

For Office Use Only:

File Number ANPL2025049
Related File Number _____
Pre-consultation Meeting _____
Application Submitted _____
Complete Application _____

Application Fee _____
Conservation Authority Fee _____
Well & Septic Info Provided _____
Planner _____
Public Notice Sign _____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 3310-493-060-11720

A. Applicant Information

Name of Owner John Jacobs and Sandra Mckenzie

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 421 Water Street

Town and Postal Code Vittoria, ON N0E 1W0

Phone Number _____

Cell Number 519-410-1720

Email jojnjacobs@kwic.com

Name of Applicant Agent

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent David McPherson

Address 8 Culver Lane

Town and Postal Code Simcoe, ON N3Y 5C8

Phone Number _____

Cell Number 519-427-6483

Email david-a-mcpherson@hotmail.com

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 20 Concession 4 Charlotteville

Municipal Civic Address: 421 Water Street, Vittoria

Present Official Plan Designation(s): Hazard Land

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

14.250

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Existing is a single storey house, damaged by fire June 17, 2024 and now subject to demolition

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

n/a

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed is a replacement dwelling of 285.8 sqm with an attached garage of 277.5 sqm for a combined building area of 657.6 sqm

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

15 years

9. Existing use of abutting properties:

agricultural and residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	73.8 m	13 m		73.8 m	
Lot depth					
Lot width	73.8 m				
Lot area	3,480 sqm				
Lot coverage					
Front yard	18.2 m	13m		18.2 m	
Rear yard	7.62 m	6.1 m	14.250	7.62 m	
Height	9 m	11 m		9 m	
Left Interior side yard	14.9 m	12.2 m	14.250	6.09 m	6.11 m
Right Interior side yard	7.62 m	6.1 m	14.250	7.62 m	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

The owern has designed a large attached garage on the south side of the replacement house requiring a reduction in the south side yard setback. LPRCA has granted approval and issued a permit.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: n/a

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: n/a

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: n/a
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
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Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:
Information provided by owner.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Property is not within a WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance 8 m

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance 62 m

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)
-

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)
-

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Water Street

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Premise and Justification report is attached

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

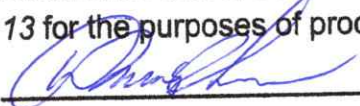
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

Feb 10 / 25

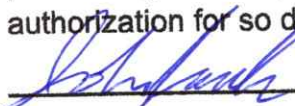
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We JOHN JACOBS/SANDRA MCKENZIE am/are the registered owner(s) of the lands that is the subject of this application.

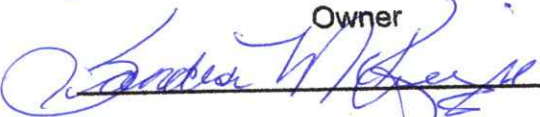
I/We authorize David McPherson to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

FEB 10 / 25

Date



Owner

FEB 10 / 25

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



K. Declaration

I, David McPherson of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Simcoe




Owner/Applicant/Agent Signature

In Norfolk County

This 11 day of February

A.D., 2025









A Commissioner, etc.

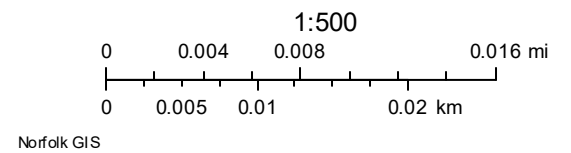
Olivia Catherine Davies, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires May 23, 2027.

MAP NORFOLK - Community Web Map



2/11/2025, 8:16:54 AM

-  Land Parcels
-  Civic Address
-  Plan Lines
-  Reg Plan Lot Numbers
-  Road Labels
-  DraftPlan





FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 14" (30cm) LIFTS EVENLY AROUND STRUCTURE.
COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD: 1.0 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (150): 0.48 KPA (10 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 3.20.5.2.

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/8" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/8" T 11'-1"
BL-4 6" V x 3 1/2" H x 1 1/2" T 12'-4"

STAIR INFO.		LEGEND	
RISE:	MAX. 7 1/8"	SB	SOLID BEARING
RUN:	MIN. 10 1/8"	SB FOR GIRDER	
TREAD:	MIN. 11"	FL	POINT LOAD
NOSING:	MAX. 1"	S.J.	SINGLE JOIST
HEADROOM:	MIN. 6'-5"	D.J.	DOUBLE JOIST
UNIFORM RISE/RUN:		T.J.	TRIPLE JOIST
		D.C.J.	DOUBLE CEILING JOIST

STRUCTURAL NOTES

1. ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) PLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.
2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

DESIGNER DISCLAIMER

1. THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
2. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

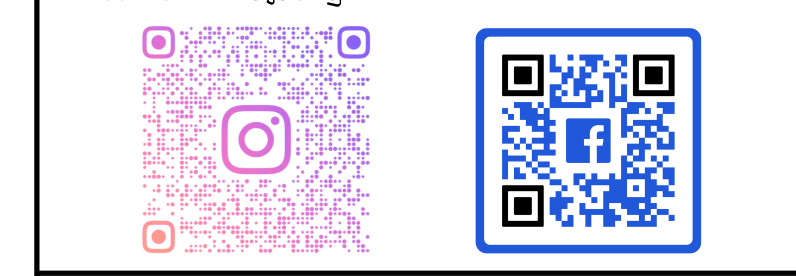
PLAN AREAS

MAIN FLOOR PLAN	3076 sq ft.
GARAGE	2987 sq ft.
COVERED PORCH	975 sq ft.
LOT COVERAGE	7079 sq ft.

PROPOSED RESIDENCE FOR
JOHN & SAM JACOBS
421 WATER ST., VICTORIA

PROJECT NUMBER
1234-24-01

djDESIGN
Architectural • Energy • HVAC
Phone: (519) 539-9981 378 Hunter Street
Email: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS IDENTIFIED UNDER 2.1.8.1. OF THE BUILDING CODE

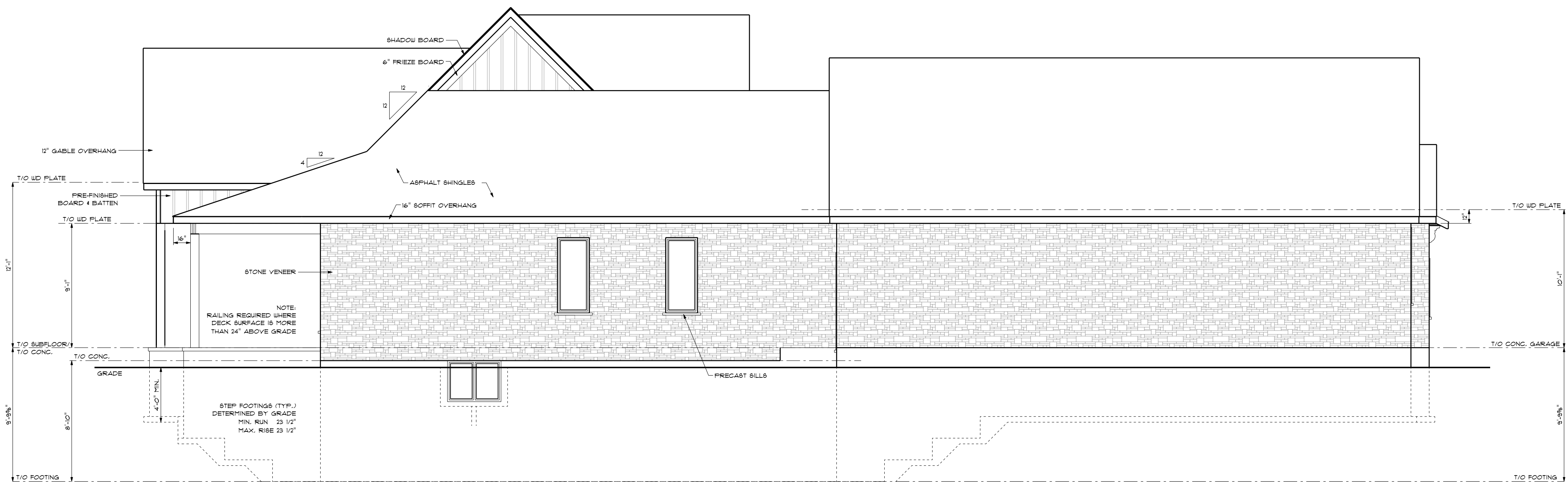
DEREK JUKEMA 21159
NAME SIGNATURE BCGN

3D VIEW & ELEVATIONS

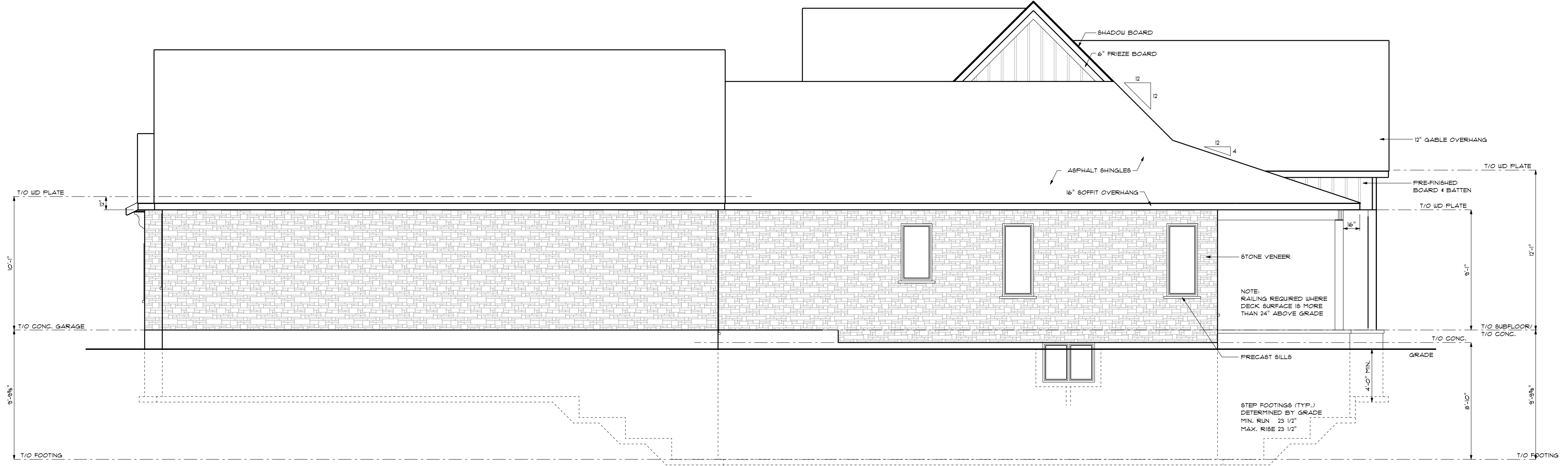
scale:	3/16" = 1'-0"
date:	2025-01-30
drawn by:	CD
designed by:	CORTNEY@djDESIGN.CA
checked by:	ATW

A-1

WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
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LEGEND
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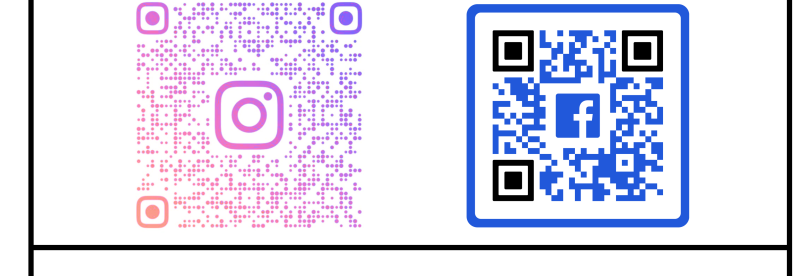
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DEREK JUKEMA 21759
 NAME BCIN

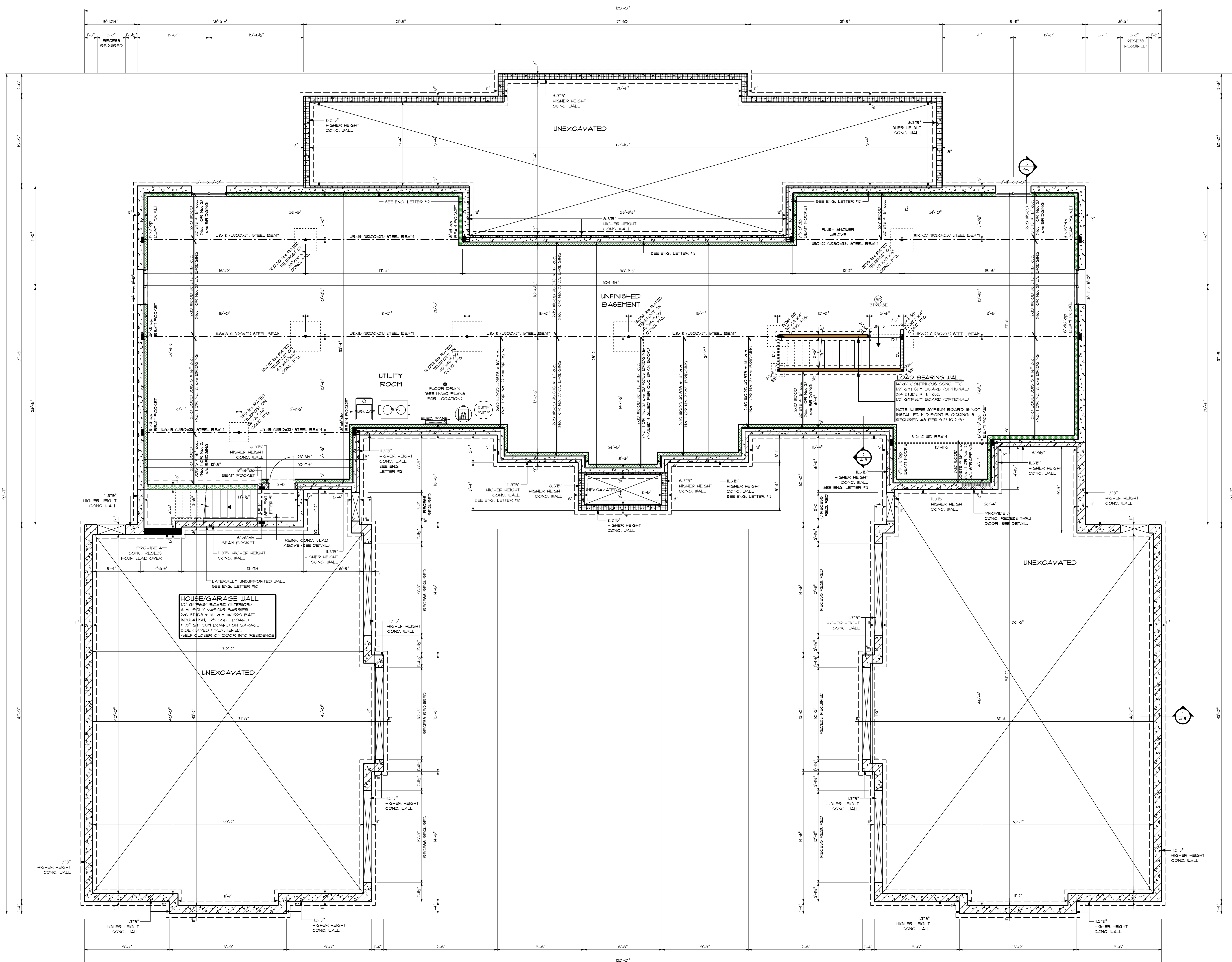
SIGNATURE

LEFT & RIGHT ELEVATIONS

scale:	3/16" = 1'-0"
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drawn by:	CD
designed by:	CORTNEY@DJDESIGN.CA
checked by:	ATU

