

## Committee of Adjustment Application to Planning Department

### Complete Application

A complete Committee of Adjustment application consists of the following:

1. A properly completed and signed application form (signature must on original version);
2. Supporting information adequate to illustrate your proposal as listed in **Section H** of this application form (plans are required in paper copy and digital PDF format);
3. Written authorization from all registered owners of the subject lands where the applicant is not the owner as per Section N; and,
4. Cash, debit or cheque payable to Norfolk County in the amount set out in the Norfolk County User Fees By-Law.
5. The completed application and fees are to be mailed to the attention of **Secretary Treasurer – Committee of Adjustment**: 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6 or email your application [committee.of.adjustment@norfolkcounty.ca](mailto:committee.of.adjustment@norfolkcounty.ca). Make sure submissions are clearly labelled including address, name, and application type. Failure to do so may impact the timing of your application.

The above listed items are required to ensure that your application is given full consideration. An incomplete or improperly prepared application will not be accepted and may result in delays during the processing of the application. This application must be typed or printed in ink and completed in full.

Please review all of the important information summarised below.

### Before your Application is Submitted

A pre-consultation meeting is not usually required for Committee of Adjustment applications; however, discussion with Planning Department staff prior to the submission of an application is **strongly encouraged**. The purpose of communicating with a planner **before** you submit your application is: to review your proposal / application, to discuss potential issues; and to determine the required supporting information and materials to be submitted with your application before it can be considered complete by staff. You might find it helpful to retain the services of an independent professional (such as a registered professional planner) to help you with your application. Information about the Official Plan and Zoning By-law can be found on the County website: [www.norfolkcounty.ca/planning](http://www.norfolkcounty.ca/planning)

### After Your Application is Submitted

Once your payment has been received and the application submitted, in order for your application to be deemed complete all of the components noted above are required.

Incomplete applications will be identified and returned to the applicant. The *Planning Act* permits up to 30 days to review and deem an application complete.

Once your application has been deemed complete by the Planning Department, it is then circulated to public agencies and County departments for review and comment. A sign is also provided that is required to be posted on the subject lands that summarizes the application and identifies the committee meeting date. The comments received from members of the community will be included in the planning report and will inform any recommendations in relation to the application.

If the subject lands are located in an area that is regulated by either the Long Point Region Conservation Authority or by the Grand River Conservation Authority an additional fee will be required if review by the applicable agency is deemed necessary. A separate cheque payable to the Long Point Region Conservation Authority or the Grand River Conservation Authority is required in accordance with their fee schedule at the same time your application is submitted.

**Additional studies** required as part of the complete application shall be at the sole expense of the applicant. In some instances peer reviews may be necessary to review particular studies and that the cost shall be at the expense of the applicant. The company to complete the peer review shall be selected by the County.

If the application is withdrawn prior to the circulation to commenting agencies, the entire original fee will be refunded. If withdrawn after the circulation to agencies, half the original fee will be refunded. No refund is available after the public meeting and/or approval of application.

### **Notification Sign Requirements**

Planning Department staff may post a notification sign on your property in advance of the public meeting on your behalf. Please keep this sign posted until you have received a notice in the mail indicating that the Secretary Treasurer received no appeals. However, it is the applicant's responsibly to ensure that the sign is correctly posted within the statutory timeframes, according to the *Planning Act*. Failure to post a sign in advance of the public meeting in accordance with statutory requirements will impact the timing of your application at the Committee of Adjustment meeting. Applicants are responsible for removal of the sign following the appeal period. The signs are recyclable and can be placed in your blue box.

### **Contact Us**

For additional information or assistance in completing this application, please contact a planner at 519-426-5870 ext. 1842 or [Committee.of.Adjustment@NorfolkCounty.ca](mailto:Committee.of.Adjustment@NorfolkCounty.ca)



**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance**
- Easement/Right-of-Way

**Property Assessment Roll Number:** 501160361

**A. Applicant Information**

**Name of Owner** Brian Conn & Pamela Loucks - Conn

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

**Address** 58 Clarke Rd East

**Town and Postal Code** Ingersoll, N5C 3R9

**Phone Number** 5195370685

**Cell Number** Same

**Email** brian@bwconnhomesltd.com

**Name of Applicant** SAME AS OWNER

**Address** \_\_\_\_\_

**Town and Postal Code** \_\_\_\_\_

**Phone Number** \_\_\_\_\_

**Cell Number** \_\_\_\_\_

**Email** \_\_\_\_\_





**For Office Use Only:**

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

**Check the type of planning application(s) you are submitting.**

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

**Property Assessment Roll Number:** 501160361

**A. Applicant Information**

**Name of Owner** Brian Conn & Pamela Loucks - Conn

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 58 Clarke Rd East

Town and Postal Code Ingersoll, N5C 3R9

Phone Number 5195370685

Cell Number Same

Email brian@bwconnhomesltd.com

**Name of Applicant** SAME AS OWNER

Address \_\_\_\_\_

Town and Postal Code \_\_\_\_\_

Phone Number \_\_\_\_\_

Cell Number \_\_\_\_\_

Email \_\_\_\_\_



Name of Agent SAME AS OWNER  
Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner                       Agent                       Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

BMO, 104 Thames St S, Ingersoll, On, N5C 2T4  
\_\_\_\_\_

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 103, Concession 429, Long Point  
\_\_\_\_\_

Municipal Civic Address: 10 Teal Ave

Present Official Plan Designation(s): 41M-342

Present Zoning: RR

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify:  
\_\_\_\_\_

3. Present use of the subject lands:

Vacation Home  
\_\_\_\_\_  
\_\_\_\_\_

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

2 story cottage.

Boat lift. (see drawings for details)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Adding a 1100 sq ft deck attached to the cottage. Adding a separate storage garage.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Drawing provided

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

One Year

9. Existing use of abutting properties:

RR

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

### C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area	779.7m <sup>2</sup>				
Lot coverage	16% (126.8 m <sup>2</sup> )	15% (117.0 m <sup>2</sup> )		30% (232.722 m <sup>2</sup> )	
Front yard		6.0 m			
Rear yard					
Height		5.0 m		8.0 m	
Left Interior side yard		1.2 m			
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other		10%		3.1%	



2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Out building exceed the 15% allowance ( over by 15%)

---

---

---

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: NA

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Proposed final lot size (if boundary adjustment):

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

---

---

Description of land intended to be retained in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:

Buildings on retained land:

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: NA

Depth:

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: NA  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
\_\_\_\_\_



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?  Yes  No

If no, please explain:

---

---

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

---

---

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

---

---

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard (submit MDS Calculation with application)**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Wooded area**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Floodplain**

On the subject lands or  within 500 meters – distance 4 m

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active railway line**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Erosion**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water  Communal wells  
 Individual wells  Other (describe below)

Private water piped to cottage

---

Sewage Treatment

- Municipal sewers  Communal system  
 Septic tank and tile bed in good working order  Other (describe below)
- 

Storm Drainage

- Storm sewers  Open ditches  
 Other (describe below)
- 

2. Existing or proposed access to subject lands:

- Municipal road  Provincial highway  
 Unopened road  Other (describe below)

Name of road/street:

Teal Ave

---

**G. All Applications: Other Information**

1. Does the application involve a local business?  Yes  No

If yes, how many people are employed on the subject lands?

---

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

---

---

---



## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

**I. Transfers, Easements and Postponement of Interest**

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

**Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

**Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Brian Conn Pamela Loucks Conn

January 23/24

Owner/Applicant/Agent Signature

Date

**J. Owner's Authorization**

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Brian Conn & Pamela Loucks Conn of Ingersoll

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

58 Clarke Rd

Brian Conn Pamela Loucks Conn

Owner/Applicant/Agent Signature

In Ingersoll, Ont

This 24 day of January

A.D., 2024

[Signature]

A Commissioner, etc.

