

## Committee of Adjustment Application to Planning Department

### Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.

**Planning application development fees are not required with the submission of your completed and signed development application. Your planning application fee will be determined by the planner when your application has been verified and deemed complete. Prepayments will not be accepted.**

5. Completed applications are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application [committee.of.adjustment@norfolkcounty.ca](mailto:committee.of.adjustment@norfolkcounty.ca). Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

### Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: [www.norfolkcounty.ca/planning](http://www.norfolkcounty.ca/planning)

## **After Your Application is Submitted**

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

**Additional studies** required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

## **Notification Sign Requirements**

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibility to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

## **Contact Us**

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or [Committee.of.Adjustment@NorfolkCounty.ca](mailto:Committee.of.Adjustment@NorfolkCounty.ca)



**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

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**Check the type of planning application(s) you are submitting.**

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

**Property Assessment Roll Number:** 336-202-17700-0000

**A. Applicant Information**

**Name of Owner**<sup>48m</sup> KEITH FAIR, DEBORAH GAIL HAWES, COURTNEY DAWN SILVERTHORN

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1964 VILLA NOVA RD

Town and Postal Code WILSONVILLE N0E 1Z0

Phone Number 519-732-3730

Cell Number \_\_\_\_\_

Email keithfair@outlook.com

**Name of Applicant** KEITH FAIR

Address 1964 VILLA NOVA RD

Town and Postal Code WILSONVILLE N0E 1Z0

Phone Number 591-732-3730

Cell Number 519-732-3730

Email keithfair@outlook.com

**Name of Agent** CHRISTIAN HOLLINGSHEAD

Address 34 MOUNT ROYAL AVE

Town and Postal Code HAMILTON L8P 4H8

Phone Number 905-975-8765

Cell Number \_\_\_\_\_

Email hollingsheaddesigner@gmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner                                       Agent                                       Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

NONE

\_\_\_\_\_

\_\_\_\_\_

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

\_\_\_\_\_

\_\_\_\_\_

Municipal Civic Address: 1964 VILLA NOVA RD WILSONVILLE ON N0E 1Z0

Present Official Plan Designation(s): AGRICULTURAL

Present Zoning: "A" AGRICULTURAL

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify:

\_\_\_\_\_

3. Present use of the subject lands:

AGRICULTURAL, DWELLING SINGLE DETACHED

\_\_\_\_\_

\_\_\_\_\_

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

1 STOREY SINGLE FAMILY DWELLING(no changes proposed), 222m2 FOOTPRINT, FYS=19m, SYS=195m, 90mRYS=161m, HEIGHT=(approx)5m, LOT COVERAGE=1.3%  
~~EXISTING 1 STOREY ACCESSORY STRUCTURE (to be demolished), 167m2 FOOTPRINT, FYS=48m, SYS=177m, 122m, RYS=126m, HEIGHT=(approx) 5m, LOT COVERAGE=1%~~

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

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6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

320 2 STOREY ACCESSORY STRUCTURE (GARAGE/SHED) 195m2 FOOTPRINT,  
320m2 USABLE FLOOR AREA, FYS=45m, SYS=181m, 119m, RYS=126m, HEIGHT=7.5m,  
LOT COVERAGE=1%

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

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8. If known, the length of time the existing uses have continued on the subject lands:

UNKOWN

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9. Existing use of abutting properties:

UNKNOWN, LIKELY AGRICULTURAL

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10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

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### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.** **REQUIREMENTS FOR ACCESSORY STRUCTURES**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	309m			NO CHANGE	
Lot depth	238m IRREGULAR			NO CHANGE	
Lot width	309m IRREGULAR			NO CHANGE	
Lot area	16.87ha			NO CHANGE	
Lot coverage	>1%			1%	
Front yard	48m			48m	
Rear yard	126m			126m	
Height	5.0m			7.5m	
Left Interior side yard					
Right Interior side yard	122m			119m	
Exterior side yard (corner lot)	177m			181m	
Parking Spaces (number)	2			2	
Aisle width	10m			NO CHANGE	
Stall size					
Loading Spaces					
Other	NOTE: THE ONLY VARIANCE REQUESTED IS FOR USABLE FLOOR AREA Allowed 200sqm proposed 320sqm deficiency is 120sqm				

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

THE ACCESSORY STRUCTURE WILL NOT SERVE ITS PURPOSE WITHIN THE  
REQUIREMENT FOR USABLE FLOOR AREA

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: 126m \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_



Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?  Yes  No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

NOT REQUESTED BY LOCAL PLANNING AUTHORITY

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3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

GRCA HAS APPROVED AN APPLICATION FOR PERMIT No. 649/24

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

On the subject lands or  within 500 meters – distance N/A

**Wooded area**

On the subject lands or  within 500 meters – distance N/A

**Municipal Landfill**

On the subject lands or  within 500 meters – distance N/A

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance N/A

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance 20m see GRCA PERMIT  
48m

**Floodplain**

On the subject lands or  within 500 meters – distance N/A

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance N/A

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance N/A

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance N/A

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance N/A

**Active railway line**

On the subject lands or  within 500 meters – distance N/A

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance N/A

**Erosion**

On the subject lands or  within 500 meters – distance N/A

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance N/A

**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

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Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

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Storm Drainage

- Storm sewers
- Other (describe below)
- Open ditches

NONE

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2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

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**G. All Applications: Other Information**

1. Does the application involve a local business?  Yes  No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

THE PROPOSED ACCESSORY STRUCTURE WILL HAVE A FOOTPRINT OF 15% GREATER THAN THE EXISTING ACCESSORY STRUCTURE.  
~~THE EXISTING ACCESSORY STRUCTURE IS IN POOR REPAIR, NOT A CANDIDATE FOR REPAIR.~~

## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition 119m

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**



**K. Declaration**

I, CHRISTIAN HOLLINGSHEAD of HAMILTON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

14:30



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Owner/Applicant/Agent Signature

In HAMILTON

This 3rd day of MARCH

A.D., 2025

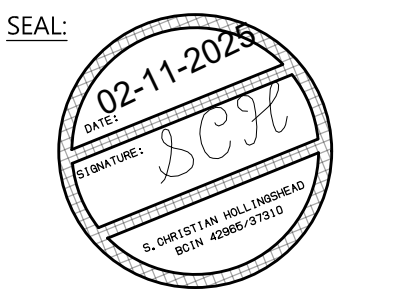
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A Commissioner, etc.

S. CHRISTIAN HOLLINGSHEAD  
 OBC DESIGNER BCIN 42965/37310  
 SMALL BUILDINGS,  
 STRUCTURAL, PLUMBING

34 MOUNT ROYAL AVENUE  
 HAMILTON, ONTARIO  
 L8P 4H8 (905) 975-8765  
 hollingsheaddesigner@gmail.com

THE DESIGN AND REVIEW FOR THE CONTENTS OF THIS DOCUMENT HAVE BEEN PROVIDED BY THE FOLLOWING:

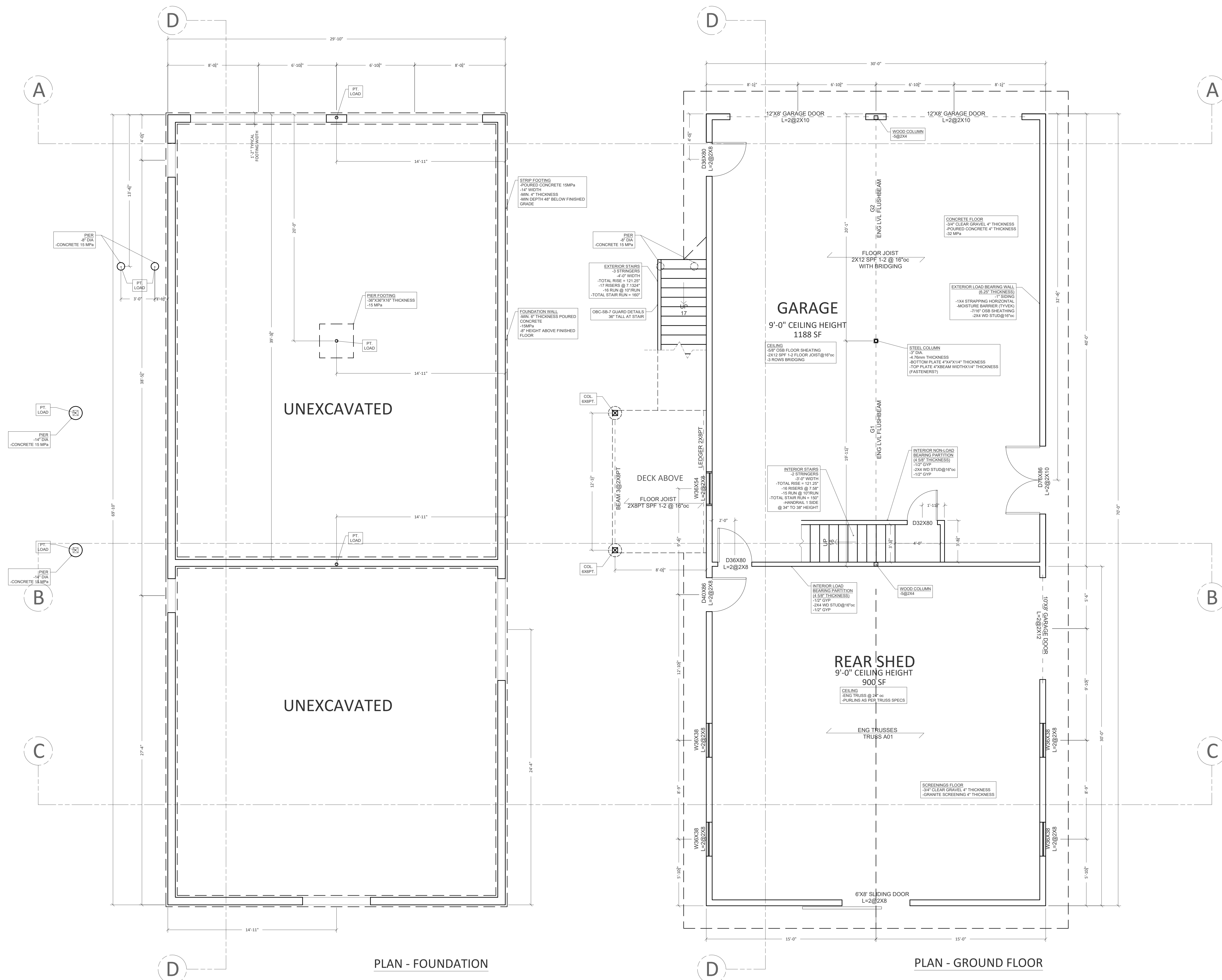


PROJECT ADDRESS:  
 1964 VILLA NOVA RD  
 WILSONVILLE, ON  
 NOE 1Z0

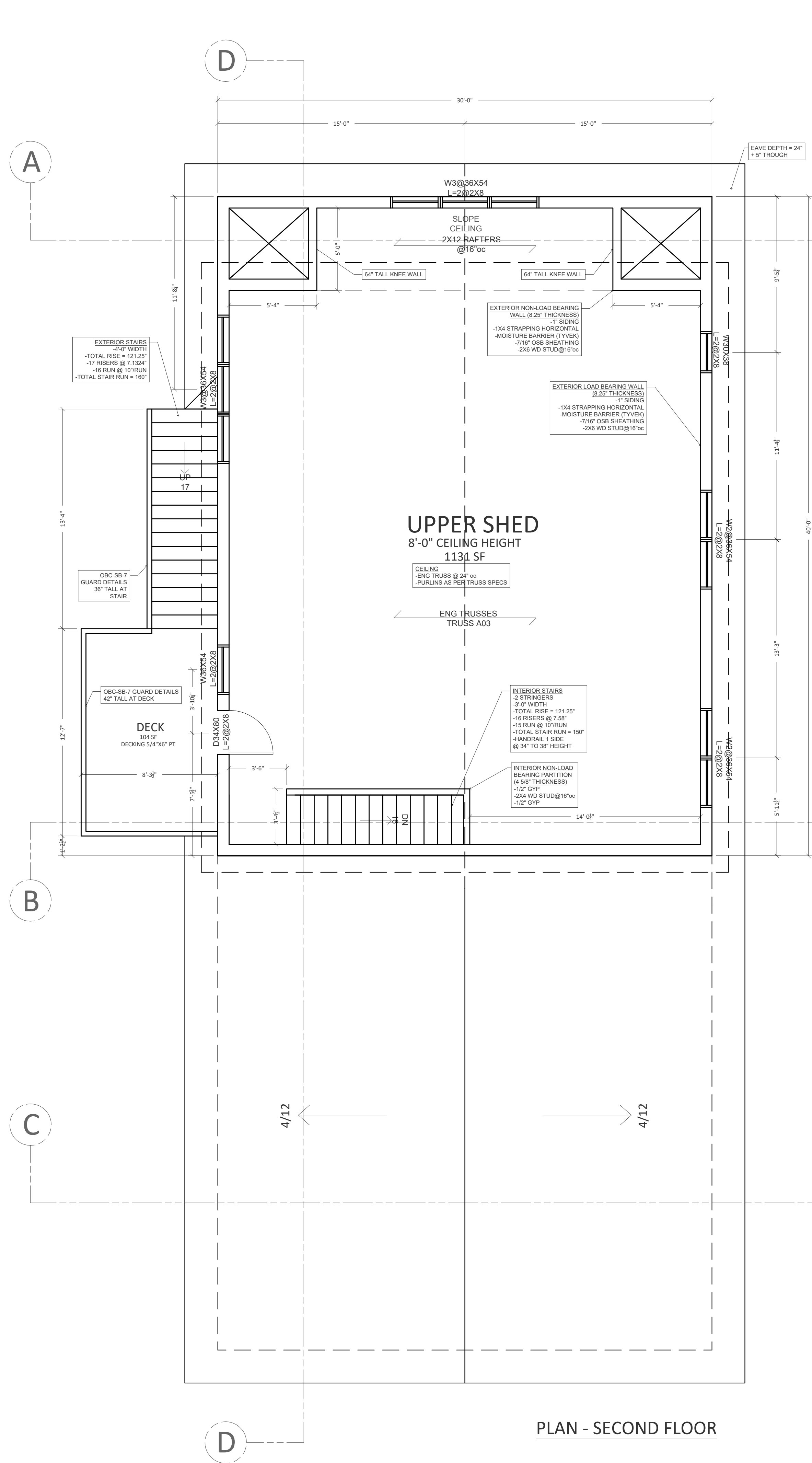
NOTES:

DRAWING TITLE:  
 PROPOSED  
 ACCESSORY  
 STRUCTURE  
 PLAN -  
 FOUNDATION &  
 GROUND FLOOR

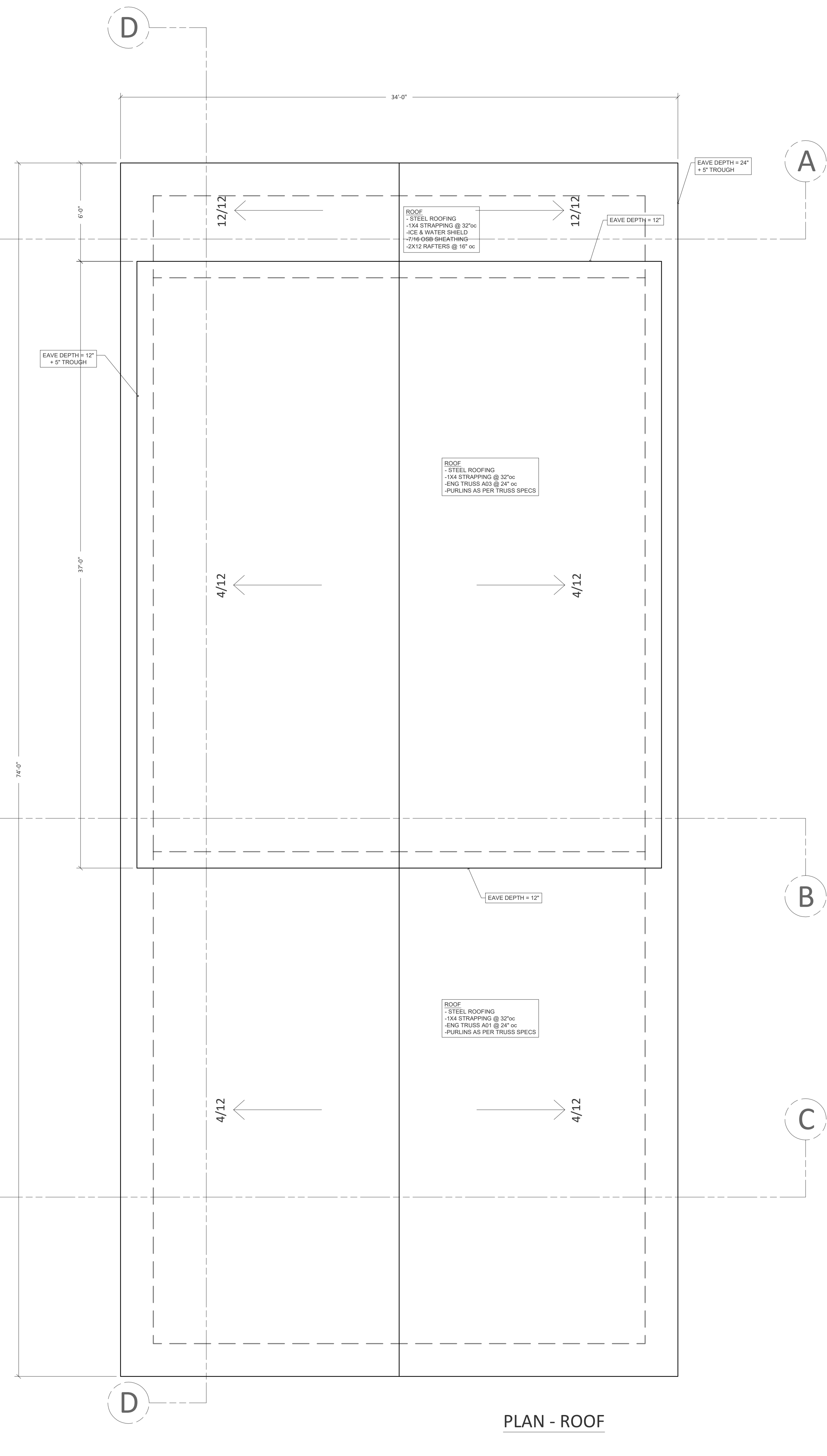
DRAWING SCALE : 1/4" = 1'-0"  
 DATE : 2/11/2025  
 DRAWN BY : SCH  
 CHECKED BY : SCH







PLAN - SECOND FLOOR



PLAN - ROOF

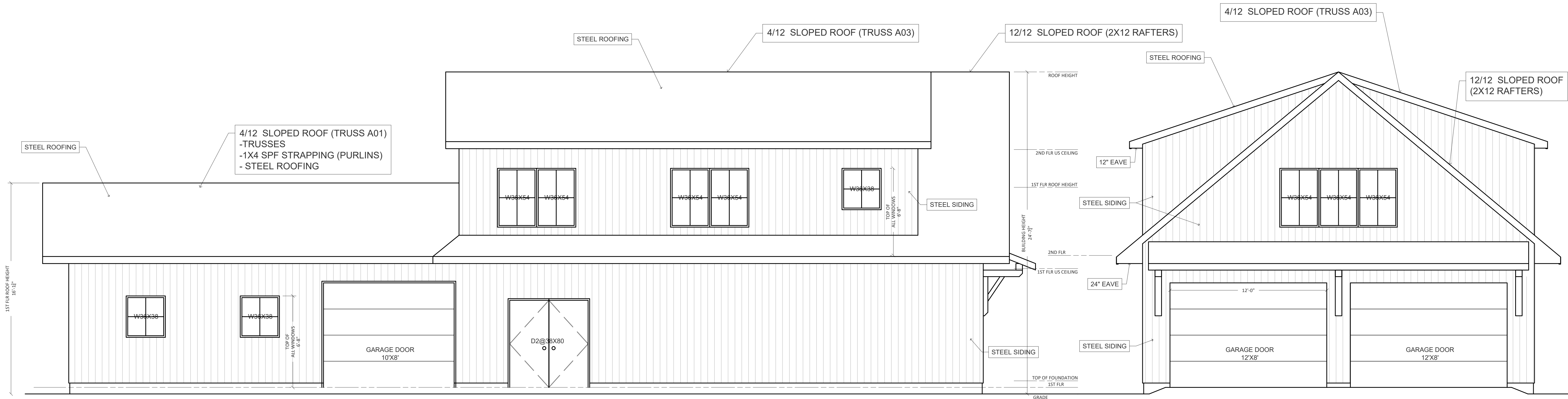
S. CHRISTIAN HOLLINGSHEAD  
 OBC DESIGNER BCIN 42965/37310  
 SMALL BUILDINGS,  
 STRUCTURAL, PLUMBING  
 34 MOUNT ROYAL AVENUE  
 HAMILTON, ONTARIO  
 L8P 4H8 (905) 975-8765  
 hollingsheaddesigner@gmail.com

THE DESIGN AND REVIEW FOR THE CONTENTS OF THIS DOCUMENT HAVE BEEN PROVIDED BY THE FOLLOWING:  
 SEAL:  
 02-11-2025  
 S. CHRISTIAN HOLLINGSHEAD  
 OBC DESIGNER

PROJECT ADDRESS:  
 1964 VILLA NOVA RD  
 WILSONVILLE, ON  
 NOE 1Z0

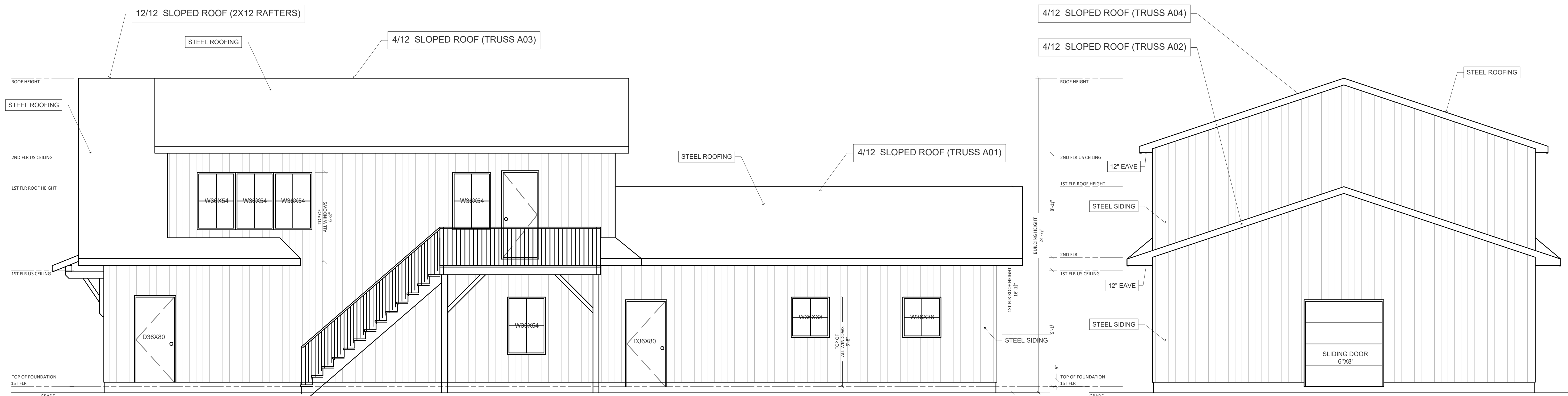
DRAWING TITLE:  
 PROPOSED  
 ACCESSORY  
 STRUCTURE  
 PLAN -  
 2ND FLOOR &  
 ROOF