A-2

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FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

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DESIGN NOTES

DESIGN DATA LOCATION: 81MCOE
 GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
 SPECIFIED SNOW LOAD: 1.2 KPA (23.4 psf)
 DEAD LOAD: 0.48 KPA (10 psf)
 WIND LOAD (150): 0.45 KPA (9.4 psf)
 1/2" PERIMETER EXPANSION JOINT FOR FOURED CONC. SLABS
 1/4" CONTROL JOINTS @ 20' O.C. E.W. IN FOURED CONC. SLABS
 ALL WOOD NO. 2 SPROUCE OR BETTER
 ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
 4" BRICK/STONE O.B.C. 3, 2.0, 5.2
 BL-1 4" x 3 1/2" H x 1/4" T 8'-0"
 BL-2 5" x 3 1/2" H x 5/16" T 10'-1"
 BL-3 6" x 3 1/2" H x 7/16" T 11'-1"
 BL-4 6" x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO. LEGEND
 RISE: MAX. 17/8"
 RUN: MIN. 10 1/16"
 TREAD: MIN. 11"
 NOSING: MAX. 1"
 HEADROOM: MIN. 6'-5"
 UNIFORM RISE/RUN
 D.J. DOUBLE JOIST
 T.J. TRIPLE JOIST
 D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

1. ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x4 @ 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

DESIGNER DISCLAIMER

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2. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

MAIN FLOOR PLAN	3076 sq. ft.
GARAGE	2987 sq. ft.
COVERED PORCH	975 sq. ft.
LOT COVERAGE	1078 sq. ft.

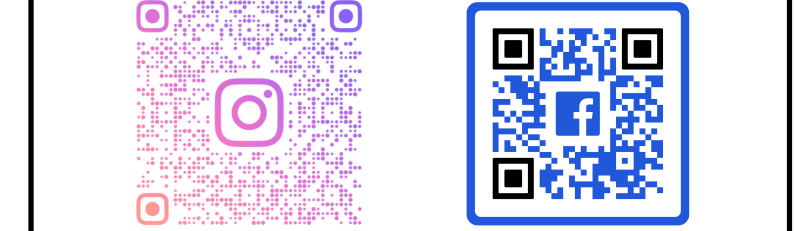
PROPOSED RESIDENCE FOR

JOHN & SAM JACOBS
 421 WATER ST., VICTORIA

PROJECT NUMBER

1234-24-01

djDESIGN
 Architectural • Energy • HVAC
 Phone: (519) 539-9987 378 Hunter Street
 E-mail: plans@djdesign.ca Woodstock, ON
 Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.1.1 OF THE BUILDING CODE

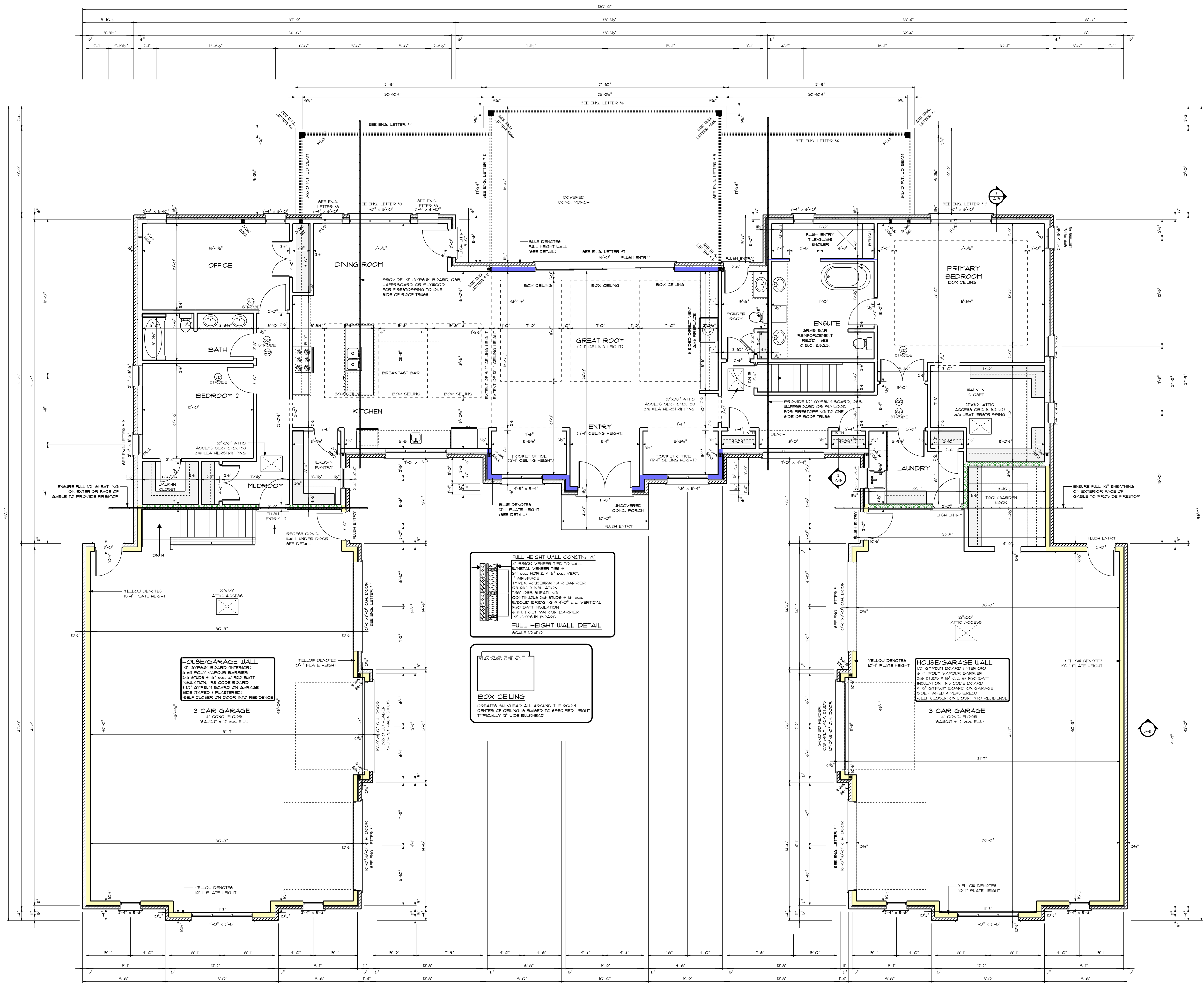
DEREK JUKEMA 21759
 NAME BCIN
 SIGNATURE

FOUNDATION PLAN

scale: 3/16" = 1'-0"
 date: 2025-01-30
 drawn by: CD
 designed by: CORNEY@DJDESIGN.CA
 checked by: ATU

A-3

WE SHARE IN YOUR EXCITEMENT! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT



MAIN FLOOR PLAN
 SCALE: 3/16" = 1'-0"

GENERAL NOTES

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- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE).
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:
 BACKFILL INTERIOR OF BUILDING w/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (30cm) LIFTS EVENLY AROUND STRUCTURE.
 COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

- DESIGN DATA LOCATION: SIMCOE**
- GROUND SNOW LOAD: 1.3 KPA (27.3 psf)
 - SPECIFIED SNOW LOAD: 1.0 KPA (23.4 psf)
 - DEAD LOAD: 0.48 KPA (10 psf)
 - WIND LOAD (1/50): 0.48 KPA (10 psf)
 - 1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
 - 1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
 - ALL WOOD No. 2 BRUCE OR BETTER
 - ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 3.20 & 5.2

- BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
- BL-2 5" V x 3 1/2" H x 5/8" T 10'-1"
- BL-3 6" V x 3 1/2" H x 7/8" T 11'-1"
- BL-4 6" V x 3 1/2" H x 1 1/2" T 12'-4"

STAIR INFO. LEGEND

RISE	MAX. 7 1/8"	6"	SOLID BEARING
RUN	MIN. 10 1/16"	6"	SB FOR GIRDER
TREAD	MIN. 11"	6"	POINT LOAD
NOISING	MAX. 1"	6"	SINGLE JOIST
HEADROOM	MIN. 6'-5"	D.J.	DOUBLE JOIST
UNIFORM RISE/RUN		T.J.	TRIPLE JOIST
		D.C.J.	DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) PLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.
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- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

MAIN FLOOR PLAN	3076 sq. ft.
GARAGE	2987 sq. ft.
COVERED PORCH	975 sq. ft.
LOT COVERAGE	7079 sq. ft.

PROPOSED RESIDENCE FOR

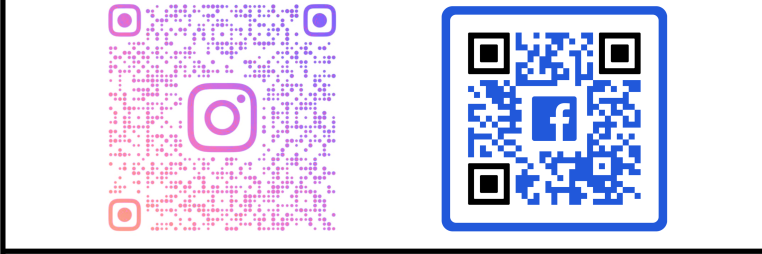
JOHN & SAM JACOBS
 421 WATER ST., VICTORIA

PROJECT NUMBER

1234-24-01



Phone: (519) 539-9981 378 Hunter Street
 Email: plans@djdesign.ca Woodstock, ON
 Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS SPECIFIED UNDER 2.1.6.1. OF THE BUILDING CODE