Thomas Henderson



# MINOR VAR. - GARAGE & 2ND STOREY DECK

10 TEAL AVE, LONG POINT, ON, NOE 1M0

- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  - ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE OF EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  - CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  - PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
  - SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  - THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
  - \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  - \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  - ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  - TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
  - ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**  
**2ND STOR. COVERED DECK & GARAGE**  
 10 TEAL AVE, LONG POINT, ON, NOE 1M0



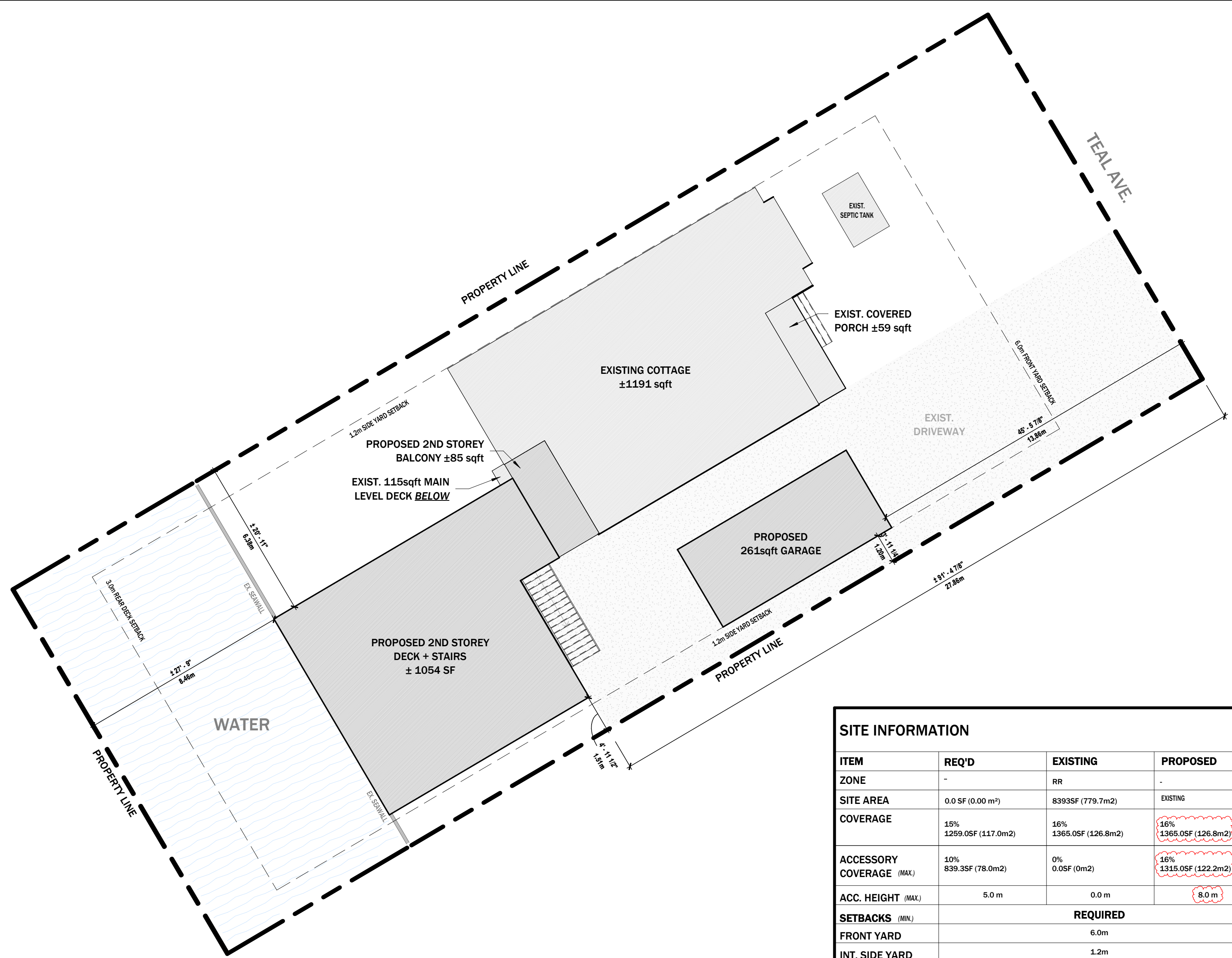
519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**  
**PROJECT TITLE & SITE PLAN**

**PROJECT NUMBER:** 22144  
**DRAWN:** K.RAMSEYER  
**CHECKED:** N.SIEMON

**SCALE:** 1" = 10'-0"  
**DATE:** 2023-09-26 9:02:21 AM

**DRAWING NO:**  
**A-0**



SITE INFORMATION			
ITEM	REQ'D	EXISTING	PROPOSED
ZONE	-	RR	-
SITE AREA	0.0 SF (0.00 m <sup>2</sup> )	8393SF (779.7m <sup>2</sup> )	EXISTING
COVERAGE	15% 1259.05SF (117.0m <sup>2</sup> )	16% 1365.05SF (126.8m <sup>2</sup> )	16% 1365.05SF (126.8m <sup>2</sup> )
ACCESSORY COVERAGE (MAX.)	10% 839.35SF (78.0m <sup>2</sup> )	0% 0.05SF (0m <sup>2</sup> )	16% 1315.05SF (122.2m <sup>2</sup> )
ACC. HEIGHT (MAX.)	5.0 m	0.0 m	8.0 m
SETBACKS (MIN.)	REQUIRED		
FRONT YARD	6.0m		
INT. SIDE YARD	1.2m		
REAR YARD	0.0m		
EXT. SIDE YARD	N/A		
NOTES:	1. MINOR VARIANCE REQUIRED FOR LOT COVERAGE 2. MINOR VARIANCE REQUIRED FOR ACC. COVERAGE 3. MINOR VARIANCE REQUIRED FOR ACC. HEIGHT		



**LIST OF DRAWINGS**

PG #	SHEET NAME
A-0	PROJECT TITLE & SITE PLAN
A-1	COVER PAGE
A-2	FOUNDATION PLAN
A-3	MAIN FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ELEVATIONS
A-6	ELEVATIONS
A-7	SECTION AND DETAILS

**ABBREVIATIONS**

CONC.	-	CONCRETE
C.L.	-	CENTRE LINE
c/w	-	COMPLETE WITH
C.O.	-	CARBON MONOXIDE
C.I.P.	-	CAST IN PLACE
D.W.	-	DISHWASHER
F.R.R.	-	FIRE RESISTANCE RATING
G.W.B.	-	GYPSUM WALL BOARD
HR	-	HOUR
HVAC	-	HEATING VENTILATION AIR CONDITIONING
o/c	-	ON CENTRE
REQ	-	REQUIRED
R.W.	-	RAIN WATER
S.A.	-	SMOKE ALARM
S.T.C.	-	SOUND TRANSMISSION CLASS
w/	-	WITH
DIA.	-	DIAMETER
ea.	-	EACH

**DRAWING SYMBOLS LEGEND**

<p><b>ROOM IDENTIFIER</b></p>	<p><b>ENLARGED PLAN DETAIL</b></p>
<p><b>BUILDING SECTION</b></p>	<p><b>WALL SECTION</b></p>
<p><b>BUILDING ELEVATION</b></p>	<p><b>INTERIOR ELEVATION</b></p>
<p><b>CEILING IDENTIFIER</b></p>	<p><b>ASSEMBLY IDENTIFIERS</b></p>
<p><b>SMOKE ALARM &amp; CO DETECTORS</b></p>	<p><b>FLOOR DRAIN</b></p>

# 2ND STOREY DECK

10 TEAL AVE, LONG POINT, ON, NOE 1M0



**GENERAL NOTES:**

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
- ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
- CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
- PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
- SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
- \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
- \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
- ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
- TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
- ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**