DRAWING SCALE : 1/4" = 1'-0"  
 DATE : 2/11/2025  
 DRAWN BY : SCH  
 CHECKED BY : SCH



ELEVATION - NORTH

ELEVATION - WEST



ELEVATION - SOUTH

ELEVATION - EAST

S. CHRISTIAN HOLLINGSHEAD  
 OBC DESIGNER BCIN 42965/37310  
 SMALL BUILDINGS,  
 STRUCTURAL, PLUMBING

34 MOUNT ROYAL AVENUE  
 HAMILTON, ONTARIO  
 L8P 4H8 (905) 975-8765  
 hollingsheaddesigner@gmail.com

THE DESIGN AND REVIEW FOR THE CONTENTS OF THIS DOCUMENT HAVE BEEN PROVIDED BY THE FOLLOWING:

SEAL:

PROJECT ADDRESS:

1964 VILLA NOVA RD  
 WILSONVILLE, ON  
 NOE 1Z0

DRAWING TITLE:

PROPOSED  
 ACCESSORY  
 STRUCTURE -  
 ELEVATIONS

DRAWING SCALE : 1/4" = 1'-0"

DATE : 2/11/2025

DRAWN BY : SCH

CHECKED BY : SCH

**K. Declaration**

I, CHRISTIAN HOLLINGSHEAD of HAMILTON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

SIMCOE, ONT

  
Owner/Applicant/Agent Signature

In ~~HAMILTON~~ NORFOLK COUNTY

This ~~3rd~~ 4th day of MARCH

A.D., 2025

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario.  
for the Corporation of Norfolk County.  
Expires March 16, 2026.

A Commissioner, etc.





Administration Centre: 400 Clyde Road, P.O. Box 729 Cambridge, ON N1R 5W6

Phone: 519-621-2761 Toll free: 1-866-900-4722 Fax: 519-621-4844 [www.grandriver.ca](http://www.grandriver.ca)

October 30, 2024

Keith Fair  
1964 Villa Nova Road  
Wilsonville, ON N0E 1Z0

by email

**Re: Application for Permission No. 649/24, Pursuant to Ontario Regulation 41/24.**

The Grand River Conservation Authority approved your application on October 30, 2024. The permit and attached schedules are enclosed. The schedules form part of the permit and describe the work as approved by the Grand River Conservation Authority. Any changes to these plans must be reviewed and approved by Grand River Conservation Authority staff.

Please note that this permission is based on existing information, policies, and practices, and does not bind nor imply that any other permission will be forthcoming. Please review when the permit expires as per the attached permit and keep a copy of the permit on-site.

If you have questions regarding this letter or the conditions described on the permit, please contact Nicholas Stasiak, Regulations Officer, at (519) 621-2763 Extension 2323.

Encl.

c.c. Clerk, Norfolk County  
Building Inspector, Norfolk County



Permit No. 649/24

## Grand River Conservation Authority

Under Ontario Regulation 41/24 made under the Conservation Authorities Act, R.S.O. 1990, c. C.27, permission is granted to:

**Keith Fair**

Whose address for purposes pertaining to this project is:

1964 Villa Nova Road  
Wilsonville, ON N0E 1Z0

To execute proposed works in accordance with the following particulars and conditions:

**Location of Work:** 1964 Villa Nova Road  
Norfolk County

**Purpose of Work:** To construct a residential accessory structure (shed) 17 metres from a wetland.

**This permit is valid from:** October 30, 2024

**and expires on:** October 30, 2026

The attached Schedules form parts of this permit describing the approved work and must be implemented in order so that the true intent of the permit can be achieved.

The Permittee, by acceptance and in consideration of the issuance of this permit, agrees to the conditions listed on the reverse side of Schedule "A".

Dated at Cambridge, Ontario, this 30th day of October, 2024

**GRAND RIVER CONSERVATION AUTHORITY**

A handwritten signature in black ink that reads "Samantha Lawson".

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Samantha Lawson,  
Chief Administrative Officer



GRCA USE ONLY  
APPLICATION NUMBER  
**649/24**

## Schedule "A" - Application for Permit Pursuant to Ontario Regulation 41/24

### (Prohibited Activities, Exemptions and Permits Regulation)

Please read, complete each section as required, attach fee payment and sign and date this application. Payment must be addressed to the Grand River Conservation Authority. Applications can be mailed to:

**Grand River Conservation Authority Administration Office**  
400 Clyde Road, P.O. Box 729, Cambridge, Ontario N1R 5W6  
Telephone: 519-621-2761 Fax: (519) 621-4945

<b>Owner's Contact Information:</b>	
Name: Keith Fair	E-mail: keithfair@outlook.com
Mailing Address: 1964 Villa Nova Road	City/Town: Wilsonville
Postal Code: N0E 1Z0	Business Telephone:
Residential Telephone: 5197323730	Fax:

<b>Agent/Consultant/Contractor's Contact Information</b>	
Name:	E-mail:
Mailing Address:	City/Town:
Postal Code:	Business Telephone:
Residential Telephone:	Fax:

<b>Location of Proposed Work:</b>	
Municipal Address: 1964 Villa Nova Road, Wilsonville	
City/Town/Village: NORFOLK COUNTY	County/Region: NORFOLK COUNTY
Lot and Concession:	Township:

**Application Type (check which applies). Refer to Fee Schedule on Pages 3 and 4.**

- Minor Development
- Minor Interference with Wetlands, Alteration to Shorelines & Watercourses
- Standard Development
- Standard Interference with Wetlands, Alteration to Shorelines & Watercourses
- Major Development
- Major Interference with Wetlands, Alteration to Shorelines & Watercourses

**Description of Proposed Work:**

Shop or shed

Rebuild/Replace existing shed/barn, Keeping similar footprint but move approximately 12 feet to the south, (away from creek/bank) add approximately 10 feet total length of building to extent slightly West. Grading to remain/ not change beyond existing structure /match existing grading on south side of building.

**Please Note:** This application must include appropriate plan(s) showing the proposed work. Pre-consultation prior to submission is encouraged to confirm required information, plans, reports, and studies as applicable.

Current Land Use: Agricultural

Proposed Change in Use (if any):

I declare that I have read and agree to the General Conditions of Permit on the reverse of this form and that all information provided is true.

Signature of Owner:

Date:

Signature of Agent:

Date:

## GENERAL CONDITIONS OF PERMIT

---

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
  - (a) to indemnify and save harmless, the Grand River Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
  - (b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law.
  - (c) that all complaints arising from the proposed works authorized under this permit shall be reported immediately by the permittee to the Grand River Conservation Authority. The permittee shall indicate any action which has been taken, or is planned to be taken, with regard to each complaint.
  - (d) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Grand River Conservation Authority will be granted entry at any time into lands which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The Grand River Conservation Authority may add conditions of approval or cancel this permit in accordance with the *Conservation Authorities Act* and/or Ontario Regulation 41/24.
5. This permit shall not be reassigned (non-transferable).
6. Permits are valid for up to two years unless otherwise noted on the permit. The maximum period of validity of a permit, including extensions, is 60 months. No notice will be issued on expiration of the permit, and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
7. Requests to consider a permit extension must be received 60 calendar days before the expiry date on the permit.
8. The Grand River Conservation Authority may make copies of Schedule A and materials submitted in conjunction with Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.
9. The Grand River Conservation Authority may request that GIS data files be submitted as part of Schedule A, to be used for business purposes pursuant to Regulation 41/24.