DEREK JKEMA 21159
 NAME BCGN

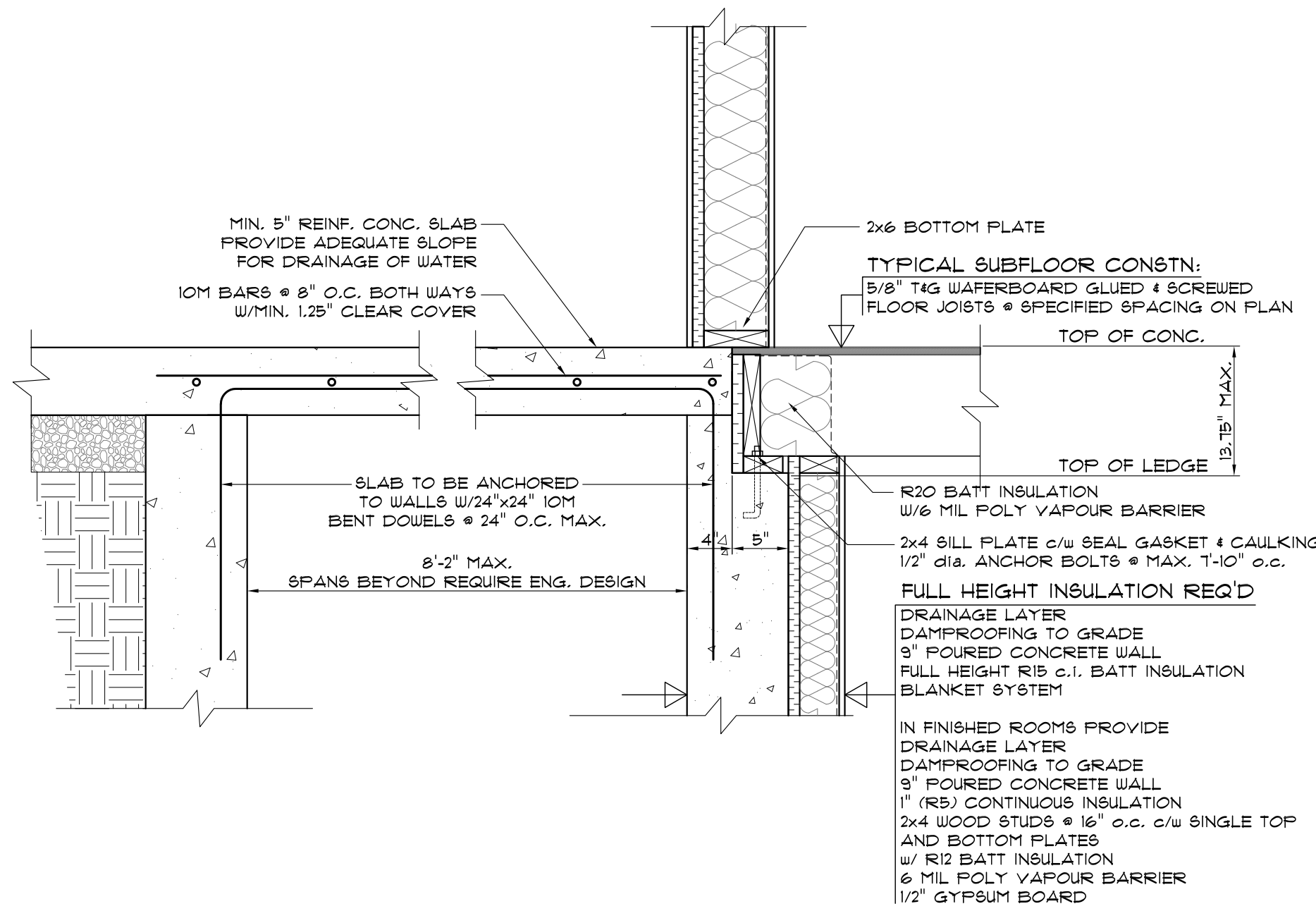
(Signature)
 SIGNATURE

MAIN FLOOR PLAN

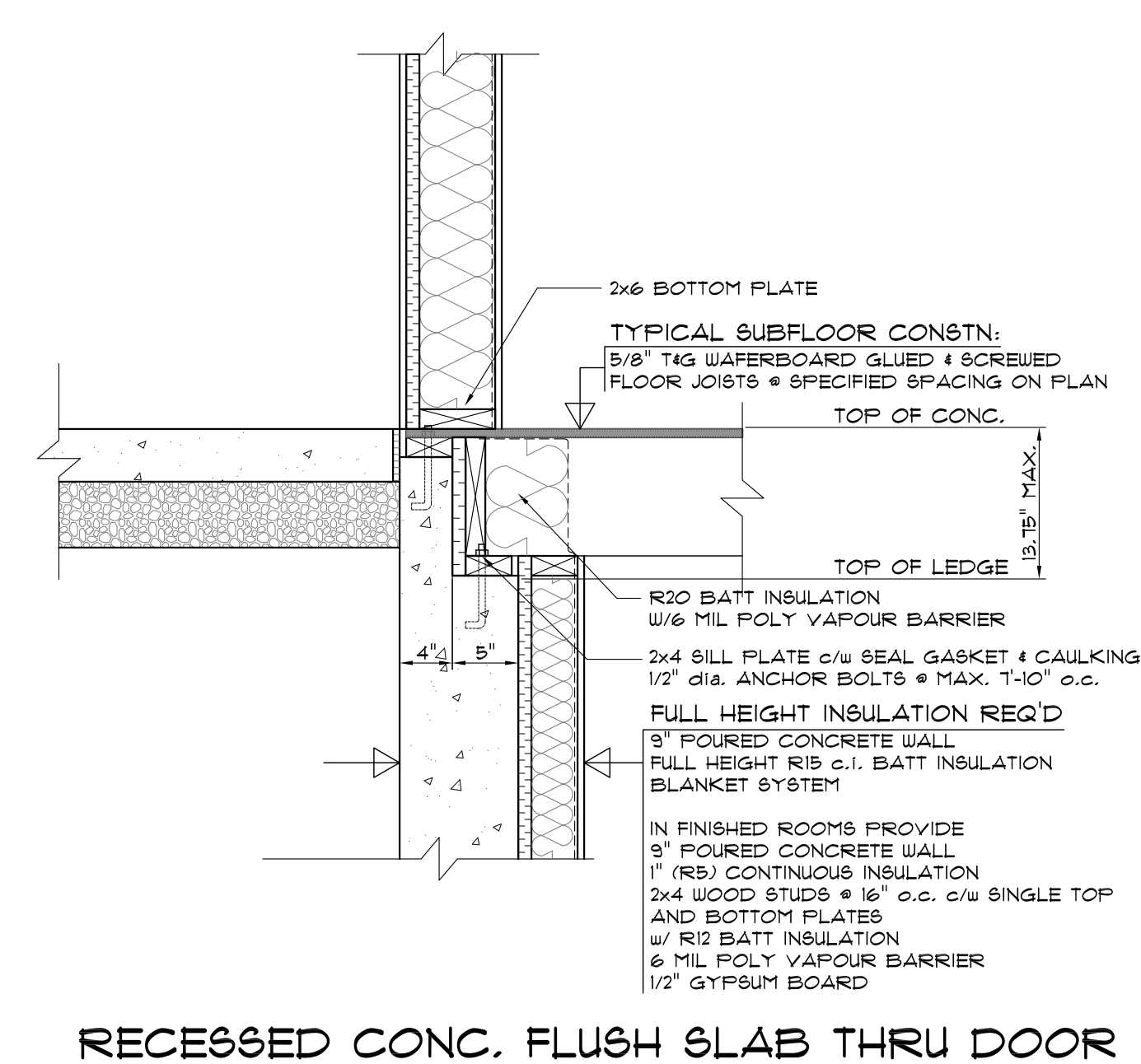
scale: 3/16" = 1'-0"
 date: 2025-01-30
 draw by: CD
 designed by: CORTNEY@DJDESIGN.CA
 checked by: ATW

A-4

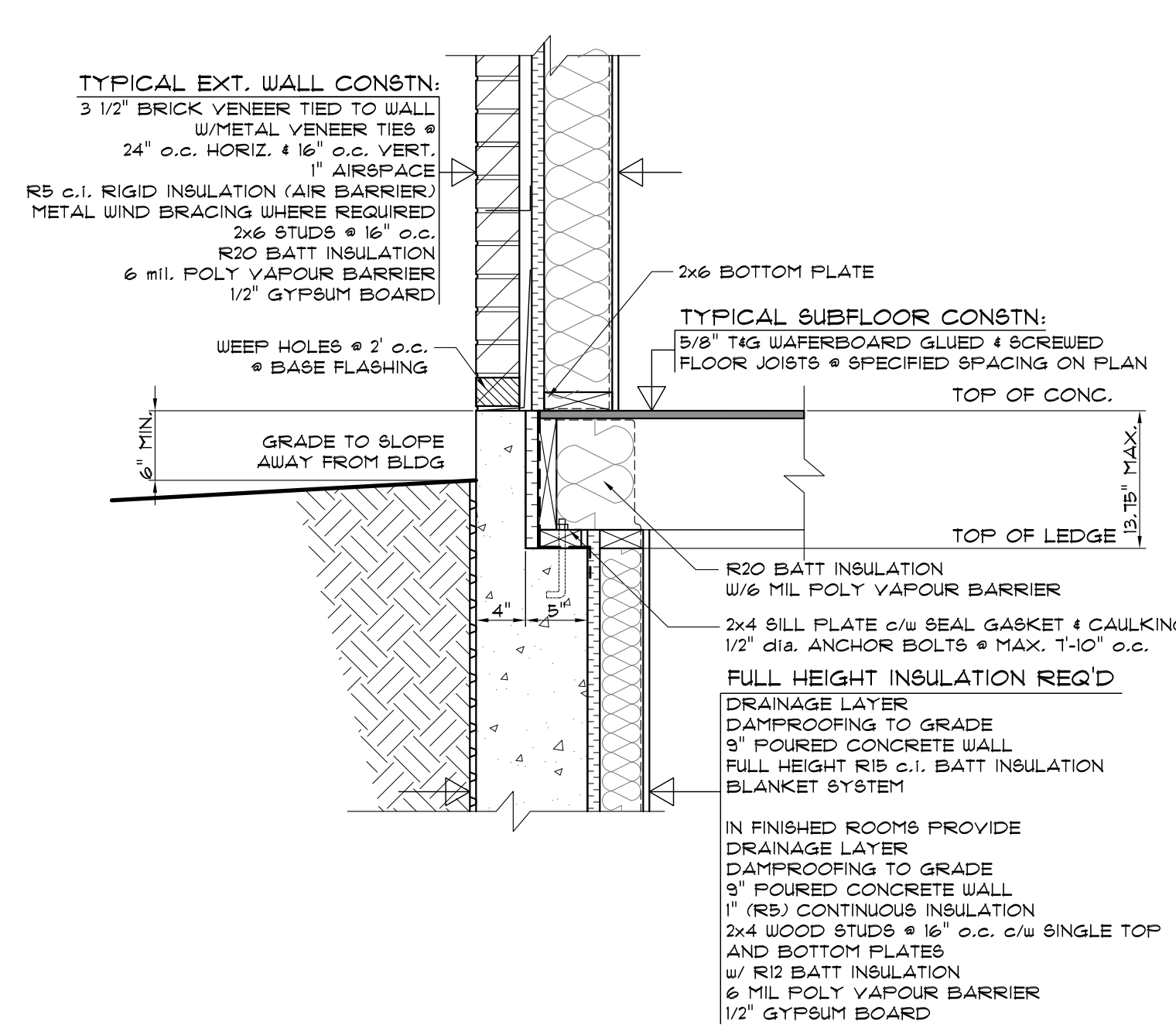
WE SHARE IN YOUR EXCITEMENT!! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT



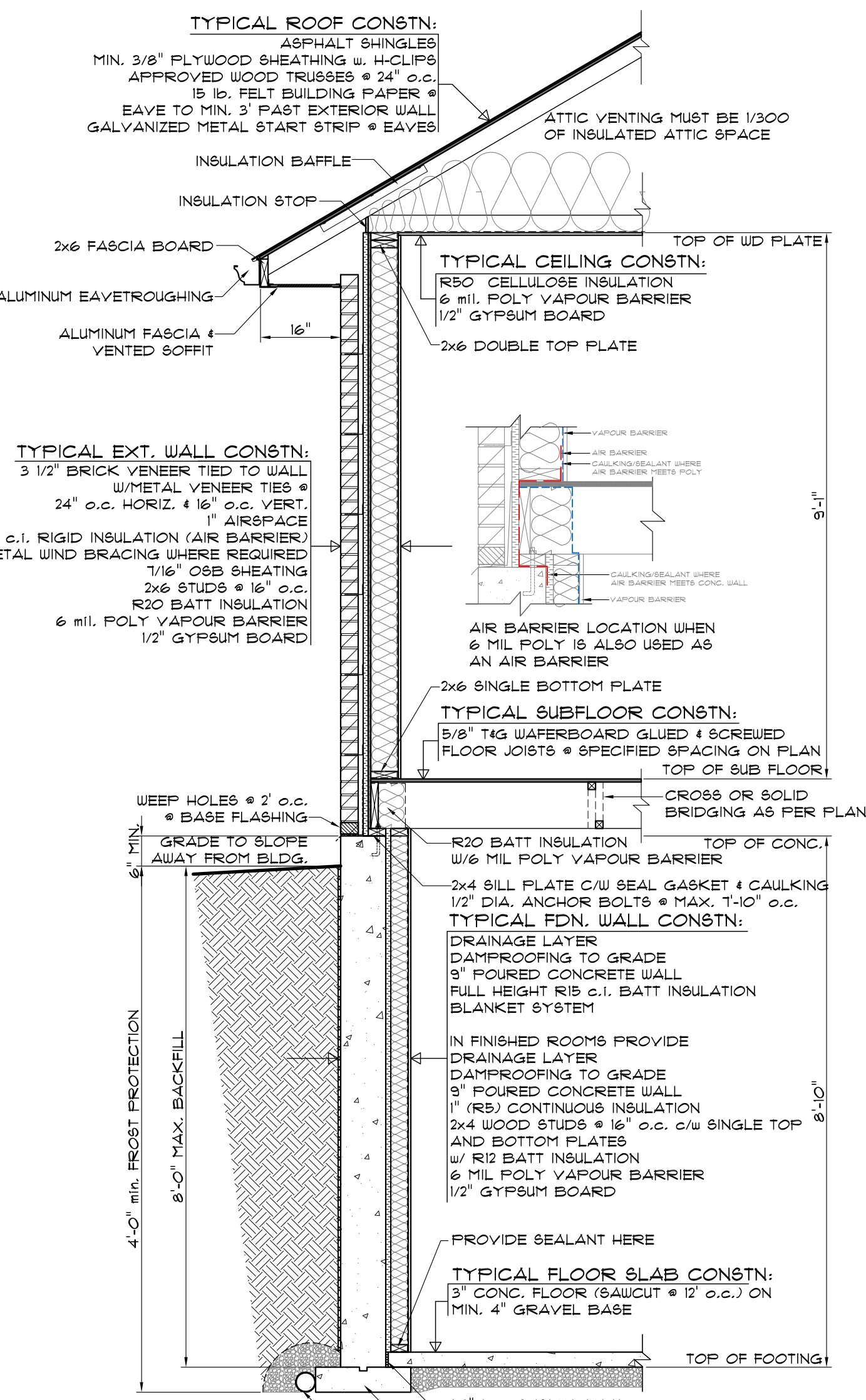
RECESSED CONC. FLUSH SLAB THRU DOOR
SCALE: 1/4"=1'-0"