**2ND STOR. COVERED DECK & GARAGE**  
10 TEAL AVE, LONG POINT, ON, NOE 1M0



519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**

**COVER PAGE**

**PROJECT NUMBER:** 22144

**DRAWN:** K.RAMSEYER

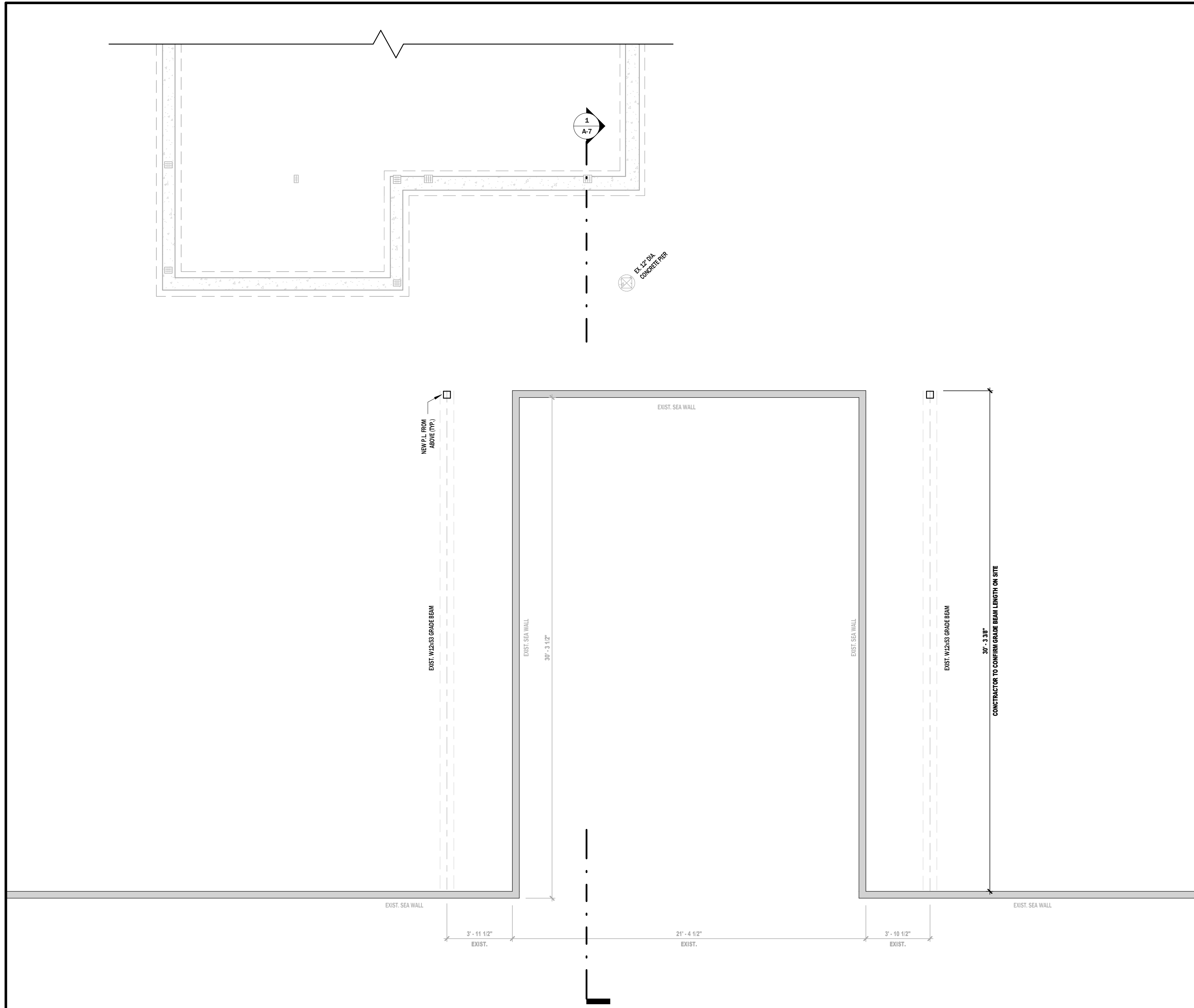
**CHECKED:** N.SIEMON

**SCALE:** 12" = 1'-0"

**DATE:** 2023-09-26 9:02:26 AM

**DRAWING NO:**

**A-1**



**FOUNDATION PLAN**  
1/4" = 1'-0"

- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  - ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD / FACE OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  - CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  - PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
  - SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  - THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM F.L. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
  - \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  - \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  - ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  - TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
  - ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**  
**2ND STOR. COVERED DECK & GARAGE**  
10 TEAL AVE, LONG POINT, ON, N0E 1M0

**VS DESIGN STUDIO**  
519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**  
**FOUNDATION PLAN**

**PROJECT NUMBER:** 22144

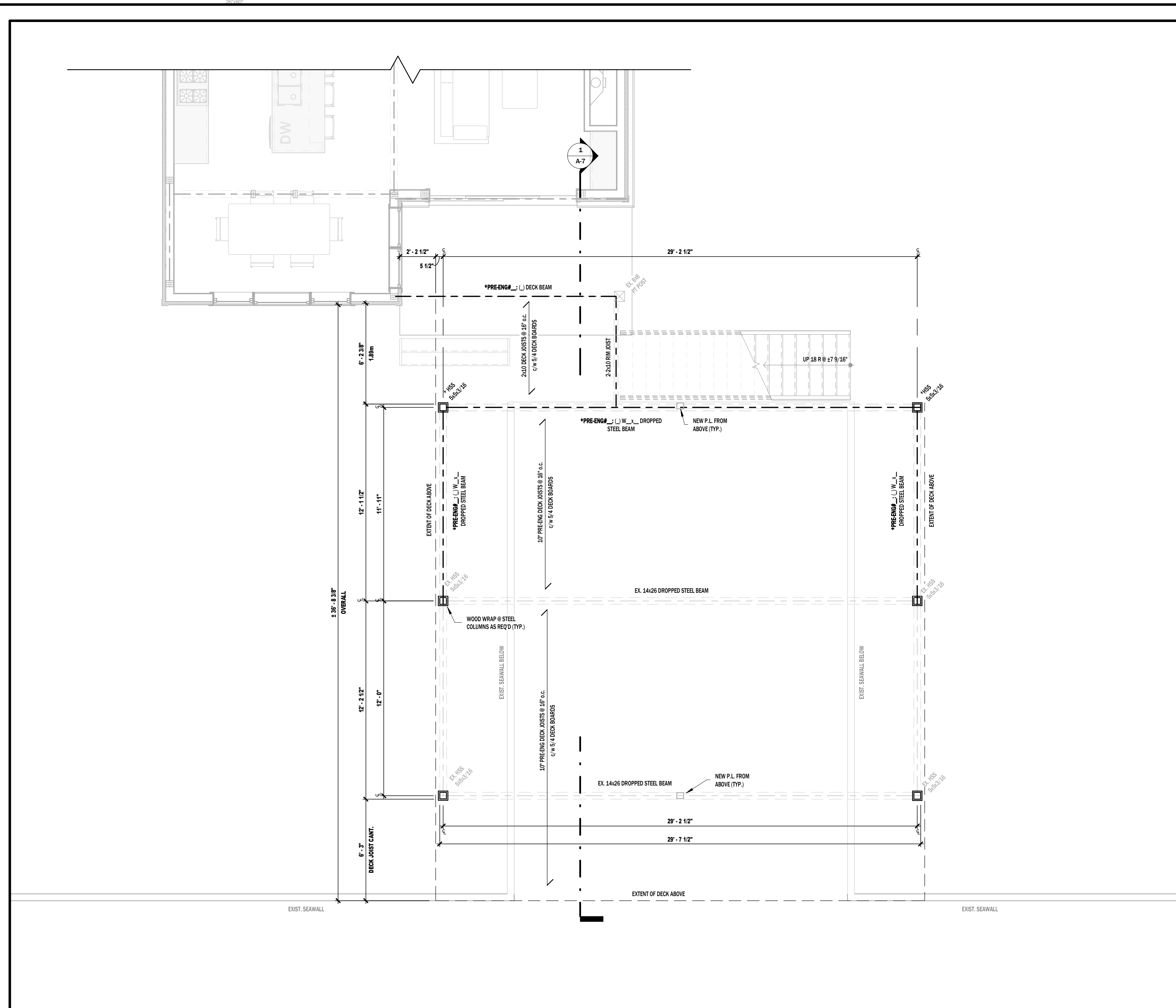
**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

**SCALE:** 1/4" = 1'-0"

**DATE:** 2023-09-26 9:02:27 AM

**DRAWING NO:**  
**A-2**



- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  - ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE OF EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  - CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  - PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  - THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
  - \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  - \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  - ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  - TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
  - ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**  
**2ND STOR. COVERED DECK & GARAGE**  
 10 TEAL AVE, LONG POINT, ON, N0E 1M0