### **NOTICE OF COLLECTION**

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act R.S.O 1990, C.M.56 the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1990, c.27, as amended. This information is used to assess applications for and, where approved, issue the Permit. Information on this form may be disclosed to Government and Municipal Agencies for review and comment. The name of the applicant, location of the work and a description of the project may be published in GRCA documents including agendas, reports and meeting minutes which are posted on the GRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Administration Division, Grand River Conservation Authority, 400 Clyde Road, P.O. Box 729, Cambridge, Ontario, N1R 5W6, (519) 621-2761.



# GRCA Permit, Plan Review, Title Clearance, and Inquiry Fee Schedule 2023-2024

Please refer to the **Fee Notes** outlined below for more details.

<b>Permit Fee Schedule</b>	
<b>Note: Applicants are encouraged to apply online on the GRCA Permits Application Page.</b>	
<b>Minor</b> - Low risk of impact on natural hazards or natural feature. No technical reports required	
• Fee for Development Applications	\$465
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$465
<b>Standard</b> - Moderate risk and/or potential impact on natural hazards or natural features. Detailed report and/or plans, site visit required	
• Fee for Development Applications	\$675
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	\$1,185
<b>Major</b> - Requires one or more reports (Environmental Impact Study, Hydraulic Analysis, Stormwater Management, Geotechnical, etc.)	
• Fee for Development Applications	\$10,230
• Fee for Alterations or Interference with Wetlands, Shorelines and Watercourses Applications	Culvert/Bridge replacement \$6,710  All other applications \$10,230
<b>Large Fill</b> - over 1,000m <sup>3</sup>	\$10,230 plus \$0.50/m <sup>3</sup>
<b>Works initiated prior to GRCA approval</b>	2 times the fee for the category
<b>Rural Water Quality Programs or GRCA projects</b>	\$90
<b>Permit Extension</b>	\$90
<b>Plans amended to an approved permit</b>	\$90

<b>Inquiry Schedule</b>	
<b>Title Clearance, Real Estate, and other Inquiry Fee (per request)</b>	\$255/property

<b>Plan Review Fee Schedule</b>	
<b>Subdivision and Vacant Land Condominium</b>	
• Base fee	\$2,505
• Per net hectare	\$1,305/hectare
• Applicant driven modification	\$1,670
• Final clearance for registration of each stage: technical review required	\$6,708
• Final clearance Processing Fee: no reports or review required	\$255
• Fourth (4 <sup>th</sup> ) and subsequent submission for review (same report)	\$575

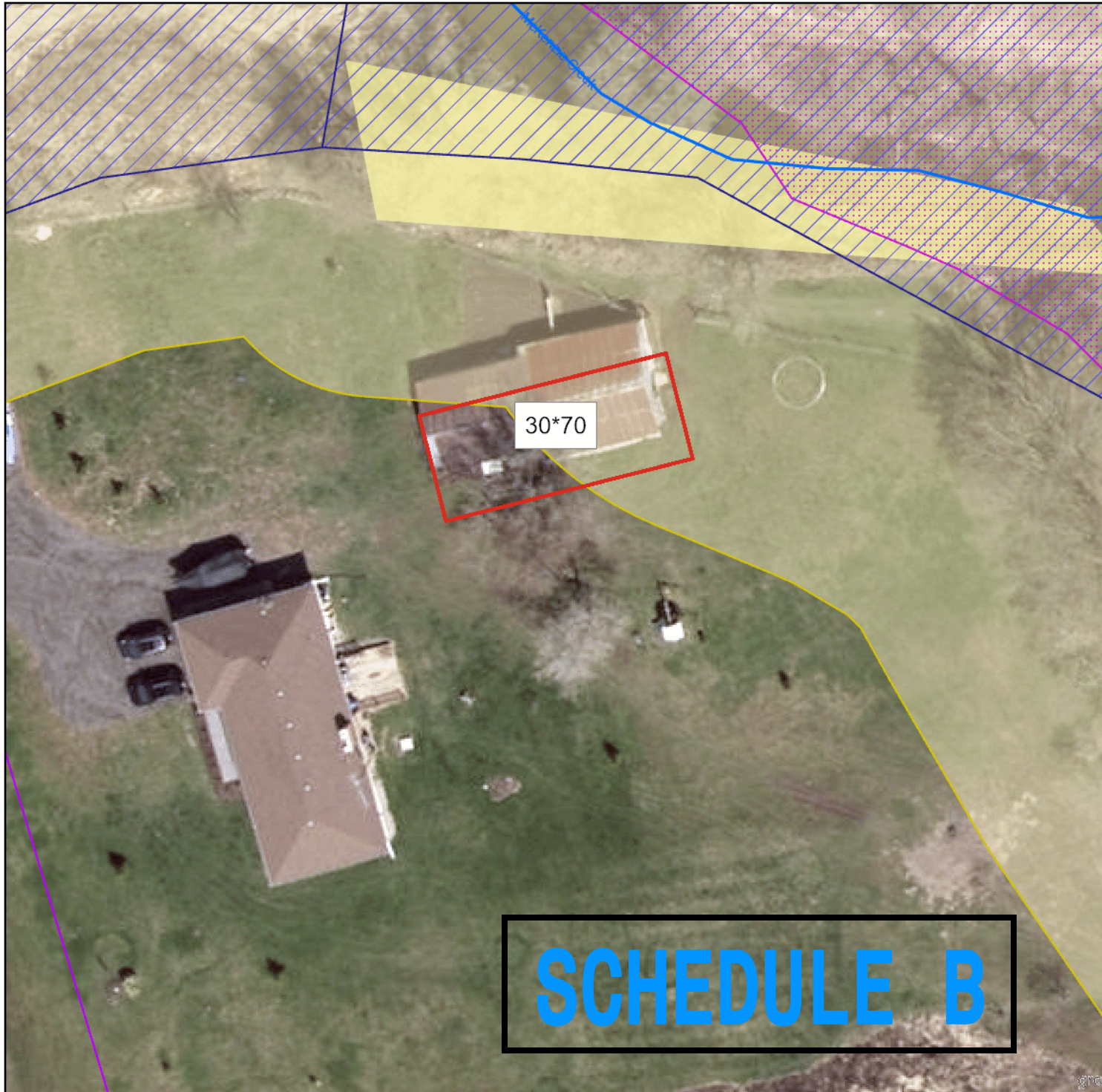
<b>Plan Review Fee Schedule</b>	
<b>Official Plan and/or Zoning Bylaw Amendment</b>	
• Major	\$2,500
• Minor	\$465
<b>Consent</b>	
• Major	\$1,185
• Minor	\$465
<b>Minor Variances</b>	
• Major	\$675
• Minor	\$300
<b>Site Plan Approval Applications</b>	
• Major	\$3,515
• Minor	\$465
<b>Complex Applications</b>	
	\$10,230
<b>Below Water Table Aggregate Applications</b>	
• No features of interest within 30 metres of licence limit	\$10,230
• Features of interest within 30 metres of licence limit	\$42,850
<b>Above Water Table Aggregate Applications</b>	
• No features of interest within 30 metres of licence limit	\$465
• Features of interest within 30 metres of licence limit	\$10,230

## 2024 Fee Notes

On April 1, 2024, the Prohibited Activities, Exemptions and Permits Regulation (Ontario Regulation 41/24) came into effect. This regulation replaces the Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation (Ontario Regulation 150/06). This Fee Schedule was updated on April 26, 2024 to reflect changes resulting from the new Regulation.