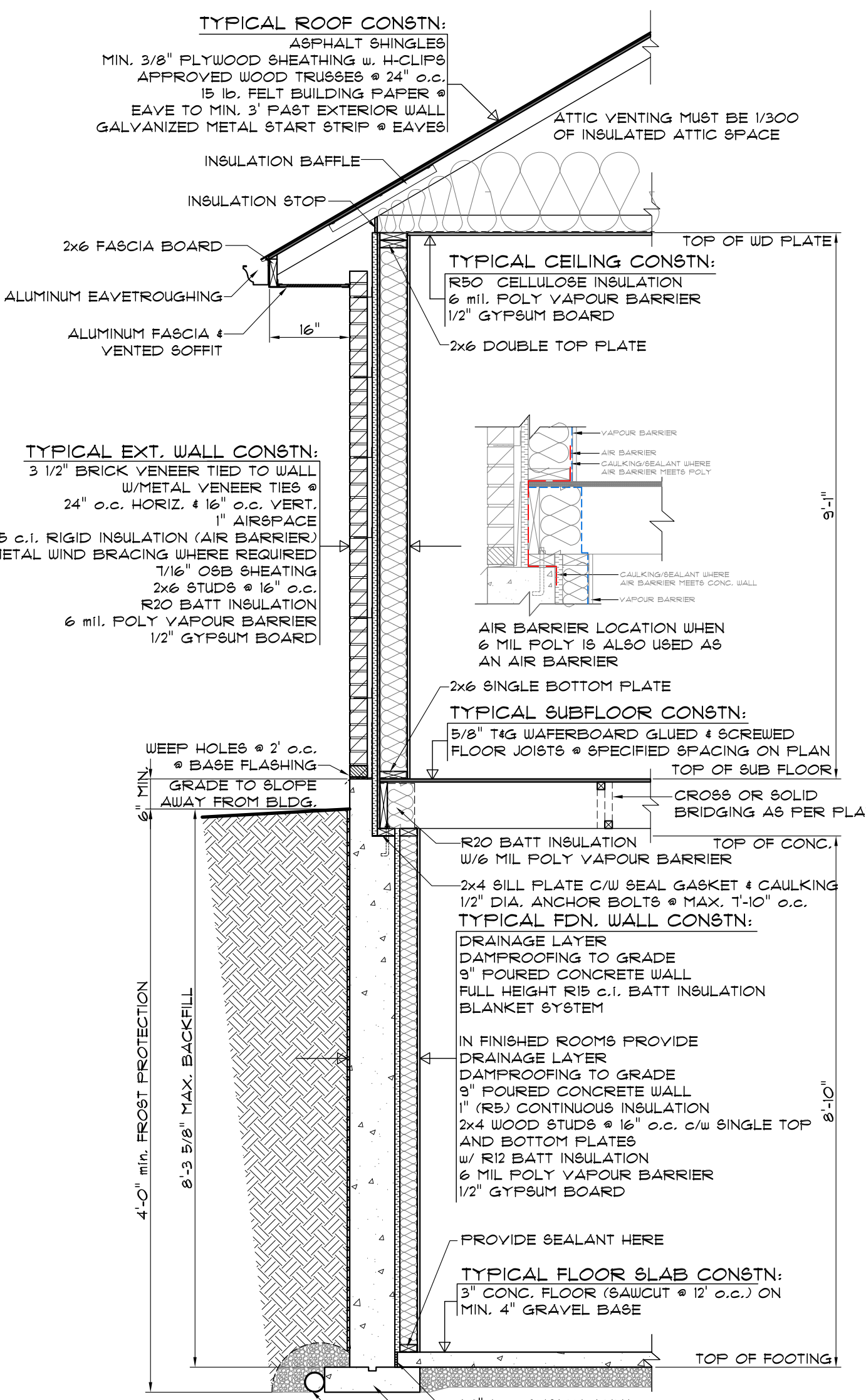
RECESSED CONC. FLUSH SLAB THRU DOOR
SCALE: 1/4"=1'-0"



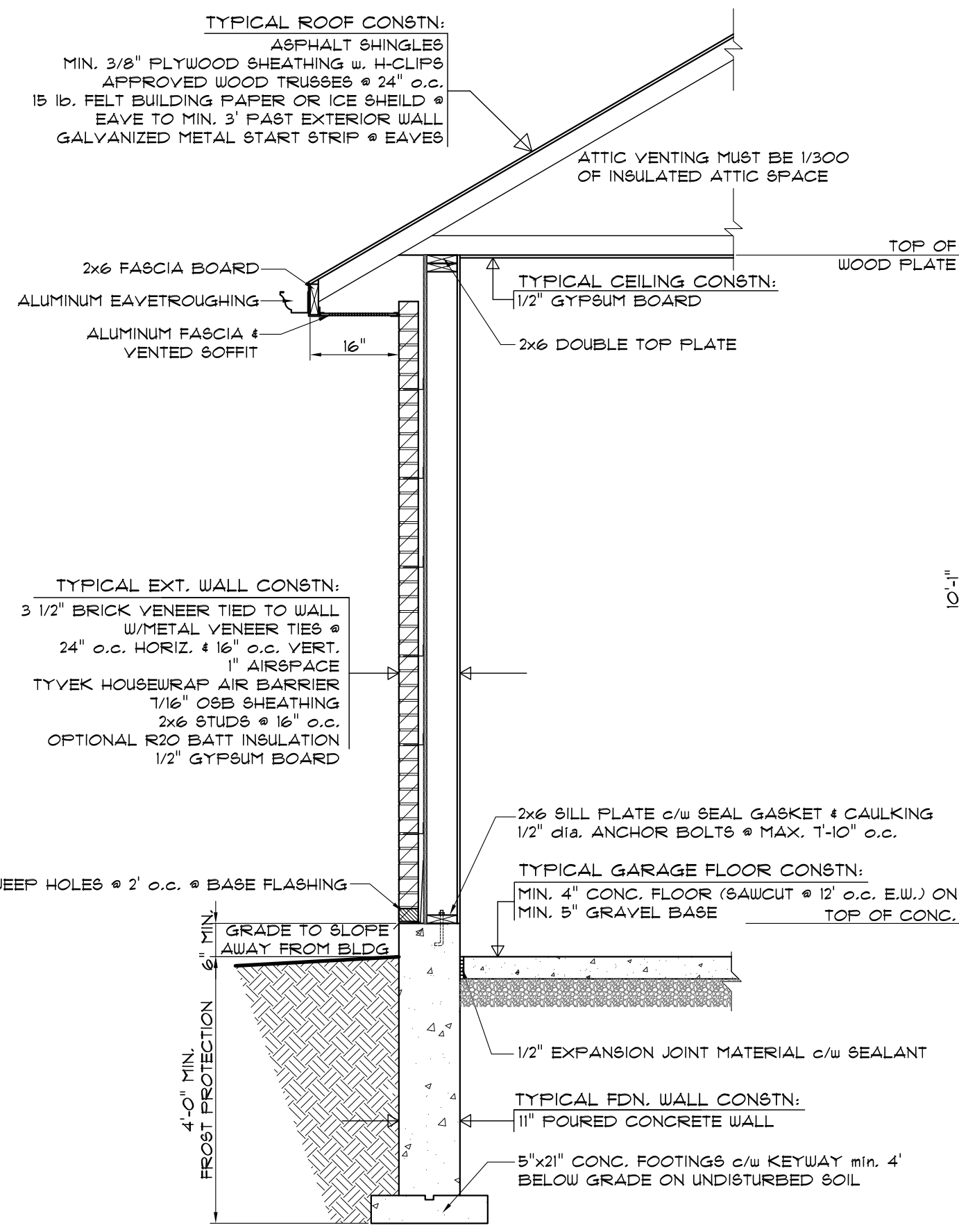
SUNKEN JOIST LEDGE DETAIL
SCALE: 1/4"=1'-0"



TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"



TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"



GARAGE WALL SECTION
SCALE: 1/2"=1'-0"

COMPLIANCE PACKAGE - A5		
COMPONENT	THERMAL VALUES*	
CEILING WITH ATTIC SPACE	MIN. NOMINAL R ¹	50
	MAX. U ¹	0.020
	MIN. EFFECTIVE R ²	49.73
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R ¹	3
	MAX. U ¹	0.036
	MIN. EFFECTIVE R ²	21.65
EXPOSED FLOOR	MIN. NOMINAL R ¹	35
	MAX. U ¹	0.031
	MIN. EFFECTIVE R ²	32.02
WALLS ABOVE GRADE	MIN. NOMINAL R ¹	15 + 5 c.i.
	MAX. U ¹	0.045
	MIN. EFFECTIVE R ²	20.32
BASEMENT WALLS	MIN. NOMINAL R ¹	12 + 5 c.i.
	MAX. U ¹	0.063
	MIN. EFFECTIVE R ²	15.36
BELOW GRADE SLAB ENTIRE SURFACE GREATER THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R ¹	-
	MAX. U ¹	-
	MIN. EFFECTIVE R ²	-
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R ¹	10
	MAX. U ¹	0.090
	MIN. EFFECTIVE R ²	11.13
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R ¹	10
	MAX. U ¹	0.28
	ENERGY RATING	29
SKYLIGHTS	MAX. U ¹	0.45
	SPACE HEATING EQUIPMENT	MIN. ARIE
HRV	MIN. BRE	10%
	DOMESTIC HOT WATER HEATER	MIN. EF

NOTES:
 (1) THE VALUES LISTED ARE MINIMUM NOMINAL R-VALUES FOR THERMAL INSULATION COMPONENT ONLY.
 (2) U-VALUES AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE CEILING ASSEMBLY COMPONENTS, FROM INTERIOR AIR FILM TO VENTED SPACE AIR FILM ABOVE INSULATION.
 (3) U-VALUES AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE EXPOSED FLOOR OR ABOVE GRADE WALL ASSEMBLY COMPONENTS, FROM INTERIOR AIR FILM TO EXTERIOR AIR FILM.
 (4) U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE BASEMENT WALL OR SLAB ASSEMBLY COMPONENTS AND INTERIOR AIR FILM.
 (5) U-VALUE IS THE OVERALL COEFFICIENT OF HEAT TRANSFER FOR A WINDOW ASSEMBLY, SLIDING GLASS DOOR ASSEMBLY OR SKYLIGHT ASSEMBLY EXPRESSED IN Btu/(hr²·ft²).
 (6) IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R20 c.i. IS REQUIRED R12 + 10 c.i. IS PERMITTED TO BE USED OR VICE VERSA OR WHERE R12 + 5 c.i. IS REQUIRED, R15 c.i. IS PERMITTED TO BE USED OR VICE VERSA.
 (7) IF AN EF OF A WATER TANK IS NOT INDICATED IN A COMPLIANCE PACKAGE, THERE IS NO EF REQUIREMENTS FOR WATER TANK FOR THAT SPECIFIC COMPLIANCE PACKAGE.
 (8) NOMINAL AND EFFECTIVE R VALUES ARE EXPRESSED IN (hr²·ft²)/Btu. U-VALUES ARE EXPRESSED IN Btu/(hr²·ft²).

NOTE: FOR PROTECTION OF ALL FOAM INSULATION R20 ROLL BATT INSULATION OR 1/2" GYPSUM BOARD IS REQUIRED

NOTE: FOR PROTECTION OF ALL FOAM INSULATION R20 ROLL BATT INSULATION OR 1/2" GYPSUM BOARD IS REQUIRED

GENERAL NOTES

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- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE).
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING:
- BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15 (30cm) LIFTS
- EVENLY AROUND STRUCTURE.
- COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

- DESIGN DATA LOCATION: SIMCOE
- GROUND SNOW LOAD: 1.3 KPA (27.4 PSF)
 SPECIFIED SNOW LOAD: 1.2 KPA (25.4 PSF)
 DEAD LOAD: 0.48 KPA (10 PSF)
 WIND LOAD (1/50): 0.45 KPA (9.4 PSF)
- 1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS 1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS ALL WOOD NGS, 2 SPRUCE OR BETTER ALL BOLTS GALVANIZED STEEL
- MAX. BRICK LINTEL SPANS
 4" BRICK/STONE O.B.C. 9.20.5.2
- BL-1 4" V x 3 1/2" H x 1/4" T B-2
 BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
 BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
 BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"
- STAIR INFO: RISE: MAX. 17/8" (44.1mm) / MIN. 10/16" (15.9mm)
 RUN: MIN. 11" (279.4mm)
 TREAD: MIN. 11" (279.4mm)
 NOSING: MAX. 1" (25.4mm)
 HEADROOM: MIN. 6'-5" (1.96m)
 UNIFORM RISE/RUN: T.J. TRIPLE JOIST / D.C.J. DOUBLE CEILING JOIST
- LEGEND:
 SOLID BEARING SB FOR GIRDER
 POINT LOAD
 SINGLE JOIST
 DOUBLE JOIST
 TRIPLE JOIST
 DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) PLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
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DESIGNER DISCLAIMER

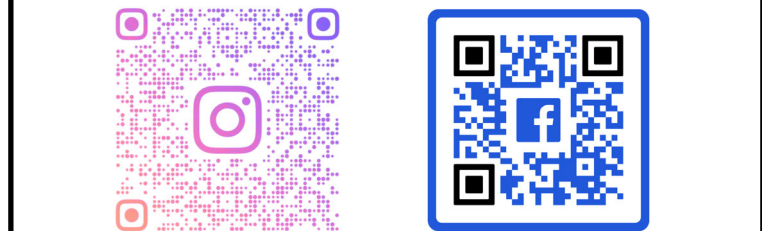
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- HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH HVAC INSTALLER.