519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**  
**MAIN FLOOR PLAN**

**PROJECT NUMBER:** 22144

**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

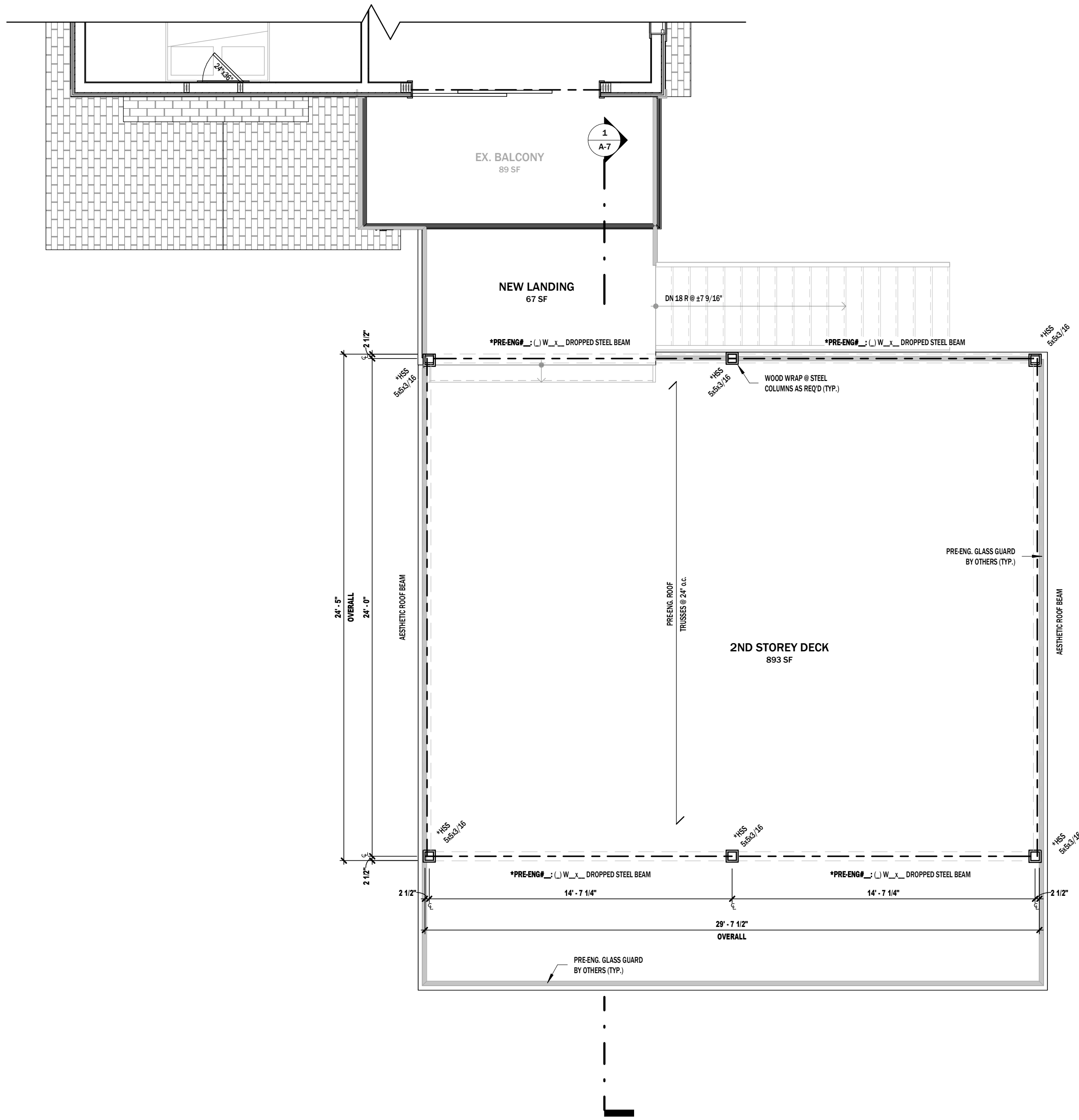
**SCALE:** 1/4" = 1'-0"

**DATE:** 2023-09-26 9:02:28 AM

**DRAWING NO:**  
**A-3**

**MAIN FLOOR PLAN**  
 1/4" = 1'-0"





- GENERAL NOTES:**
1. DRAWINGS ARE NOT TO BE SCALED.
  2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE OF EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
  7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM T.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
  10. \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  11. \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
  14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**  
**2ND STOR. COVERED DECK & GARAGE**  
 10 TEAL AVE, LONG POINT, ON, N0E 1M0

519-290-8737 | info@vsds.ca | www.vsds.ca

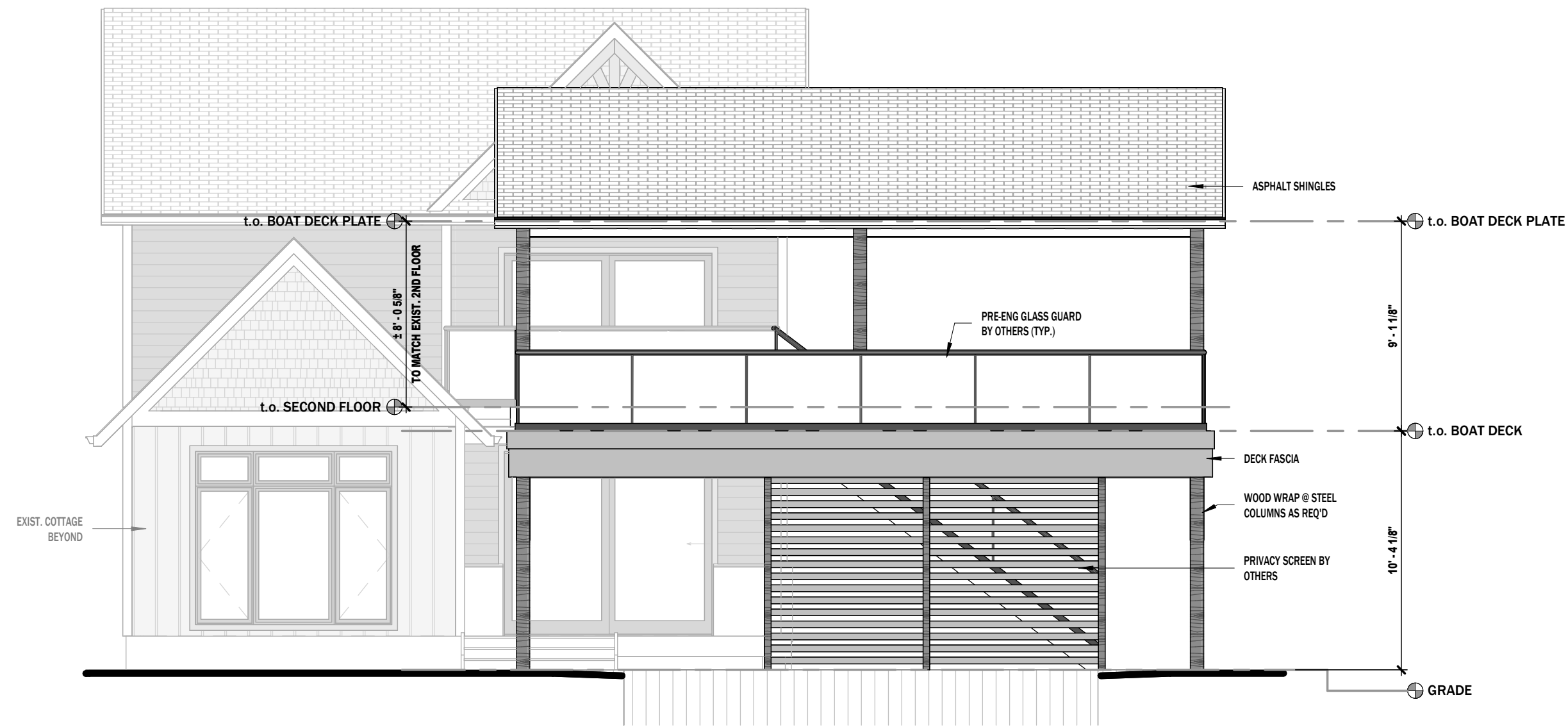
**DRAWING TITLE:**  
**SECOND FLOOR PLAN**