1. All fees are made payable and submitted directly to Grand River Conservation Authority.
2. Applicants are encouraged to consult with staff prior to submission of all applications to determine the extent and nature of the information required to accompany the application, and to determine the appropriate fee.
3. Applicants are encouraged to submit Permit applications through **the GRCA's online Permit Application System** after pre-submission consultation where appropriate.
4. Permit applications that fall into one or more categories will be charged one fee, at the highest rate.
5. Plan review applications that fall into one or more categories will be charged one fee, at the highest rate.
6. The Conservation Authority may provide a refund or require the applicant submit additional funds for a permit or plan review fee if it is found that an incorrect fee has been submitted.
7. Minor Categories – Low risk of impact on natural hazards. Plans required. No technical reports or site visits required.
8. Standard Permit Category – Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. Scoped technical reports and/or site visits required.
9. Major Permit Category– High hazard risk and/or potential impact to natural hazards. Detailed plans required. One or more technical report required (Environmental Impact Study, Hydraulic Analysis, Storm Water Management, Geotechnical, etc.). Development permit applications for: golf courses, trailer parks, campgrounds, lifestyle communities will be considered as a major permit.
10. Major Plan Review Category– High or Moderate hazard risk and/or potential impact on natural hazards. Detailed plans required. One or more technical reports (may be scoped) are required, and a site visit may be required.
11. Complex Plan Review Category - Planning Act (e.g. OPA/ZC) and/or Site plan applications for: golf courses, trailer parks, campgrounds, lifestyle communities.
12. Large Fill - The fee is applicable to material placed within the Conservation Authority's regulated areas. Grading associated with Planning Act approvals is not considered a large fill application.
13. Major permit applications that have previously paid application or clearance plan review fees to the GRCA will be charged fees under the Minor or Standard category.
14. Permit fees are non-refundable, except where review indicates that no permit is necessary.
15. Permit Extension – Permits are valid for up to 24 months unless otherwise specified on the permit. An application for an extension is \$90 and must be requested at least 60 calendar days before the expiry of the permit. Extensions will not be granted after the expiry date and will require a new application, full review, and the Schedule of Fees in effect at the time of submission will apply. The maximum period of validity of a permit, including extensions, is 60 months.

16. The subdivision or vacant land condominium base fee including per net hectare fee will be capped at \$30,000.
17. The net hectare fee will be based on the initial submission and will exclude lands outside of the development limit (e.g. natural hazard, natural heritage areas and buffers). Stormwater management facilities and other open space or park uses are to be included in the net hectare fee calculation.
18. At the submission of a subdivision or vacant land condominium application, 70% of the base fee and per net hectare is required. Prior to issuance of conditions of draft plan approval, the remaining 30% of the fee is required.
19. A Processing Fee will apply for a clearance letter for a subdivision or condominium application where no technical review/reports (e.g. no Erosion and Sediment Control plan, SWM brief, etc.) are required.
20. For Aggregate Applications, features of interest include all natural hazards including wetlands and watercourses.
21. Responses to Title Clearances, Real Estate and other Inquiries includes: Correspondence and mapping related to natural hazards and areas regulated under Ontario Regulation 41/24.



Legend

- Regulation Limit (GRCA)
- Floodplain (GRCA)**
  - Engineered
  - Estimated
  - Approximate
  - Floodplain - Special Policy Area (GRCA)
- Slope Erosion (GRCA)**
  - Steep
  - Oversteep
  - Toe
- Slope Valley (GRCA)**
  - Steep
  - Oversteep
- Regulated Watercourse (GRCA)
- Regulated Waterbody (GRCA)
- Wetland (GRCA)
- Lake Erie Flood (GRCA)
- Lake Erie Shoreline Reach (GRCA)
- Lake Erie Dynamic Beach (GRCA)
- Lake Erie Erosion (GRCA)
- Parcel - Assessment (MPAC/MNRF)
- Conservation Area Boundary (GRCA)

**SCHEDULE B**

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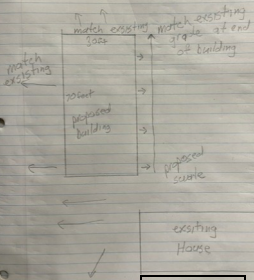
Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.

The source for each data layer is shown in parentheses in the map legend. See [Sources and Citations](#) for details.



← N

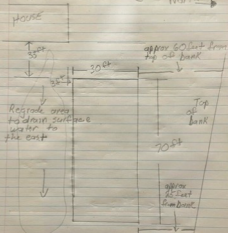
# Proposed Drainage for surface water.



**SCHEDULE B**

Proposed New Building

North →



Regrade area to drain surface water to the east

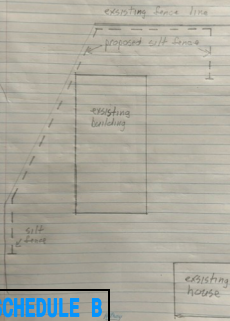
Move building approx 12 feet to the south, add 10 feet to front (west)