PROPOSED RESIDENCE FOR
 JOHN & SARA JACOBS
 421 WATER ST., VICTORIA

PROJECT NUMBER
 1234-24-01

djDESIGN
 Architectural • Energy • HVAC

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 Email: plans@djdesign.ca Woodstock, ON
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QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.3.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
 NAME BCIN
 SIGNATURE

SECTIONS & DETAILS

scale:
 A5 SHOWN
 date:
 2025-01-30
 drawn by:
 CD
 designed by:
 COURTNEY@DJDESIGN.CA
 checked by:
 ATU

A-5

WE SHARE IN YOUR EXCITEMENT! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT

DJ Design
Attn: Cortney Doherty

SBM-24-2647
December 13, 2024

421 Water Street,
Vittoria, Ontario

Cortney;

As requested, we have completed our review of the structural items listed in this report. An allowable soil bearing pressure of 2000psf was assumed. All structural steel to have a $F_y=345\text{MPa}$ or greater. All lumber to be S-P-F No.1/No.2 or better. All structural composite lumber (SCL) to be 2.0E with $F_b=2950$ (USA ASD) or $F_b=5450$ (Canadian LSD) or greater. Inspections of the items in this report are by others. Please contact us if additional engineering or inspections are required. See structural specification sheet SS1 attached for structural requirements, material specifications, loading, and assumptions. This report is for the above referenced project only and cannot be used for similar applications on other projects without written consent from Strik Baldinelli Moniz.

Items

- | | |
|--|--|
| <p>1. Overhead Garage Door Headers (front to back) (4)
Factored reaction @ ends: 5.1 kips
Approx. span (centre-to-centre) = 10'-6"
<i>Provide 2-2x6 jacks + 2-2x6 king studs at each end.</i></p> | <p>2-1.75"x9.25" 2.0E LVL</p> |
| <p>2. Primary Bedroom Window Header (left to right)
Factored reaction @ ends: 4.9 kips
Approx. span (centre-to-centre) = 7'-3"
<i>Provide 2-2x6 jacks + 1-2x6 king studs at each end.</i></p> | <p>2-1.75"x9.25" 2.0E LVL
or 3-2x12</p> |
| <p>3. Primary Bedroom Window Header (front to back)
Factored reaction @ ends: 0.9 kips
Approx. span (centre-to-centre) = 2'-7"
<i>Provide 1-2x6 jack + 1-2x6 king stud at each end.</i></p> | <p>2-2x10</p> |
| <p>4. Rear Covered Porch Exterior Beams (left to right) (2)
Factored reaction @ ends: 4.4 kips
Approx. span (centre-to-centre) = 21'-5"
<i>At exterior supports, provide a min. 8x8 P.T. wood post ensuring continuous bearing to foundation wall below. At interior supports, provide a Simpson Strong Tie HU612 face-mount hanger to item #5. Install in accordance with manufacturer's specifications.</i></p> | <p>3-1.75"x11.875" 2.0E LVL</p> |
| <p>5. Rear Covered Porch Interior Beams (front to back) (2)
Factored reaction @ ends: 11.3 kips
Approx. span (centre-to-centre) = 18'-0"
<i>At rear supports, provide a min. 8x8 P.T. wood post ensuring continuous bearing to foundation wall below. At front supports, provide a 4-2x6 (3-ply option) or a 5-2x6 (4-ply option) built-up wood post.</i></p> | <p>4-1.75"x11.875" 2.0E LVL
or 3-1.75"x14" 2.0E LVL</p> |

6. **Rear Covered Porch Interior Beam (left to right)** **4-1.75"x11.875" 2.0E LVL**
or 3-1.75"x14" 2.0E LVL
Factored reaction @ ends: 3.0 kips
Approx. span (centre-to-centre) = 26'-3"
Provide an 8x8 P.T. wood post at each end, ensuring continuous bearing to foundation wall below.
7. **Great Room Sliding Door Header (left to right)** **3-1.75"x11.875" 2.0E LVL**
or 2-1.75"x14" 2.0E LVL
Factored reaction @ ends: 5.7 kips
Approx. span (centre-to-centre) = 16'-3"
Provide 2-2x6 jacks + 4-2x6 king studs at each end.
Note: expected total load deflection of the above beam is 0.51", conforming to the allowable L/240 as per OBC. Confirm with door supplier the expected deflection is adequate for their respective systems prior to installation and contact SBM for redesign if less deflection is required.
8. **Dining Room Window Header (left to right)** **2-1.75"x7.25" 2.0E LVL**
or 3-2x10
Factored reaction @ ends: 2.4 kips
Factored reaction @ interior: 7.8 kips
Approx. span (centre-to-centre) = 2'-10" + 8'-0" + 2'-10" (3 separate spans)
Provide 2-2x6 jack studs + 1-2x6 king stud at each end of the 2'-4" window openings. Provide 2-2x6 jack studs + 1-2x6 king stud at each end of the 7'-0" window opening.
9. **Bedroom 2 Window Header (front to back)** **3-2x10**
Factored reaction @ ends: 5.6 kips
Approx. span (centre-to-centre) = 2'-10"
Provide 2-2x6 jack studs + 1-2x6 king stud at each end.
10. **Laterally Unsupported Foundation at Garage Stairs**
Provide 15M bars at 16" o/c each way with 1¼" clear cover from inside face of wall. Extend bars min 32" past stair openings. Provide 24"x24" 10M hooked dowels at 16" o/c vertically lapped & tied to horizontal bars at the corners. Provide (3) ½" dia. OBC anchor bolts at 16" o/c just past the stair opening.
11. **Beam Supporting Concrete Slab over Garage Stairs** **W6x15**
Factored reaction @ ends: 1.0 kips
Approx. span (centre-to-centre) = 4'-4"
Provide 3" minimum bearing in a beam pocket at each end.
12. **Foundation Wall Reinforcement at Flush Entry**
Where finished grade exceeds 9'-4" above top of footing, see SBM detail S1 for foundation wall reinforcement.

We trust this report meets your satisfaction; if you need further clarification please do not hesitate to contact us.



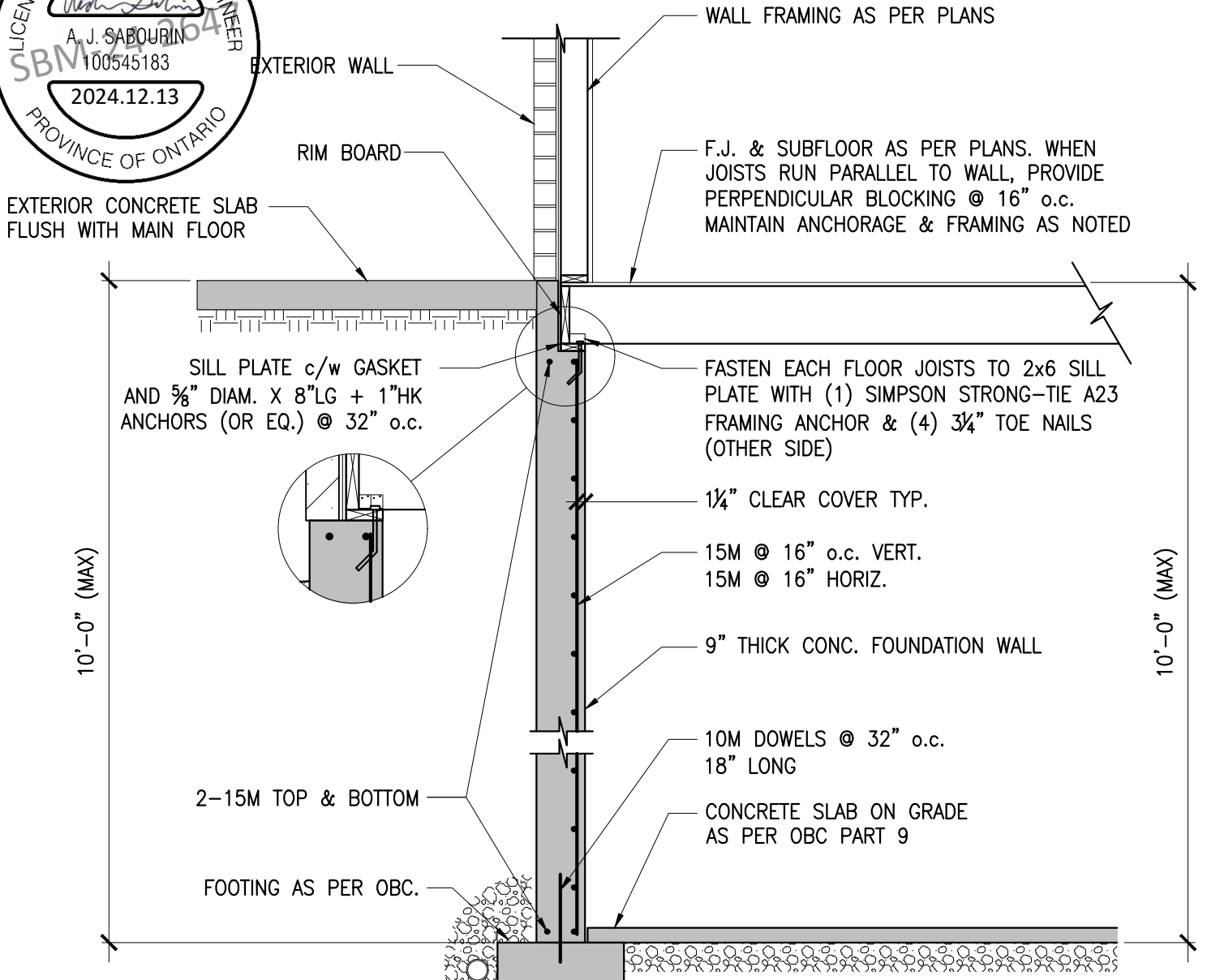
Regards,

Strik, Baldinelli, Moniz Ltd.

Planning • Civil • Structural • Mechanical • Electrical

A handwritten signature in black ink that reads "Aidan Sabourin".

Aidan Sabourin, P. Eng.
Structural Engineer I, Project Lead



10' TALL REINFORCED FOUNDATION WALL DETAIL

N.T.S.

NOTES:

1. SEALED FOR STRUCTURAL INFORMATION ONLY. SEE STRUCTURAL SPECIFICATIONS ON SHEET SS1 PROVIDED.
2. CONCRETE TO BE $F_c' = 25 \text{ MPa}$ (MIN.) IN 28 DAYS WITH 5-8% AIR ENTRAINMENT.
3. WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED IN ACCORDANCE WITH 2012 OBC 9.4.4.6.(1)(a).
4. DO NOT BACKFILL WALL UNTIL FLOOR DIAGRAM IS FULLY INSTALLED OR FOUNDATION WALL IS FULLY BRACED.
5. SOME TYPICAL 2012 ONTARIO BUILDING CODE PART 9 DESIGN ITEMS HAVE BEEN OMITTED FOR CLARITY. ENSURE ALL CONSTRUCTION CONFORMS 2012 OBC PART 9

GENERAL

1. THE ENGINEERING REVIEW BY STRIK BALDINELLI MONIZ LIMITED (SBM) IS FOR THE STRUCTURAL ITEMS NOTED ON THE SEALED DESIGN DOCUMENTS (PLANS, DETAILS, REPORT, ETC.) FOR WHICH THERE ARE NO PROVISIONS IN PART 9 OF THE ONTARIO BUILDING CODE (O.B.C.).
2. THE ENGINEERING REVIEW BY SBM IS LIMITED TO THE SITE/ADDRESS SHOWN ON THE DRAWINGS/REPORT AND CANNOT BE USED FOR ANY OTHER PROJECT WITHOUT EXPRESSED WRITTEN CONSENT BY SBM.
3. THE SEALED DESIGN DOCUMENTS ARE PREPARED BY SBM SOLELY FOR THE USE BY THE PARTY WITH WHOM SBM HAS ENTERED INTO A CONTRACT (HEREBY REFERRED TO AS THE CLIENT).
4. SBM'S REVIEW IS BASED ON THE INFORMATION (PLANS, ELEVATIONS, SECTIONS, DETAILS, GEOTECHNICAL REPORTS, SHOP DRAWINGS FOR PRE-ENG ELEMENTS, ETC.) PROVIDED TO US BY THE CLIENT AT THE TIME OF OUR REVIEW. SBM IS NOT RESPONSIBLE FOR ANY ERRORS TO, OR OMISSIONS FROM, THIS INFORMATION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE US WITH ALL RELEVANT INFORMATION, TOGETHER WITH ANY ADDITIONS OR CHANGES THERETO.
5. THE CLIENT AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THIS HOUSE OR SMALL BUILDING SHALL CONFORM TO THE REQUIREMENTS OF O.B.C. PART 9 INCLUDING ALL STANDARDS REFERENCED THEREIN, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION.
6. THIS SPECIFICATION SHEET IS INTENDED TO SUPPLEMENT THE SEALED DESIGN DOCUMENTS PROVIDED AND O.B.C. PART 9 AS IT DOES NOT INCLUDE ALL REQUIREMENTS PROVIDED THEREIN. IF THE CLIENT REQUIRES FURTHER CLARIFICATION PLEASE CONTACT SBM OR THE LOCAL BUILDING DIVISION.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS - O.REG. 213/91.
8. SBM HAS ASSUMED THAT ANY REQUIRED INSPECTIONS WILL BE PERFORMED BY THE LOCAL BUILDING DIVISION. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR ANY INSPECTIONS REQUIRED TO BE PERFORMED BY SBM.
9. THE DESIGN AND CONSTRUCTION OF ANY TEMPORARY SHORING REQUIRED TO CONSTRUCT THE WORKS HEREIN IS THE RESPONSIBILITY OF OTHERS.
10. WHERE MULTIPLE DESIGN OPTIONS ARE PRESENTED, IT IS THE RESPONSIBILITY OF THE CLIENT, IN CONSULTATION WITH THE OWNER, TO SELECT THE APPROPRIATE ALTERNATIVE.

