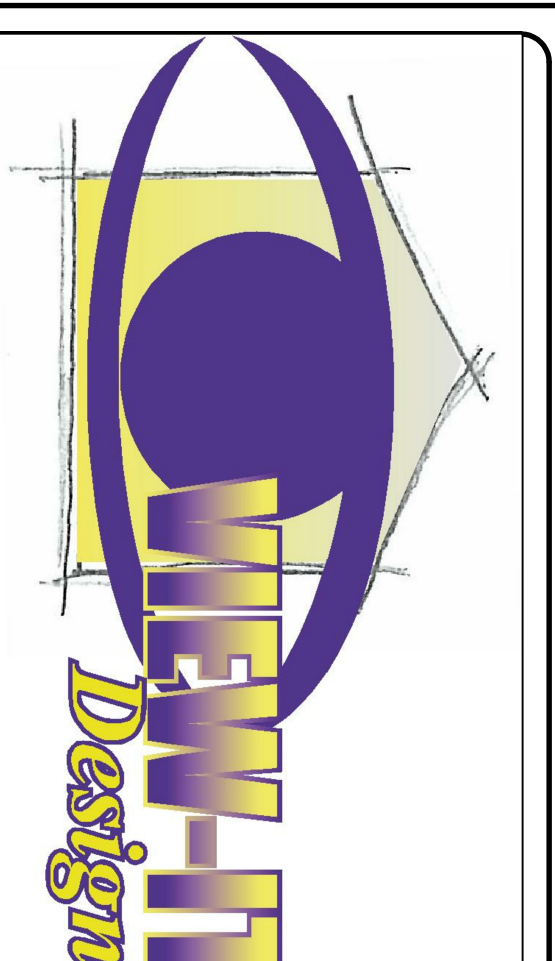
GENERAL NOTES:

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Tony Wall
BCIN: 22052

MAIN FLOOR	3396 SQ.FT.
UPPER FLOOR	1775 SQ.FT.

REV.#	DATE	DESCRIPTION:
1	07/17	PERMIT ISSUE



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN
RR# 1 PORT BURWELL
OFFICE: 396-51-112
FAX: 396-51-480

KOMIENSKI RESIDENCE
JENKINS ROAD
SCOTTLAND, ON

PROPOSED GARAGE PLANS

SECTION/NOTES

DRAWN BY: TONY WALL
BCIN: 29620 PO# 24166

SCALE: SEE DWG

DATE: JULY 2024

SHEET NO. 6 OF 6

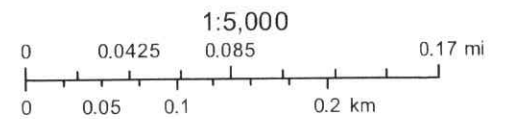
A6

MAP NORFOLK - Community Web Map



2/14/2024, 12:18:41 PM

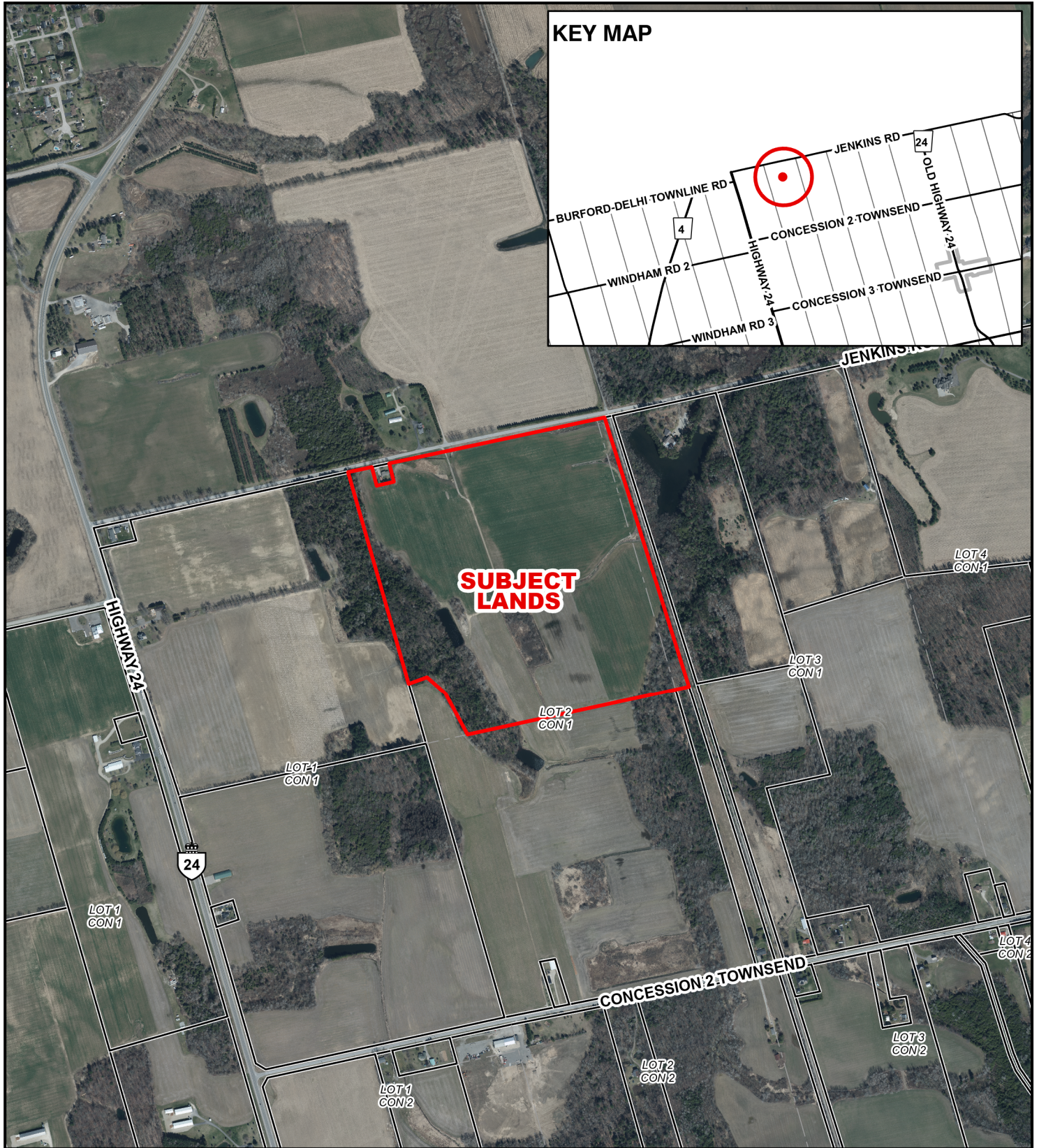
- Land Parcels
- Road Labels
- Civic Address
- DraftPlan
- Plan Lines