**SCHEDULE B**

*Handwritten signature*

← N

# Silt Fence

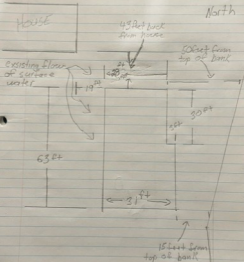


**SCHEDULE B**



# Existing Building

North →

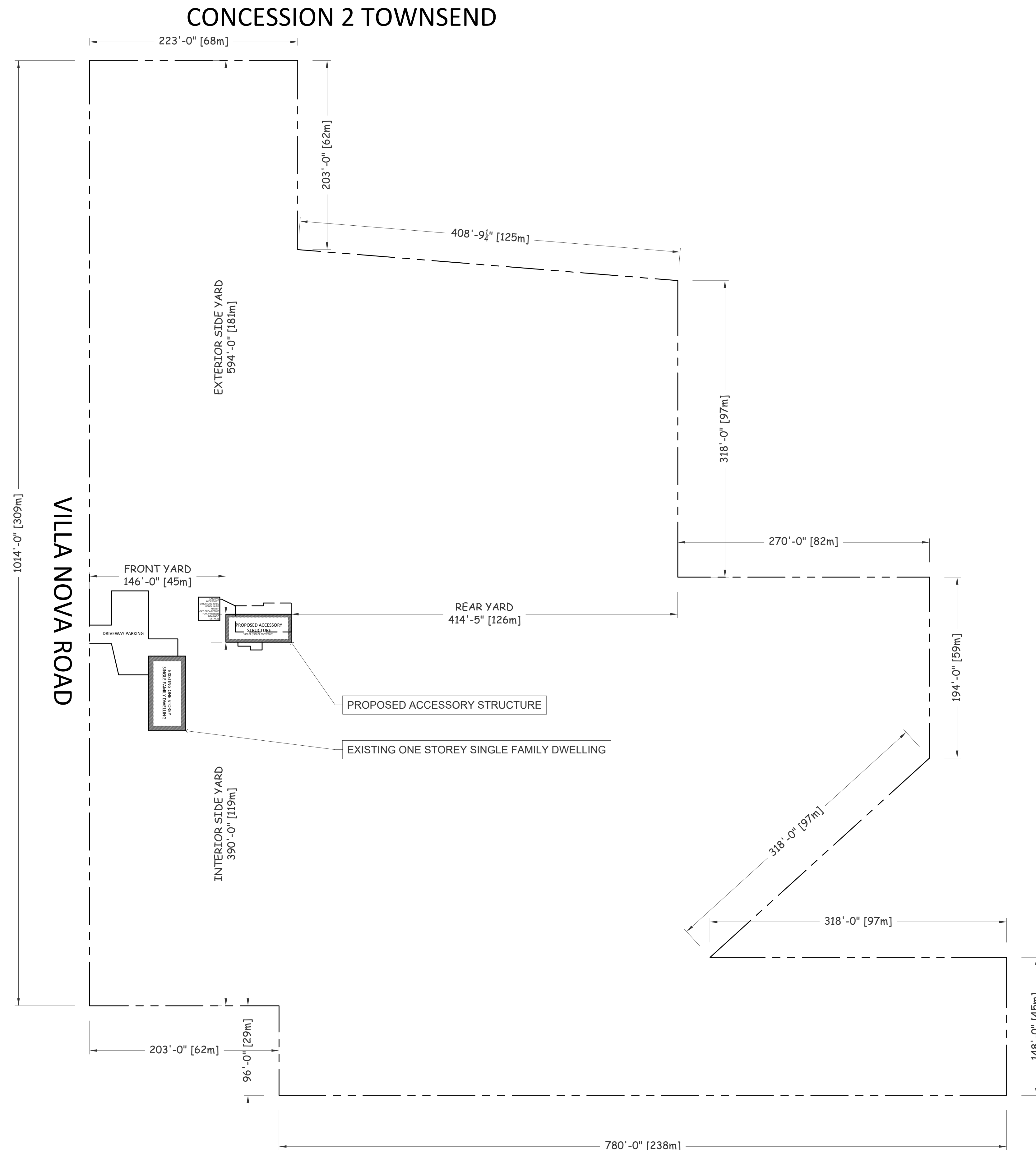


**SCHEDULE B**

# 1964 VILLA NOVA ROAD - SITE PLAN

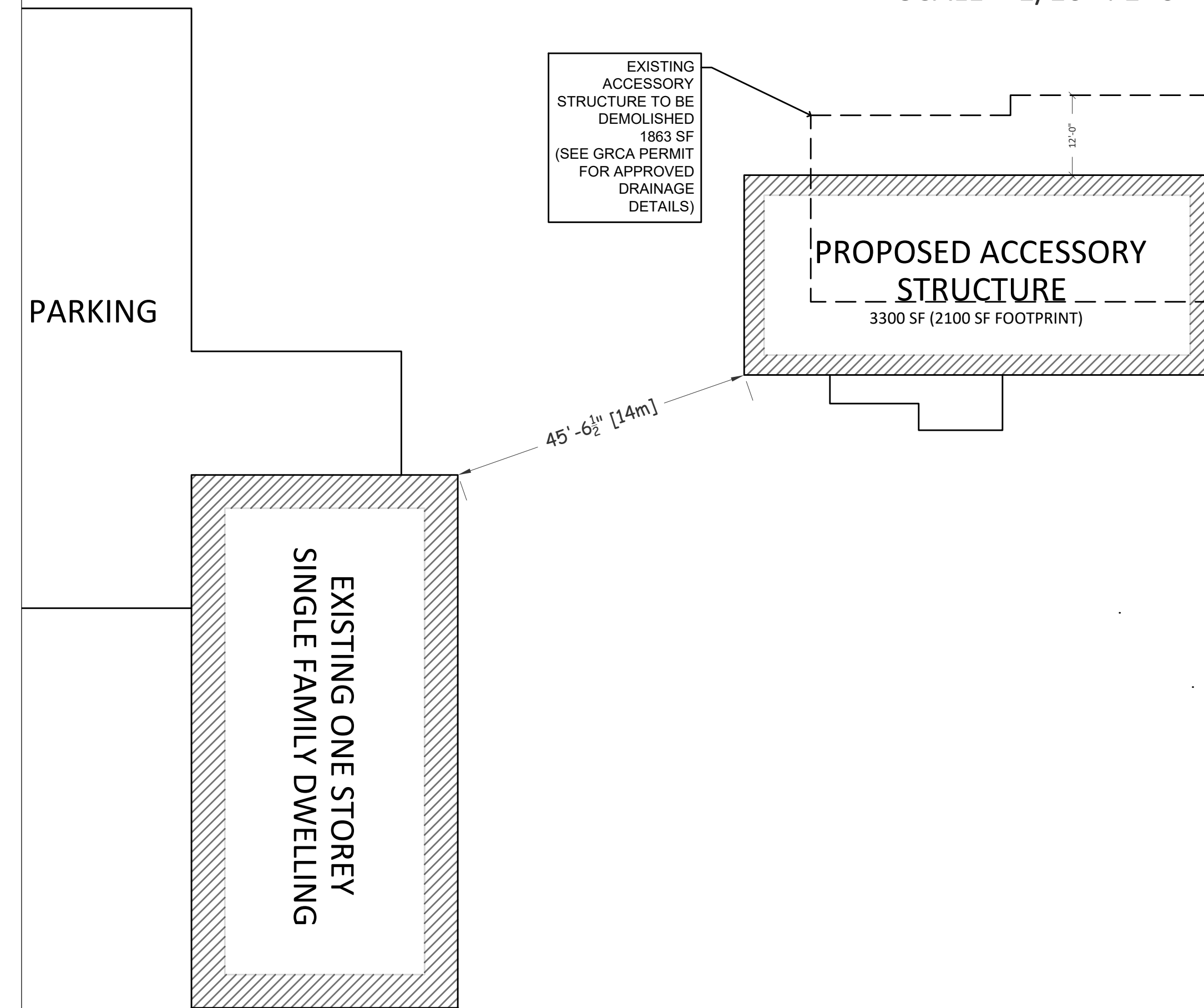


SCALE = 1/64" : 1'-0"



PARKING

SCALE = 1/16" : 1'-0"



1964 VILLA NOVA ROAD  
WILSONVILLE, ON  
N0E 1Z0

NORFOLK COUNTY APPLICABLE ZONING BYLAW = 1-Z-2014  
ZONE DESIGNATION = A; AGRICULTURAL

### REQUIRED STATS

FRONTAGE = 30 m  
 LOT AREA = 40 HECTARES  
 FRONT YARD SETBACK = 13 m  
 EXTERIOR SIDE YARD SETBACK = 13 m  
 INTERIOR SIDE YARD SETBACK = 3 m  
 REAR YARD SETBACK = 9 m  
 MAX BUILDING HEIGHT = 11 m  
 MAX ACCESSORY STRUCTURE HEIGHT = 8 m

### EXISTING LOT STATS

FRONTAGE = 309 m  
 LOT AREA = 16.87 HECTARES

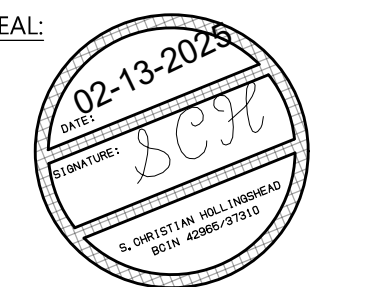
### PROPOSED ACCESSORY STRUCTURE

FRONT YARD SETBACK = 45 m  
 NORTH EXTERIOR SIDE YARD SETBACK = 181 m  
 SOUTH INTERIOR SIDE YARD SETBACK = 119 m  
 REAR YARD SETBACK = 126 m  
 BUILDING HEIGHT = 7.5 m

S. CHRISTIAN HOLLINGSHEAD  
 OBC DESIGNER BCIN 42965/37310  
 SMALL BUILDINGS,  
 STRUCTURAL, PLUMBING

34 MOUNT ROYAL AVENUE  
 HAMILTON, ONTARIO  
 L8P 4H8 (905) 975-8765  
 hollingsheaddesigner@gmail.com

THE DESIGN AND REVIEW FOR THE CONTENTS OF THIS DOCUMENT HAVE BEEN PROVIDED BY THE FOLLOWING:



### PROJECT ADDRESS:

1964 VILLA NOVA RD.  
 WILSONVILLE, ON  
 N0E 1Z0

### NOTES:

### DRAWING TITLE:

SITE PLAN

DRAWING SCALE : 1/64" = 1'-0"

DATE : 2/13/2025

DRAWN BY : SCH


CHECKED BY : SCH

CONTEXT MAP

Geographic Township of TOWNSEND

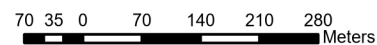
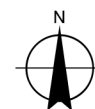