<b>PROJECT NUMBER:</b>	22144
<b>DRAWN:</b>	K.RAMSEYER
<b>CHECKED:</b>	N.SIEMON

<b>SCALE:</b>	1/4" = 1'-0"
<b>DATE:</b>	2023-09-26 9:02:28 AM

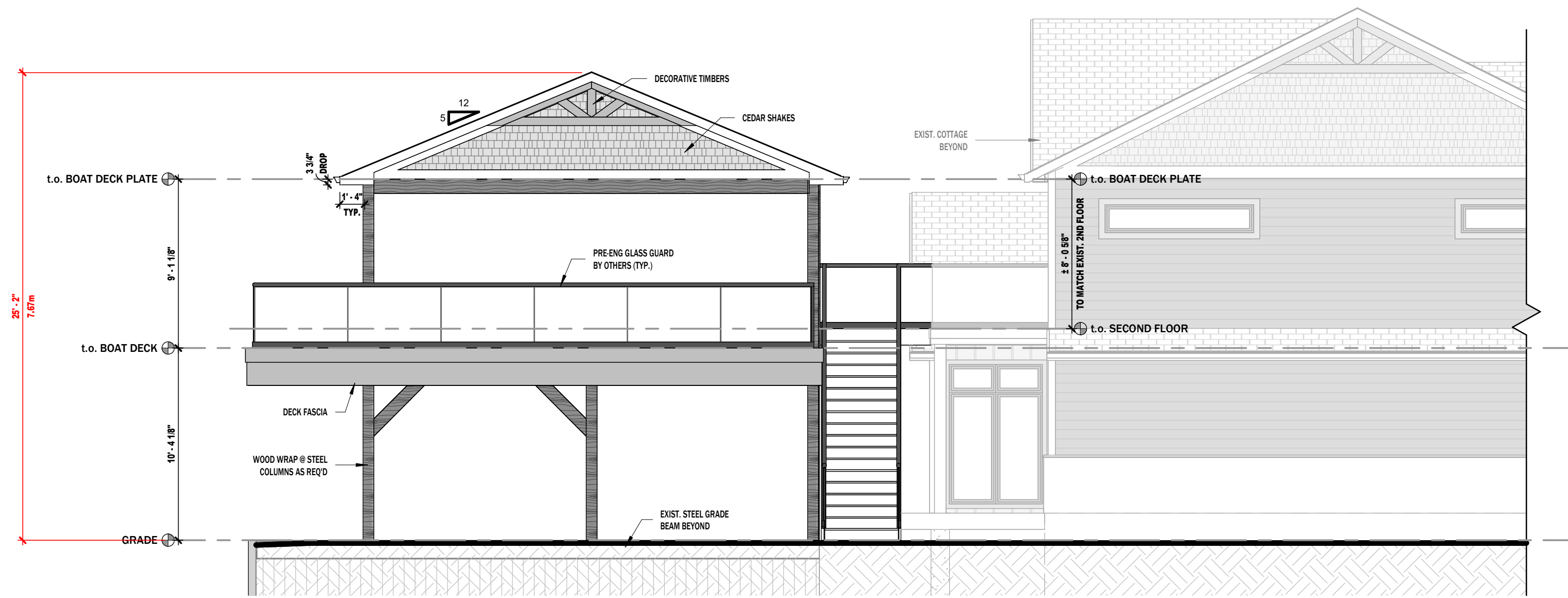
**DRAWING NO:**  
**A-4**

**SECOND FLOOR PLAN**  
 1/4" = 1'-0"



**EAST ELEVATION**

3/16" = 1'-0"



**SOUTH ELEVATION**

3/16" = 1'-0"

**GENERAL NOTES:**

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM T.O. SHEATHING TO T.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
10. \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
11. \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**