Queen's Printer for Ontario
Norfolk GIS

CONTEXT MAP

Geographic Township of TOWNSEND

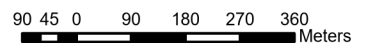
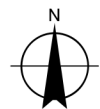


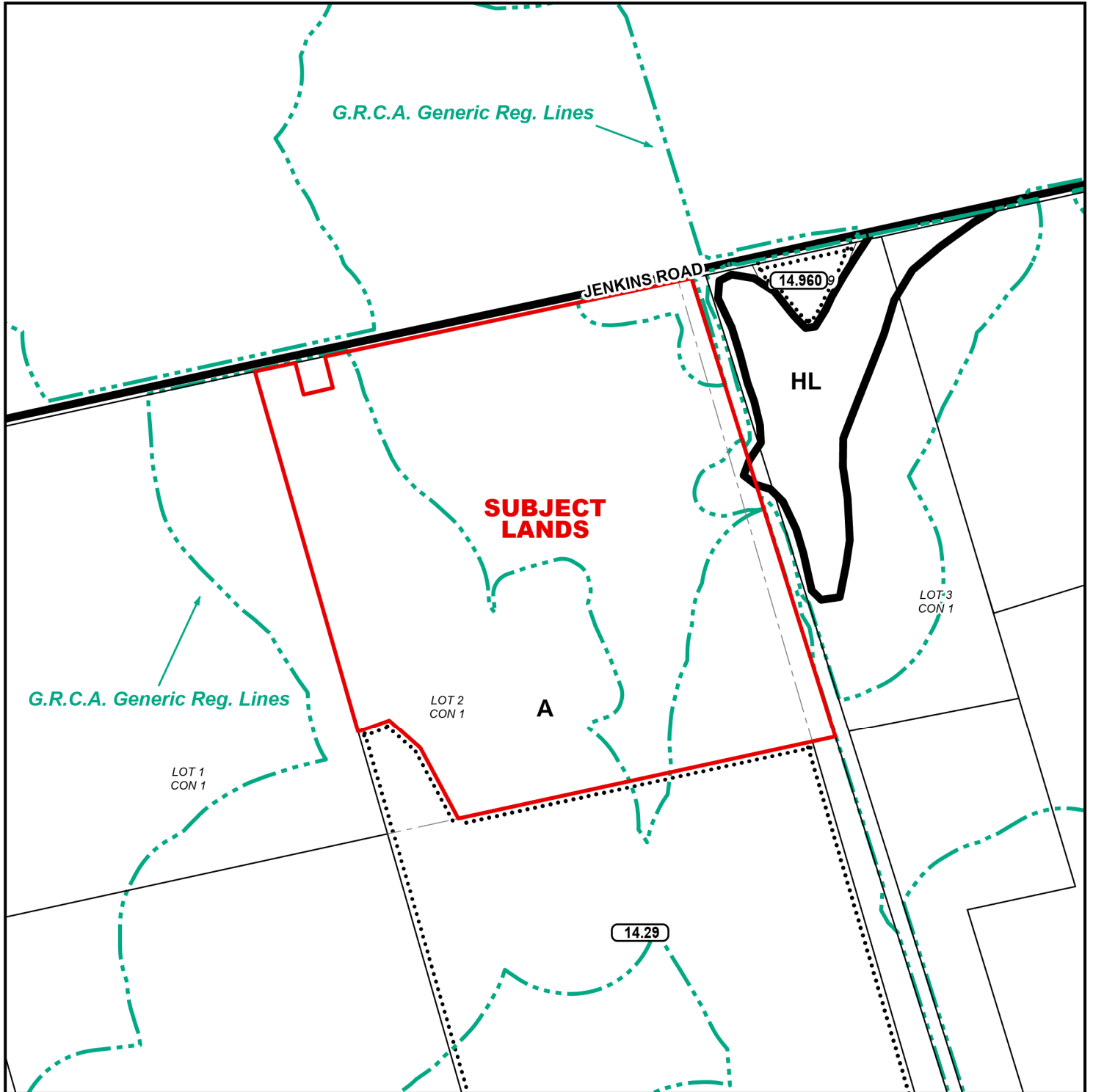
Legend

 Subject Lands



2020 Air Photo

5/7/2025