FOOTINGS AND FOUNDATIONS

1. ALL CONCRETE SHALL CONFORM TO O.B.C. 9.3.1. AND ALL FOOTINGS AND FOUNDATIONS SHALL CONFORM TO O.B.C. 9.15. UNLESS NOTED OTHERWISE (U.N.O.) ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. FOUNDATIONS HAVE BEEN DESIGNED ASSUMING AN ALLOWABLE SOIL BEARING PRESSURE OF 100kPa (2090psf). IT IS THE RESPONSIBILITY OF THE CLIENT TO INFORM SBM IF THIS BEARING PRESSURE CANNOT BE ACHIEVED.
3. FOUNDATION WALLS SUPPORTING DRAINED EARTH HAVE BEEN DESIGNED FOR THE LOAD PROVIDED IN 9.4.4.6.(1)(a). ENSURE PROVISIONS ARE MADE FOR APPROPRIATE DRAINAGE OF GROUNDWATER.
4. ENSURE ALL FOUNDATION WALLS ARE LATERALLY SUPPORTED PRIOR TO BACKFILLING.
5. ALL REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF CAN/CSA G30. REINFORCING BARS SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 400MPa.

WOOD-FRAME CONSTRUCTION

1. ALL LUMBER AND WOOD PRODUCTS SHALL CONFORM TO O.B.C. 9.3.2. AND ALL WOOD-FRAME CONSTRUCTION SHALL CONFORM TO O.B.C. 9.23. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL COMPOSITE LUMBER (SCL) SHALL BE 2.0E WITH $F_b=2950$ (USA ASD) OR $F_b=5450$ (CANADIAN LSD) OR BETTER. FASTEN MULTI-PLY SCL BEAMS AS PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 3" BEARING LENGTH AT ENDS U.N.O.
3. ALL PRE-ENGINEERED SYSTEMS (ROOF TRUSSES, FLOOR JOISTS, ETC.) SHALL BE DESIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER OF ONTARIO. PROVIDE LAYOUTS AND SEALED DESIGN SHEETS TO SBM AND THE LOCAL BUILDING DIVISION.
4. ENSURE THE EXTERIOR WALLS ARE BRACED AS PER O.B.C. 9.23.10.2. TO PROVIDE LATERAL SUPPORT FOR THE BUILDING.
5. PROVIDE SUFFICIENT LATERAL SUPPORT FOR THE TOP OF ALL DROPPED BEAMS AND LINTELS TO PREVENT LATERAL TORSIONAL BUCKLING.
 - 5.1. AN EXAMPLE OF SUFFICIENT LATERAL SUPPORT IS (2) 3/4" NAILS PER JOIST FOR LEDGER STRIP TO WOOD BEAM CONNECTION (AS PER O.B.C. TABLE 9.23.3.4.)
6. ALL WOOD COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. PROVIDE A BUILT-UP WOOD STUD COLUMN EQUAL TO THE WIDTH OF THE BEAM/GIRDER TRUSS UNDER ALL BEAMS/GIRDER TRUSSES, MINIMUM. U.N.O. CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYPICAL (TYP.).
7. ALL LINTELS SHALL HAVE 1 JACK STUD + 1 KING STUD AT ENDS U.N.O.
8. ALL GUARDS SHALL CONFORM TO O.B.C. 9.8.8. AND SUPPLEMENTARY STANDARD SB-7 U.N.O.
9. ALL POST LOADS SHOWN ON DRAWINGS ARE UNFACTORED. ALL ADJUSTABLE STEEL POSTS (E.G. SUPER POST, JR POST, ETC.) SHALL BE DESIGNED AND APPROVED BY CCMC WITH APPROPRIATE FACTORS OF SAFETY.

ROOF AND CEILING FRAMING

1. ALL ROOF AND CEILING FRAMING SHALL CONFORM TO O.B.C. 9.23.13. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL ROOF RAFTERS/JOISTS AND CEILING JOISTS SHALL CONFORM TO THE SPANS SHOWN IN O.B.C. PART 9 TABLES A-3 TO A-7.
3. WHERE REQUIRED, PROVIDE INTERMEDIATE SUPPORT FOR ROOF RAFTERS AS PER O.B.C. 9.23.13.7.
 - 3.1. SBM ASSUMES THAT COLLAR TIES WILL BE USED TO PROVIDE INTERMEDIATE SUPPORT INSTEAD OF STRUTS OR DWARF WALLS U.N.O. (I.E. ALL ROOF RAFTERS BEAR ON EXTERIOR WALLS ONLY AND INTERIOR WALLS SUPPORT CEILING JOISTS ONLY U.N.O.)
4. WHERE THE RIDGE IS UNSUPPORTED, ROOF RAFTERS SHALL BE TIED TO THE CEILING JOISTS (OR SOLID BLOCKING @ 3'-11" O.C. MAX.) AT THEIR BASES AND NAILED AS PER O.B.C. TABLE 9.23.13.8. TO PREVENT OUTWARD MOVEMENT.
5. OVER-FRAMED AREAS SHALL BE SUPPORTED ON LOWER ROOF RAFTERS/JOISTS BY 2x4 STRUTS @ 24" O.C. EACH WAY MIN., U.N.O.
6. WOOD ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH O.B.C. 9.23.13.11. OR PART 4 IF THEIR SPAN EXCEEDS 40'-0" (AS PER O.B.C. 9.23.1.1.).
 - 6.1. IF THE TRUSSES ARE DESIGNED IN ACCORDANCE WITH O.B.C. PART 4, THE DESIGN OF UPLIFT ANCHORS SHALL BE PROVIDED BY THE TRUSS SUPPLIER ALONG WITH LAYOUTS AND SEALED DESIGN SHEETS.
 - 6.2. TRUSSES SHALL BE INSTALLED AS PER TRUSS PLATE INSTITUTE OF CANADA "HANDLING, ERECTION, AND BRACING OF WOOD TRUSSES" GUIDELINE.



STRUCTURAL STEEL

1. ALL STEEL BEAMS SHALL CONFORM TO O.B.C. 9.23.4.3. AND ALL STEEL COLUMNS SHALL CONFORM TO O.B.C. 9.17. U.N.O. ON THE SEALED DESIGN DOCUMENTS PROVIDED.
2. ALL STRUCTURAL STEEL SHALL MEET OR EXCEED THE REQUIREMENTS FOR GRADE 350W IN CAN/CSA-G40.21 U.N.O. BELOW.
 - 2.1. ANCHOR BOLTS ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa) OR ASTM A36 (248MPa).
 - 2.2. TOP/BASE PLATES ARE PERMITTED TO BE GRADE 300W IN CAN/CSA G40.21 (300MPa).
3. ALL WELDING SHALL BE PERFORMED BY A CANADIAN WELDING BUREAU CERTIFIED WELDER AND CONFORM TO ALL APPLICABLE STANDARDS.
4. PROVIDE SUFFICIENT LATERAL SUPPORT FOR STEEL BEAMS TO PREVENT LATERAL TORSIONAL BUCKLING. SUFFICIENT LATERAL SUPPORT EXAMPLES:
 - 4.1. DROPPED STEEL BEAM - AS PROVIDED IN O.B.C. 9.23.4.3.(3) OR A 2x6 TOP PLATE W/ 3/8" THRU-BOLTS C/W NUTS & WASHERS OR HILTI X-U FASTENERS @ 24" O.C. STAGGERED INTO THE TOP FLANGE & (2) 3/4" NAILS FROM EACH JOIST INTO THE TOP PLATE.
 - 4.2. FLUSH STEEL BEAM - SOLID BLOCKING (2x LUMBER & PLYWOOD) BOLTED TO THE BEAM WEB WITH 1/2" THRU-BOLTS @ 16" O.C. STAGGERED TOP & BOTTOM AND APPROVED FACE-MOUNT HANGERS FOR THE JOIST TO BLOCKING CONNECTION.
5. WHERE A STEEL PLATE SUPPORTING MASONRY VENEER IS SPECIFIED, WELD TO THE TOP OR BOTTOM FLANGE OF THE BEAM WITH (2) ROWS OF 2" LONG 1/4" FILLET WELDS @ 8" O.C. MIN., STAGGERED.
6. ALL STEEL COLUMNS SHALL BE LATERALLY SUPPORTED TOP & BOTTOM (E.G. BY CONCRETE SLAB ON GRADE, (2) 3/8" BOLTS, OR 2" OF 1/4" FILLET WELD MIN.). CONTINUE ALL COLUMNS DOWN TO FOUNDATION OR FULL BEARING ON BEAMS. BLOCK SOLID IN JOIST SPACES, TYP.

LOADING

1. ROOF LOADING:
 - 1.1. SNOW LOAD = AS PER O.B.C. 9.4.2.2. (NOT LESS THAN 20.9psf)
 - 1.2. DEAD LOAD = 6psf (ROOF RAFTERS/JOISTS OR TRUSS TOP CHORDS)
2. CEILING LOADING:
 - 2.1. ATTIC OR ROOF SPACE WITH LIMITED ACCESSIBILITY PRECLUDING THE STORAGE OR EQUIPMENT OR MATERIAL [AS PER O.B.C. 9.4.2.4.(1)]
 - 2.1.1. TOTAL LOAD = 7psf
 - 2.2. ACCESSIBLE ATTIC IN RESIDENTIAL OCCUPANCIES
 - 2.2.1. LIVE LOAD = 30psf
 - 2.2.2. DEAD LOAD = 12psf
 - 2.3. ACCESSIBLE ATTIC IN NON-RESIDENTIAL OCCUPANCIES
 - 2.3.1. LIVE LOAD = AS PER O.B.C. 4.1.5.
 - 2.3.2. DEAD LOAD = 12psf
3. FLOOR LOADING:
 - 3.1. LIVE LOAD = 40psf
 - 3.2. DEAD LOAD = 12psf
4. ACCESSIBLE EXTERIOR PLATFORMS (AS PER O.B.C. 9.4.2.3.3.)
 - 4.1. LIVE LOAD = GREATER OF 40psf OR SNOW LOAD
 - 4.2. DEAD LOAD = 12psf

Sent from my iPhone

Begin forwarded message:

From: Andrew Wallace <Andrew.Wallace@norfolkcounty.ca>
Date: February 10, 2025 at 1:28:11 PM EST
To: DCS Planning General Email <planning@norfolkcounty.ca>, John Jacobs <johnjacobs@kwic.com>, Lisa Jennings <Lisa.Jennings@norfolkcounty.ca>
Cc: Bohdan Wynnyckyj <Bohdan.Wynnyckyj@norfolkcounty.ca>
Subject: Re: 421 water street

Good afternoon,

Thank you for your email.

I have reviewed the proposal and agree with Lisa's view that there will be a compliance issue with the southern interior side yard setback for the new dwelling. The original Zoning By-law Amendment which allowed for the relocation of the hazard land boundaries and for the original dwelling to be built, was accompanied by a special provision (14.250) in the by-law which required a 6m interior (northern lot line) and rear yard setback and a 12m (40 foot) interior side yard setback to the southern lot line. The proposed new dwelling is seeking only 6m of interior side yard setback to the southern lot line.

It would be standard to require a Zoning By-law Amendment to amend a special provision. However, given the situation and that LPRCA agree with the reduced setback, we are prepared to allow this to be amended through a minor variance application at Committee of Adjustment. I have included an application form for your reference. Any questions about the process, please contact our Secretary Treasurer at coa@norfolkcounty.ca.

You will not be able to obtain a building permit for the works until this planning application has been completed unless the proposed dwelling is amended to comply with the zoning/special provision of 12m to the southern lot line and 6m to the northern lot line.

Kind regards,

Andrew Wallace, MScIP, MScArchCon
Planner
Planning
Community Development Division
12 Gilbertson Drive, Simcoe, Ontario, Canada, N3Y 4L1
519-426-5870 x1059 | 226-NORFOLK



Long Point Region Conservation Authority

PERMIT No. LPRCA-2/25 PROHIBITED ACTIVITIES, EXEMPTIONS AND PERMITS (CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 41/24)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:			
Applicant:	<u>John Jacobs</u>	Telephone:	<u>(519) 410-1720</u>
Address:	<u>421 Water Street, Vittoria, ON, N0E</u>	Email:	<u>johnjacobs@kwic.com</u>
	<u>1W0</u>		
Agent:	<u>John Jacobs</u>	Telephone:	<u>(519) 410-1720</u>
Address:	<u>421 Water Street, Vittoria, ON, N0E</u>	Email:	<u>johnjacobs@kwic.com</u>
	<u>1W0</u>		
Location/Address of works:	<u>421 Water Street, Roll # 331049306011720</u>		
Lot:	<u>20</u>	Concession:	<u>4</u>
		Municipality:	<u>Norfolk County</u>
Description of Works:	<u>To replace a 2800ft² dwelling that was destroyed by a fire with a new 3076ft² dwelling on the same location.</u>		
Type of fill:	<u>N/A</u>		

This permit is valid on the above location only for the period of:
DATE: January 9, 2025 – January 9, 2027

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

<u>SPECIFIC CONDITIONS:</u>
1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated and the associated information.



DECLARATION OF A ZONING BY-LAW
BY THE COUNCIL OF THE CORPORATION OF NORFOLK COUNTY

I, JIM MCINTOSH, hereby certify that the Notice of the Passing of a Zoning By-Law No. **30-Z-2010** of the Corporation of Norfolk County, passed by the Council of the Corporation on the 11th day of May, 2010, was given in manner and form and to the persons and agencies prescribed by regulation made by the Lieutenant Governor-in-Council under Subsection 18 of Section 34 of the *Planning Act, R.S.O. 1990, c. P. 13*.

I also certify that the twenty-day appeal period expired on the 2nd day of June, 2010 and to date no notice of appeal of the By-Law has been filed by any person in the office of the Clerk of Norfolk County.

DATED at Norfolk County this
3rd day of June, 2010

Jim McIntosh, MCIP, RPP
Manager, Community Planning Services



Decision Date 11th day of May, 2010
Notice Date 13th day of May, 2010
Appeal Deadline **2nd day of June, 2010**

File Number ZN-011/2010
By-Law Number 30-Z-2010

NOTICE OF THE PASSING OF A ZONING BY-LAW

BY THE COUNCIL OF THE CORPORATION OF NORFOLK COUNTY

TAKE NOTICE that the Council of the Corporation of Norfolk County passed By-Law No. **30-Z-2010** on the 11th day of May, 2010 under Section 34(18) of the *Planning Act, R.S.O. 1990, c. P. 13*.