**2ND STOR. COVERED DECK & GARAGE**  
10 TEAL AVE, LONG POINT, ON, N0E 1M0



519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**

**ELEVATIONS**

**PROJECT NUMBER:** 22144

**DRAWN:** K.RAMSEYER

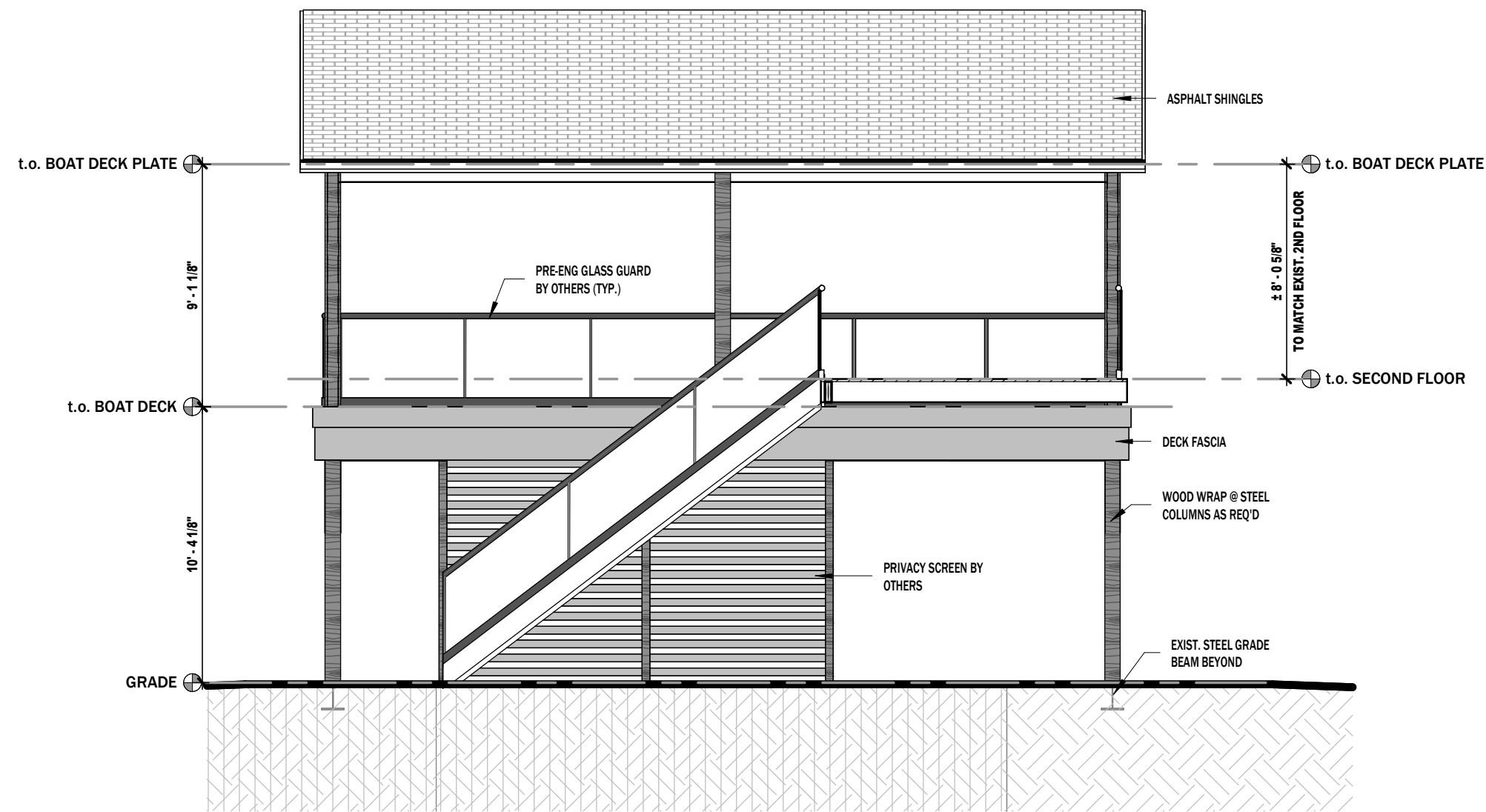
**CHECKED:** N.SIEMON

**SCALE:** 3/16" = 1'-0"

**DATE:** 2023-09-26 9:02:29 AM

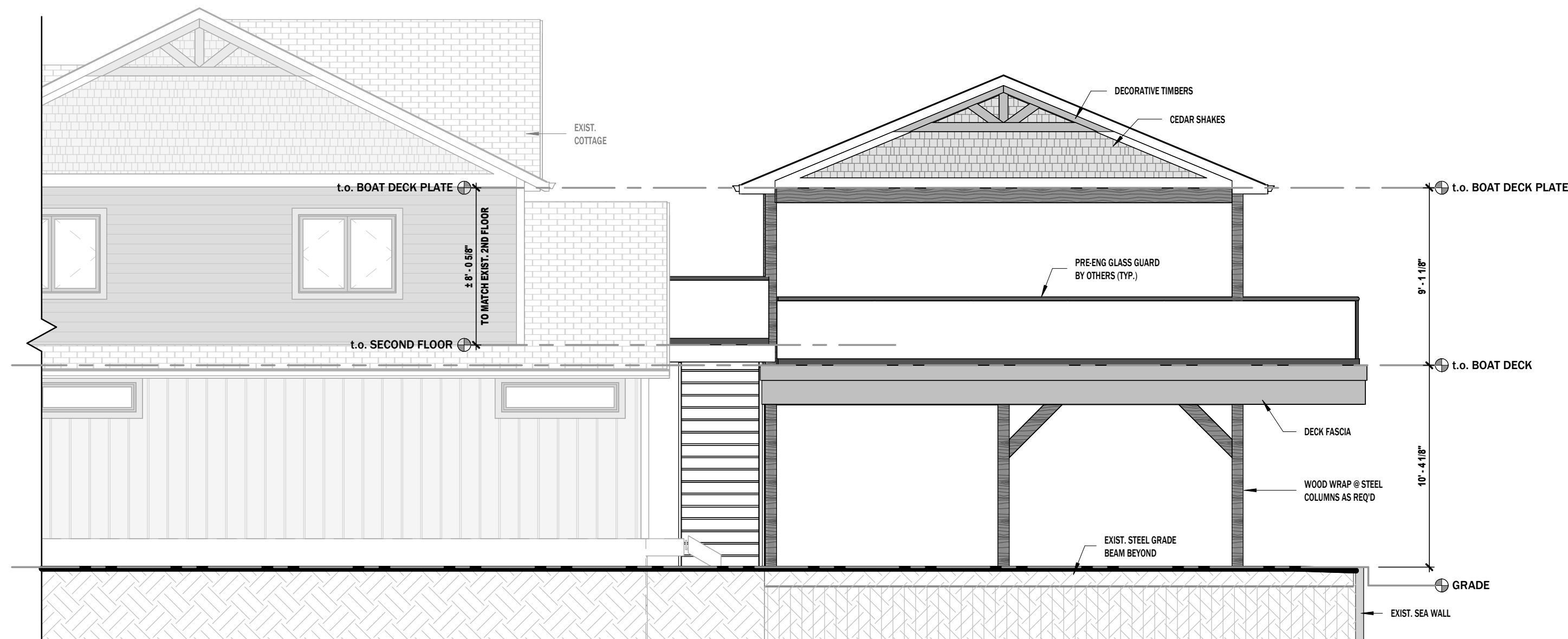
**DRAWING NO:**

**A-5**



**WEST ELEVATION**

3/16" = 1'-0"



**NORTH ELEVATION**

3/16" = 1'-0"

**GENERAL NOTES:**

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM t.o. SHEATHING TO t.o. WOOD PLATE OR UNDERSIDE OF TRUSS.
10. \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
11. \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**

**2ND STOR. COVERED DECK & GARAGE**  
10 TEAL AVE, LONG POINT, ON, N0E 1M0



519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**

**ELEVATIONS**

**PROJECT NUMBER:** 22144

**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

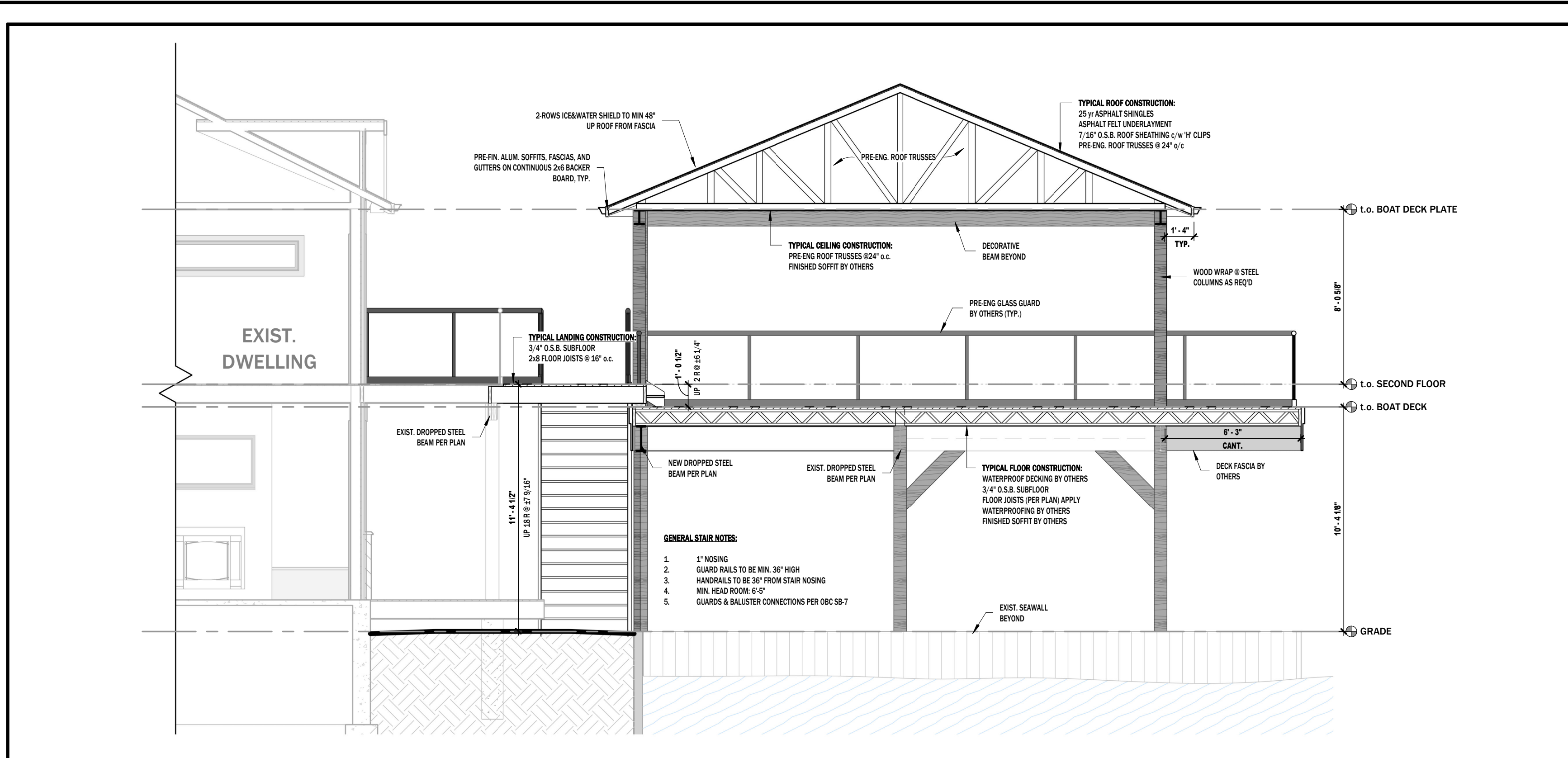
**SCALE:** 3/16" = 1'-0"

**DATE:** 2023-09-26 9:02:30 AM

**DRAWING NO:**

**A-6**





- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  - ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  - CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  - PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
  - SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  - THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM t.o. SHEATHING TO t.o. WOOD PLATE OR UNDERSIDE OF TRUSS.
  - \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  - \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  - ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  - TRUSSES TO BE 2'-0" OIC MAX (DESIGN BY OTHERS)
  - ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR PRELIMINARY DESIGN	2022-10-28
01	ISSUED FOR REVIEW	2022-12-12
02	ISSUED FOR MINOR VARIANCE	2023-07-05
03	RE-ISSUED FOR MINOR VARIANCE	2023-09-26