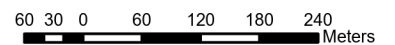
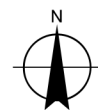
LEGEND

-  Subject Lands
-  GRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

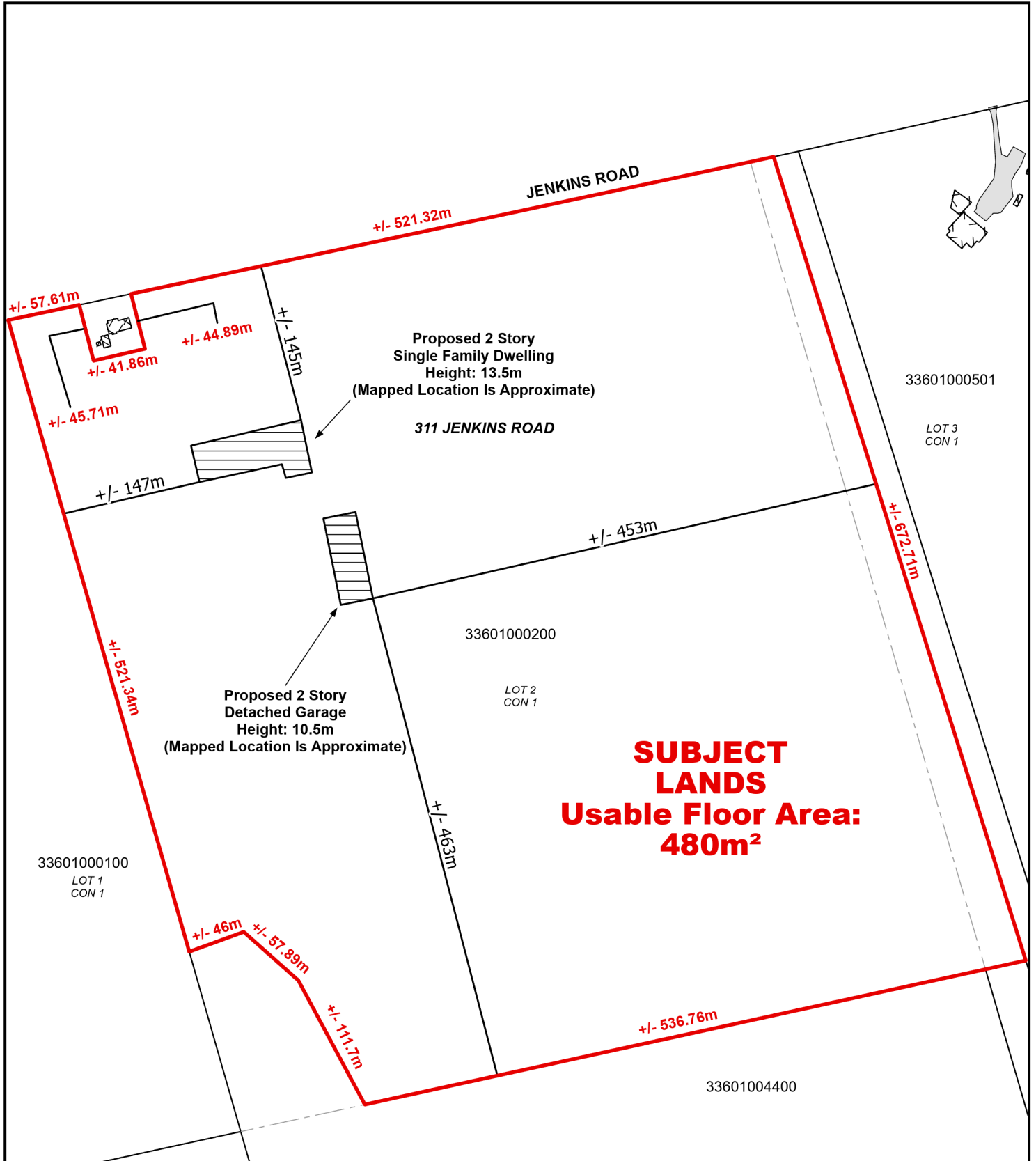
5/7/2025

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

Subject Lands

5/7/2025