AND TAKE NOTICE that any person or agency may appeal to the Ontario Municipal Board in respect of the By-Law by filing an Appellant Form with the Clerk of Norfolk County not later than the **2nd day of June, 2010**.

If you wish to appeal to the Ontario Municipal Board, a copy of the Appellant Form is available from the Ontario Municipal Board website at www.omb.gov.on.ca or from the Clerk of Norfolk County. The Appellant Form must set out the reasons for the appeal and be accompanied by the fee of \$125.00 required by the Ontario Municipal Board (established by Regulation 888, R.R.O. 1990). Fees are payable by certified cheque or money order and should be made payable to the "Minister of Finance". You must submit the completed Appellant Form and prescribed fee to the attention of the Clerk, Norfolk County, 50 Colborne Street South, Simcoe ON N3Y 4H3.

Only individuals, corporations and public bodies may appeal a By-Law of Norfolk County to the Ontario Municipal Board. An appeal may not be filed by an unincorporated association or group. However, an appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the By-Law was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Municipal Board, there are reasonable grounds to add the person or public body as a party.

DATED at Norfolk County this
13th day of May, 2010



PURPOSE AND EFFECT

The purpose of this By-Law is to change the zoning on the subject lands from "Hazard Land (HL) zone" to "Agricultural (A) zone" to permit a "one family dwelling house".

Based on the Environmental Impact Study and Slope Stability Study, site specific setback provisions are set out in Section 36, the Special Provisions section of the Township of Delhi Zoning By-law and on a site specific schedule. These provisions address the requirements of the Long Point Region Conservation Authority and policy of the Provincial Policy Statement (2005) and the Norfolk County Official Plan regarding protection of the features and ecological functions for which the adjacent natural heritage features (significant woodlands and provincially significant wetlands) were identified.

The complete By-Law describing the lands to which the By-Law applies and the key map showing the location of the lands to which the By-Law applies is attached for your review.

Additional information regarding the proposed Zoning By-Law Amendment is available to the public for inspection at Community Planning Division, Norfolk County, 60 Colborne Street South, Simcoe ON N3Y 4H3 between 8:30 a.m. and 4:30 p.m., Monday to Friday or by calling 519.426.5870 or 519.875.4485 or 519.582.2100 ext 1341 or emailing mary.elder@norfolkcounty.ca.

File Number
Applicant
Location

ZN-011/2010
Scollynn Investments Inc.
Part Lot 20, Concession 4, Geographic Township of Charlotteville, Norfolk County

Related File No.
Roll Number

BN-087/2007
3310-493-060-11700



BY-LAW NO. 30-Z-2010

OF

The Corporation of Norfolk County

BEING A BY-LAW TO AMEND ZONING BY-LAW 1-DE 80, AS AMENDED, OF THE FORMER TOWNSHIP OF DELHI FOR PROPERTY DESCRIBED AS PART LOT 20, CONCESSION 4, GEOGRAPHIC TOWNSHIP OF CHARLOTTEVILLE, NORFOLK COUNTY IN THE NAME OF SCOTLYNN INVESTMENTS INC.

WHEREAS Norfolk Council is empowered to enact this By-Law, by virtue of the provisions of Section 34 of the Planning Act, R.S.O. 1990, c.P.13, as amended;

AND WHEREAS this By-Law conforms to the Norfolk County Official Plan.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF NORFOLK COUNTY HEREBY ENACTS AS FOLLOWS:

1. That Schedule "A4" and "A4-A, Figure 3 Vittoria" of the Township of Delhi Zoning By-Law 1-DE 80, as amended, is hereby further amended by changing the zoning of the subject lands identified on Map "A" (attached to and forming part of this By-Law) from "Hazard Land (HL) zone" to "Agricultural (A) zone";
2. That Schedule "A4" and "A4-A, Figure 3 Vittoria" of the Township of Delhi Zoning By-Law 1-DE 80, as amended, is hereby further amended by delineating the lands identified on Map "A" (attached to and forming part of this By-Law) as having reference to subsection 36.297;
3. That the following subsection be added to section 36 of said Zoning By-Law 1-DE 80:

36.297 That subsections (c) (iii) and (iv) Minimum Yard Requirements of Section 27.2 General Zone Provisions for the Agricultural Zone (A) shall not apply and in lieu thereof the following provisions as shown on Schedule 36.297.1, shall apply

 - i. Minimum interior side yard (right or north) setback

6 metres from boundaries of the plateau
 - ii. Minimum rear yard (west) setback

6 metres from boundaries of the plateau

- iii. Minimum interior side yard (left or south) setback
12 metres from boundaries of the plateau
- 4. That this By-Law shall apply to the subject lands identified on Map "A" (attached to and forming part of this By-Law);
- 5. That the effective date of this By-Law shall be the date of final passage thereof.

ENACTED AND PASSED THIS 11TH DAY OF MAY, 2010.

First Reading: May 11, 2010

Second Reading: May 11, 2010

Third Reading: May 11, 2010



Mayor

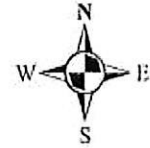


Clerk/Manager of Council Services

SCHEDULE 36.297.1

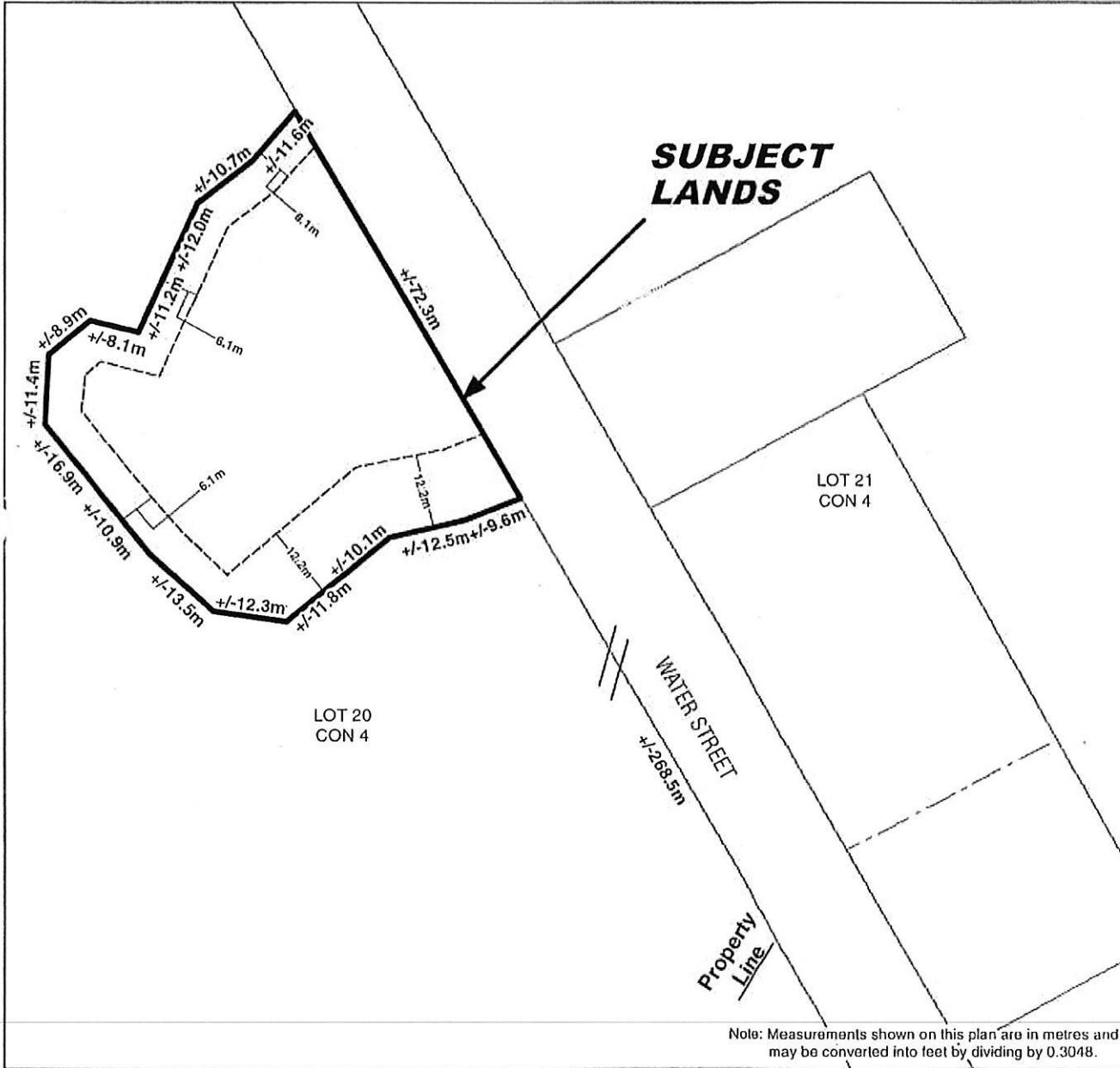
NORFOLK COUNTY

Geographic Township of CHARLOTTEVILLE



5 2.5 0 5 10 15 20 Meters

1:1,000



Note: Measurements shown on this plan are in metres and may be converted into feet by dividing by 0.3048.

Included by Zoning By-law 30-Z-2010 Passed the 11TH day of MAY 2010.

DM Favallo
MAYOR

Catherine Balcomb
Deputy CLERK

**EXPLANATION OF THE PURPOSE AND EFFECT OF
BY-LAW NO. 30-Z-2010**

This By-Law affects a parcel of land described as Part Lot 20, Concession 4, Geographic Township of Charlotteville, Norfolk County.

The purpose of this By-Law is to change the zoning on the subject lands from "Hazard Land (HL) zone" to "Agricultural (A) zone" to permit a "one family dwelling house".

Based on the Environmental Impact Study and Slope Stability Study, site specific setback provisions are set out in Section 36, the Special Provisions section of the Township of Delhi Zoning By-law and on a site specific schedule. These provisions address the requirements of the Long Point Region Conservation Authority and policy of the Provincial Policy Statement (2005) and the Norfolk County Official Plan regarding protection of the features and ecological functions for which the adjacent natural heritage features (significant woodlands and provincially significant wetlands) were identified.

Premise and Justification of Minor Variance Application for 421 Water St., Vittoria

This application seeks relief of 6.11m from the required 12.2m left (south) side yard setback to permit a left (south) side yard setback of 6.09m.

Situate on the subject property is a 15 year old, 3,000 sq. ft. dwelling that suffered a devastating fire June 17, 2024. Though, from the road, the house appears sound, its interior was destroyed and, became structurally comprised during the fire event.

The owners propose demolition and removal of the existing house and to reconstruct on basically the same footprint, with the exception of attached garage each side of the house. The proposed attached garage on the south side of the house precipitates this application.

In the year 2010, in order to build the current home, the owners were granted bylaw amendment, 30-Z-2010 (copy attached), providing for a south side yard setback of 12.2 m. This amendment was later incorporated as special provision 14.250 to Norfolk County Zoning Bylaw 1-Z-2014.

14.250 – In lieu of the corresponding provisions in the A Zone and in accordance with Schedule 14.250.1, the following shall apply:

- a) minimum interior side yard (right or north) – 6.1 metres;*
- b) minimum **interior side yard (left or south)** – 12.2 metres;*
- c) minimum rear yard (west) – 6.1 metres.*

Following the June 17th fire, Mr. Jacobs attended the Building Department office on July 8th to inquire about rebuilding his house. He was told by the Building Department to obtain approval from Long Point Region Conservation Authority. After contact with the Conservation Authority, LPRCA staff attended the property on August 6th and issued a letter of approval August 13th. On January 9, 2025 the Conservation Authority issued LPRCA-2/25 to permit the reduction of the south yard setback and to permit construction of the new house (copy attached).

Mr. Jacobs submitted his building permit application package January 13, 2025 and made payment, as instructed, on January 27, 2025 (Building Permit PRBD20250041).

On January 8, 2025, Demolition Permit PRDEM20250018 was issued for the demolition of the existing fire-ravaged house.

January 30, 2025, Norfolk County Building Department issued their “Review Comments” on Building Permit Application PRBD20250041.

February 10, 2025, Mr. Jacobs was advised by the Building Department that a Planning Application would be required for relief of the south side yard setback.

Same day, February 10, 2025, Planner Andrew Wallace, advised that because LPRCA had agreed to the reduced south side yard setback, the Planning Department would allow Special Provision 14.250 to be amended through a Minor Variance Application to the Committee of Adjustment.

The following documents are attached:

- LPRCA Permit 2/25, permitting construction
- Bylaw amendment 30-Z-2010
- Architectural Plans of proposed new house
- GIS map of property
- LPRCA staff e-mails of support
- Planning Department e-mails of direction

This application conforms to Provincial Planning Statement 2024.

Under Section 45(1) of the Planning Act, there are four tests a minor variance must meet. In order to be considered the application must meet all four tests:

- Does the application conform to the general intent and purpose of the Official Plan.
- Does the application conform to the general intent and purpose of the Zoning Bylaw.
- Is the application desirable for the appropriate development of the lands in question.
- Is the application minor.

Norfolk County Official Plan

The subject property is designated as Agricultural in the Norfolk County Official Plan. Permitted uses within this designation include single family dwellings. The application enables the reconstruction of a single family dwelling destroyed by fire June 17th, 2024, and therefore conforms to the general intent and purpose of the Official Plan.