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**1 BUILDING SECTION**  
A-2 1/4" = 1'-0"

**PROJECT:**  
**2ND STOR. COVERED DECK & GARAGE**  
10 TEAL AVE, LONG POINT, ON, N0E 1M0



**DRAWING TITLE:**  
**SECTION AND DETAILS**

- GENERAL CONSTRUCTION NOTES**
- WOOD FRAMING NOTES**
- ALL LUMBER AND WOOD PRODUCTS SHALL BE NUMBER 1 OR NUMBER 2 GRADE SPF UNLESS OTHER WISE NOTED AND MUST CONFORM TO OBC 9.3.2.
  - ALL WOOD FRAMED CONSTRUCTION TO SHALL CONFORM TO OBC 9.23.
  - ALL PRE-ENGINEERED SYSTEMS ARE TO BE DESIGNED AND SEALED BY AN ONTARIO P.ENG.
  - ALL COLUMNS SUPPORTING STRUCTURAL MEMBERS TO BE MIN. EQUAL IN WIDTH TO THE MEMBER WHICH IT IS SUPPORTING.
  - ALL LOAD BEARING COMPONENTS MUST HAVE CONTINUOUS SUPPORT EXTENDING TO THE FOUNDATION FOOTING.
  - ALL GUARDS AND SUPPORTING STRUCTURE SHALL CONFORM TO OBC 9.8.8 & SB-7.
  - ALL FRAMING MEMBERS IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED OR PROTECTED W/ MIN. 5 MIL POLY/VAPOUR BARRIER
- STRUCTURAL STEEL NOTES**
- ALL STEEL COLUMNS SHALL CONFORM TO OBC 9.17.
  - ALL STEEL BEAMS SHALL CONFORM TO OBC 9.23.4.3.
  - ALL BEAMS TO HAVE MIN. 89mm (3.5") END BEARING AND STEEL MASONRY LINTELS SHALL HAVE MIN. 150mm (6") END BEARING.
- FOOTING, FOUNDATIONS AND CONCRETE NOTES**
- FOOTINGS AND FOUNDATIONS SHALL CONFORM TO 9.15
  - KEEP TOPSIDE OF FOOTING MIN. 4'-0" BELOW FINISH GRADE CONTINUOUSLY.
  - SUSPENDED CONCRETE SLABS OVER COLD STORAGE (WHERE APPLICABLE): 5" THICK REINFORCED WITH 15M REBAR AT 8" EACH WAY WITH A BOTTOM COVER OF 1.25". CONCRETE SHALL BE MIN. 25 MPA WITH 6% AIR ENTRAINMENT. SLOPE AWAY FROM BUILDING MIN. 1%. PROVIDE MIN. 3" BEARING ON THE CONCRETE FOUNDATION WALLS.
  - UNLESS DETERMINED OTHERWISE VS DESIGN STUDIO ASSUMES SOIL BEARING CAPACITY OF 2000 PSF.
- DOORS & WINDOWS**
- ALL WINDOWS, SKYLIGHTS, AND DOORS TO CONFORM TO OBC 9.7
  - FLOOR LEVELS CONTAINING BEDROOMS TO HAVE ONE OPERABLE WINDOW WITH A MIN. UNOBSTRUCTED WIDTH OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15".
  - ANY FUTURE SLEEPING QUARTERS IN THE BASEMENT ARE TO HAVE WINDOWS IN THE ROOM THAT MEET THE REQUIREMENTS OF OBC 9.9.10.
- MISCELLANEOUS NOTES**
- SMOKE & CARBON MONOXIDE ALARMS TO BE LOCATED ON EACH LEVEL & TO BE HARDWIRED & INTERCONNECTED. LOCATE CARBON MONOXIDE ALARMS ADJACENT TO SLEEPING AREAS.
  - SMOKE ALARMS TO BE INSTALLED IN EACH SLEEPING AREA ON OR NEAR THE CEILING.
  - MIN. HEAD ROOM: 6'-11" MIN. HEAD ROOM BELOW DUCTS & BEAMS IN A DWELLING: 6'-5".
  - SUBFLOOR SUPPORTING CERAMIC FLOORS PER OBC 9.30.6.1.
  - PROVIDE ATTIC VENTILATION PER OBC 9.19.
  - PROVIDE AIR AND VAPOUR BARRIER IN ACCORDANCE TO OBC 9.25.3. & 9.25.4.
  - ATTIC HATCHES TO HAVE INSULATED COVERS AND INSULATING.
  - VS DESIGN STUDIO DOES NOT TAKE RESPONSIBILITY FOR ERRORS OR OMISSIONS FOUND IN THIRD PARTY INFORMATION.
  - BATHROOM FAN TO BE MIN 50 CFM VENTED TO EXTERIOR.
  - HVAC SUPPLIES AND RETURNS TO BE LOW WALL (8" FROM FLOOR), AND ANY ROOMS WITHOUT RETURN AIR DUCTS ARE TO HAVE A 3/4" UNDERCUT ON THE DOOR TO ALLOW AIR CIRCULATION. UNLESS STATED OTHERWISE IN MECHANICAL DRAWINGS.

**PROJECT NUMBER:** 22144

**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

**SCALE:** As indicated

**DATE:** 2023-09-26 9:02:33 AM

**DRAWING NO:**  
**A-7**



# DETACHED GARAGE

10 TEAL AVE, LONGPOINT, ON, NOE 1M0



## DRAWING SYMBOLS LEGEND

<b>ROOM IDENTIFIER</b> 	<b>ENLARGED PLAN DETAIL</b> 
<b>BUILDING SECTION</b> 	<b>WALL SECTION</b> 
<b>BUILDING ELEVATION</b> 	<b>INTERIOR ELEVATION</b> 
<b>CEILING IDENTIFIER</b> 	<b>ASSEMBLY IDENTIFIERS</b> 
<b>SMOKE ALARM &amp; CO DETECTORS</b> 	<b>FLOOR DRAIN</b> 

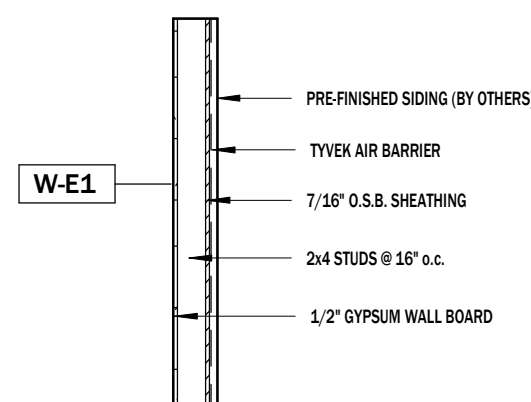
## ABBREVIATIONS

CONC.	-	CONCRETE
C.L.	-	CENTRE LINE
c/w	-	COMPLETE WITH
C.O.	-	CARBON MONOXIDE
C.I.P.	-	CAST IN PLACE
D.W.	-	DISHWASHER
F.R.R.	-	FIRE RESISTANCE RATING
G.W.B.	-	GYPSUM WALL BOARD
HR	-	HOUR
HVAC	-	HEATING VENTILATION AIR CONDITIONING
o/c	-	ON CENTRE
REQ	-	REQUIRED
R.W.	-	RAIN WATER
S.A.	-	SMOKE ALARM
S.T.C.	-	SOUND TRANSMISSION CLASS
w/	-	WITH
DIA.	-	DIAMETER
ea.	-	EACH

## WALL TYPE LEGEND

### EXTERIOR WALL TYPES

#### W-E1 / SIDING (GARAGE)



## GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
- ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OR INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
- CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
- PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
- SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
- \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
- \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
- ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
- TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
- ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR MINOR VARIANCE	2023-07-05
01	RE-ISSUED FOR MINOR VARIANCE	2023-09-20