Legend

 Subject Lands

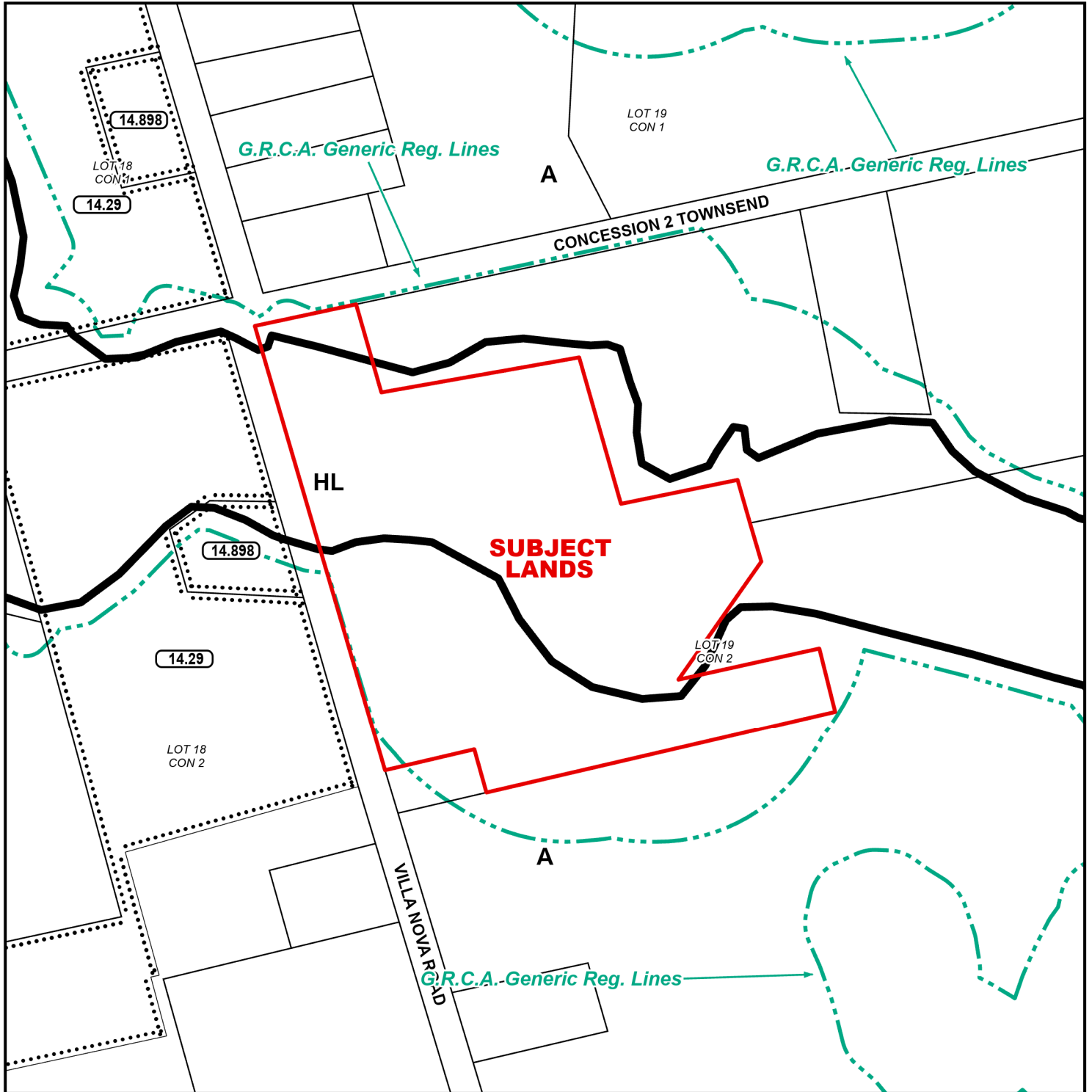
2020 Air Photo

5/23/2025



**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of TOWNSEND

ANPL2025061



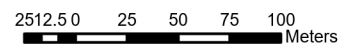
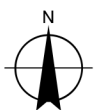
**LEGEND**

- Subject Lands
- GRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

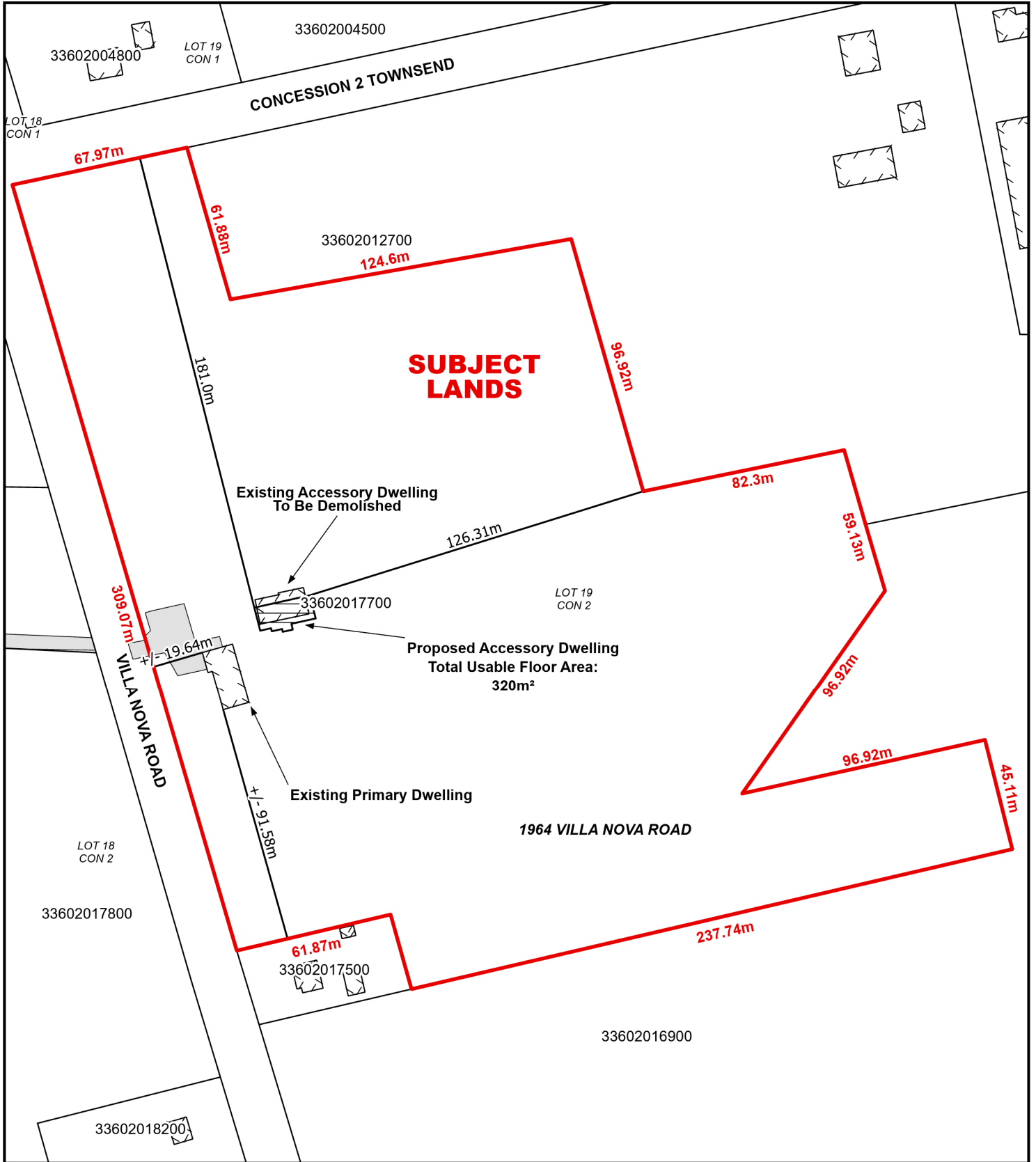
5/23/2025

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

 Subject Lands

5/23/2025