Norfolk County Zoning By-law 1-Z-2014

Zoning By-law 1-Z-2014 zones the property Agricultural. Article 12.1.1d) permits a single detached dwelling with attached garage within the Agricultural Zone.

The general intent and purpose of the Norfolk County Zoning By-law is to maintain the character of the neighborhood. The Zoning Bylaw also contains provisions that permit the reconstruction of homes destroyed by fire. The proposed new home largely occupies the existing 15 year old home's footprint. The proposed new house, complete with its attached garage, is compatible with the established streetscape. The requested variance will promote the continued use of the residential property.

Is the Variance Desirable and Appropriate

The continued use of this property, with a reconstructed home, is compatible with, and fits within the existing neighborhood. This proposal, to rebuild a fire-damaged house with attached garages, is a desirable and an appropriate reflection of the existing Water Street streetscape.

Is the Variance Minor in Nature

The application is minor in nature because it proposes a minor reduction in south side yard setback that is supported by the Conservation Authority, in order to rebuild a home that was destroyed by fire in June of 2024. The minor reduction in south side yard setback impacts no neighbors, and has LPRCA support. The proposed new house is shielded from neighbors by woodlots and ravines on three sides.

Conclusion:

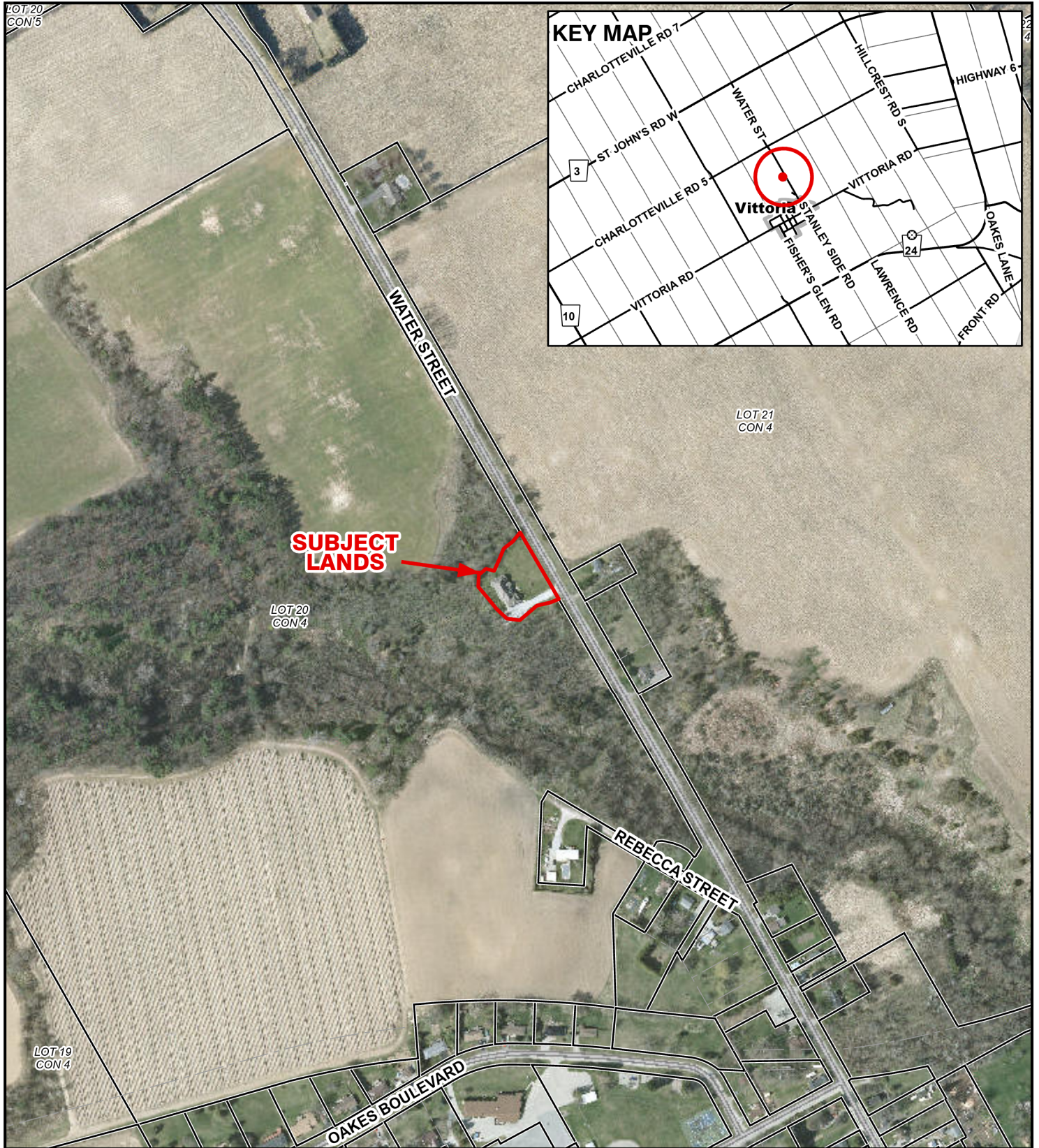
This application promotes the reconstruction of an existing house destroyed by fire back on June 17, 2024. The property owner first made overtures to the Building Department July 8, 2024, regarding rebuilding his home. He was notified February 10, 2025 of the need to seek Planning approval. Further, the requested relief of south side yard setback is minor in nature, appropriate for the neighborhood, compatible with the existing streetscape, supported by LPRCA, and generally meets the intent of the Norfolk County Official Plan and the Norfolk County Zoning Bylaw.

This application meets all four of the tests enumerated in Section 45(1) of the Planning Act and is therefore recommended for approval.


David McPherson

MAP A
CONTEXT MAP
Geographic Township of CHARLOTTEVILLE

ANPL2025049

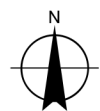


Legend

 Subject Lands

2020 Air Photo

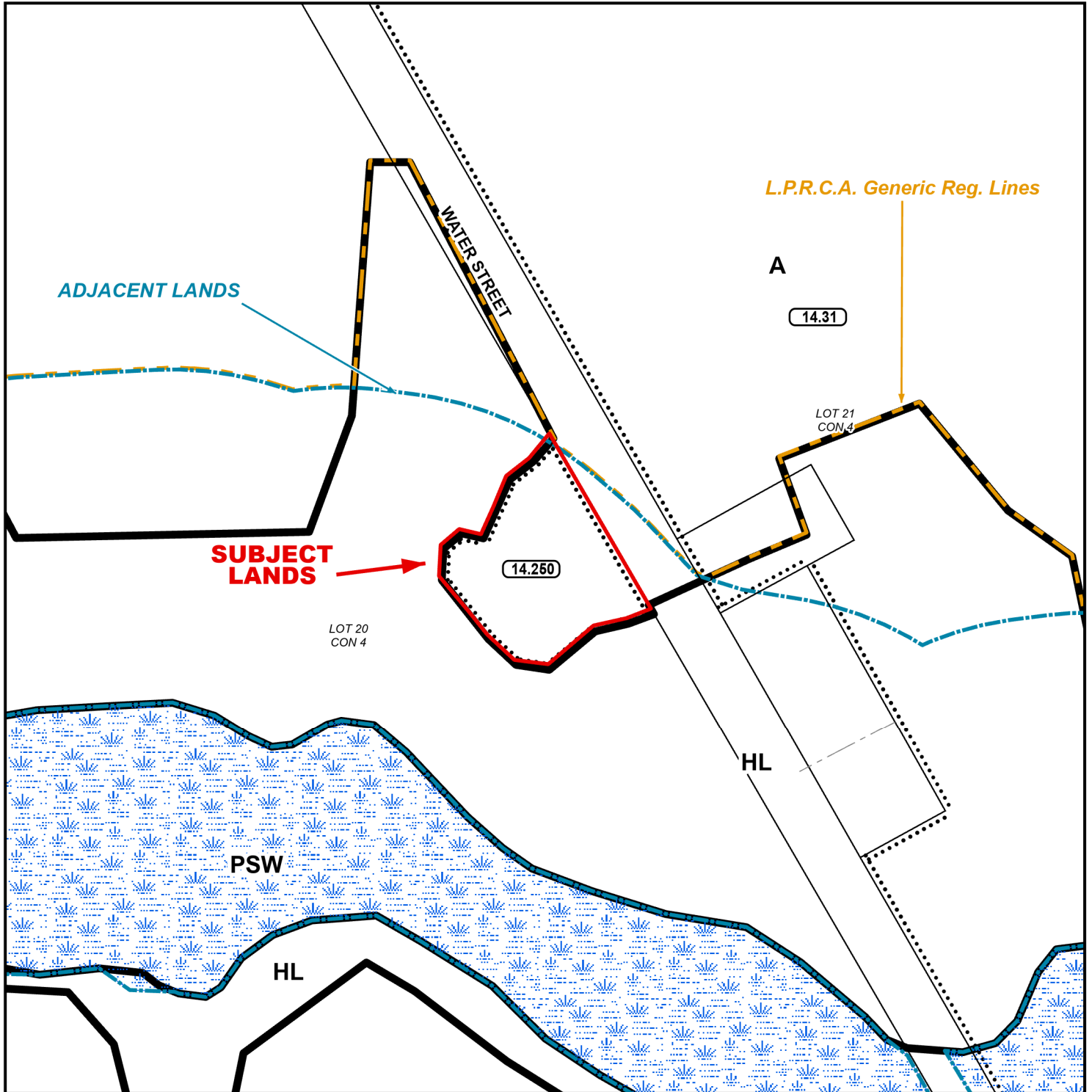
3/7/2025



30 15 0 30 60 90 120
Meters

MAP B
ZONING BY-LAW MAP
 Geographic Township of CHARLOTTEVILLE





ANPL2025049



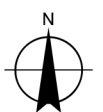
ZONING BY-LAW 1-Z-2014

3/7/2025

LEGEND

-  Subject Lands
-  Adjacent Lands
-  Wetland
-  LPRCA Generic RegLines

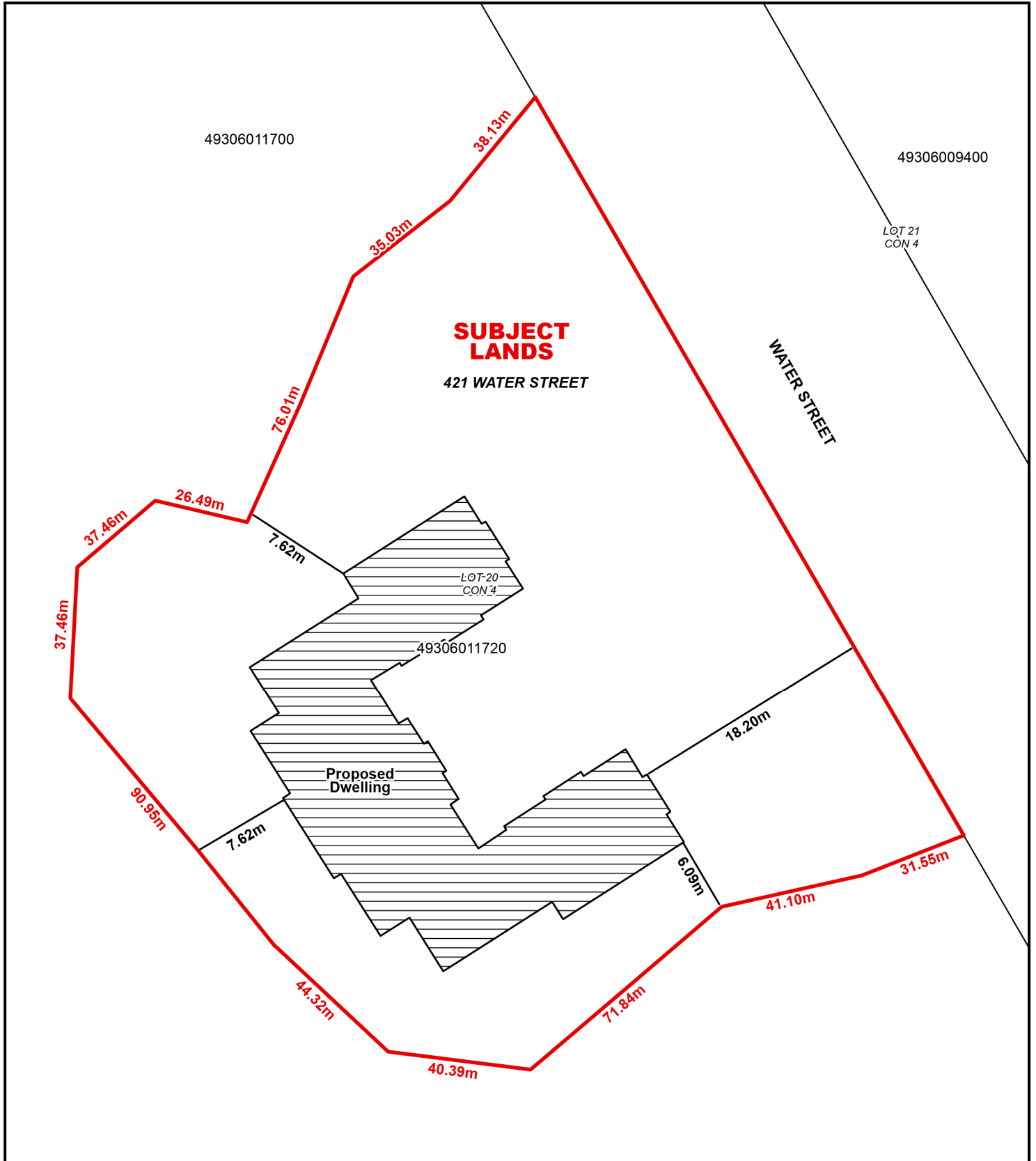
- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone




10 5 0 10 20 30 40
 Meters

CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

 Subject Lands

3/7/2025