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

## QUALIFICATION INFORMATION:

NAME	SIGNATURE
BCIN	FIRM BCIN

## PROJECT:

# DETACHED GARAGE

10 TEAL AVE, LONG POINT, ON, NOE 1M0



519-290-8737 | info@vsds.ca | www.vsds.ca

## DRAWING TITLE:

# COVER PAGE

PROJECT NUMBER: 23088

DRAWN: K.RAMSEYER

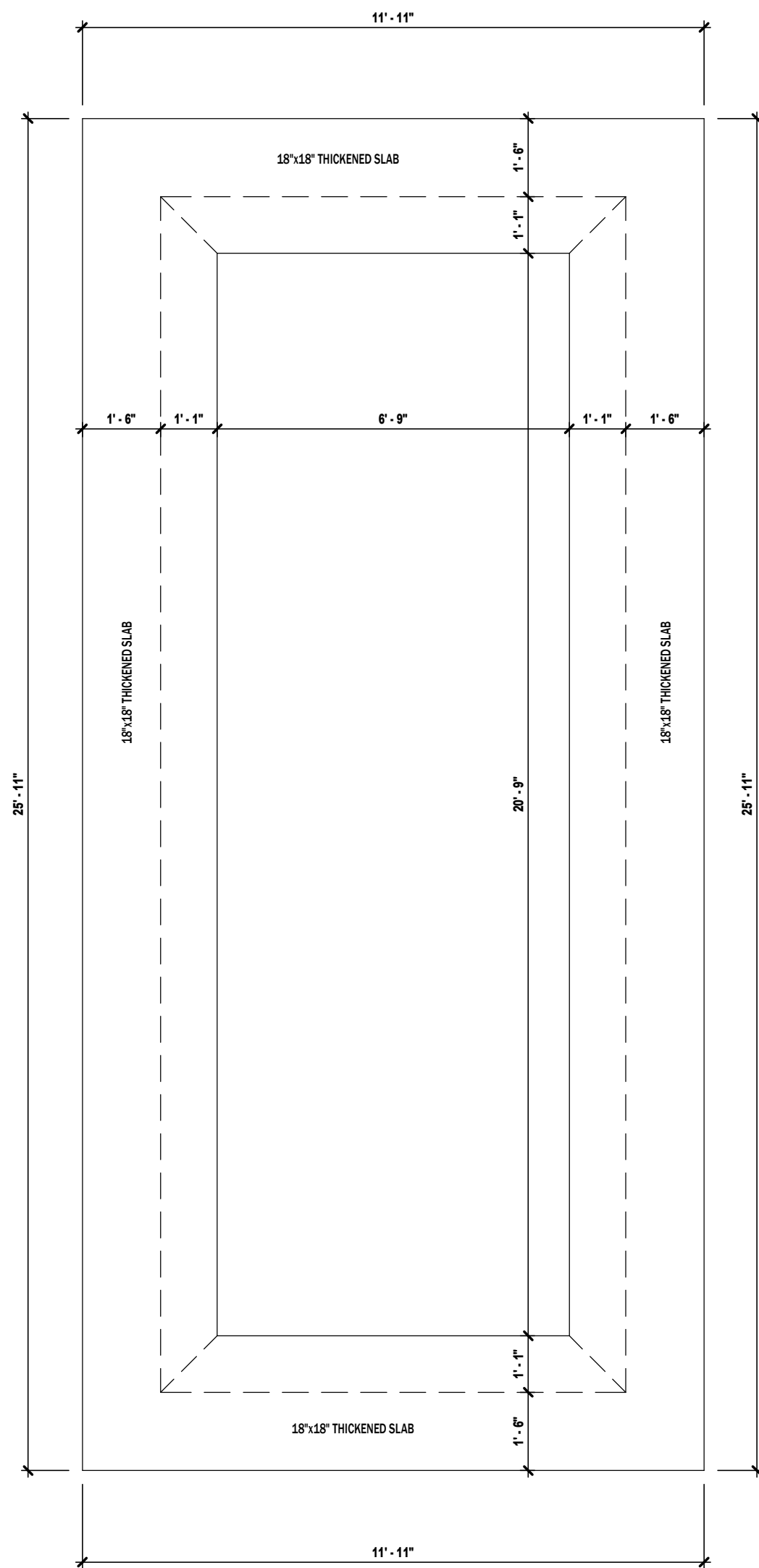
CHECKED: N.SIEMON

SCALE: As indicated

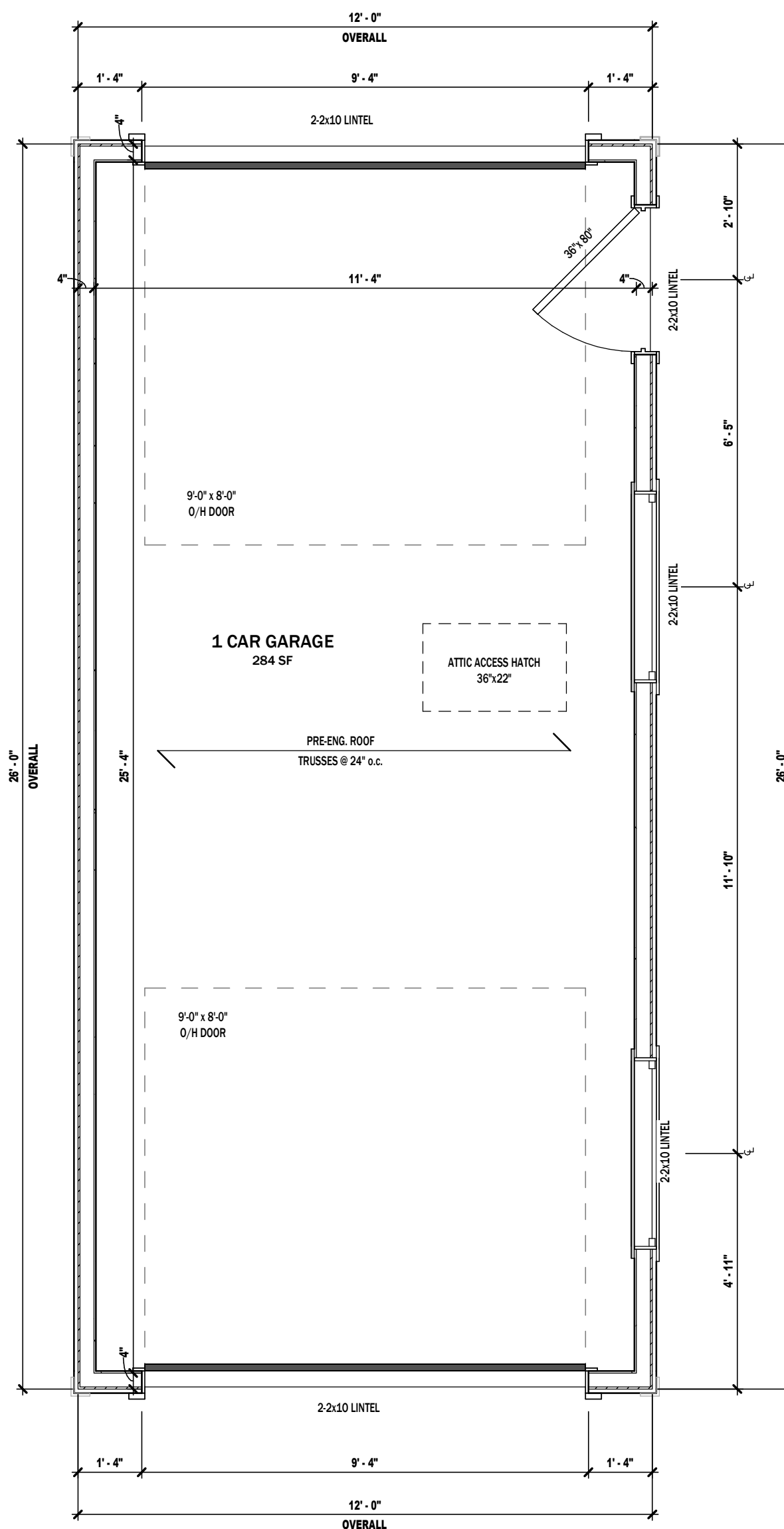
DATE: 2023-10-11 12:55:10 PM

## DRAWING NO:

# A-0



**FOUNDATION PLAN**  
3/8" = 1'-0"



**MAIN FLOOR PLAN**  
3/8" = 1'-0"

- GENERAL NOTES:**
- DRAWINGS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
  - ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
  - CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
  - PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
  - SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
  - THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM L.O. SHEATHING TO L.O. WOOD PLATE OR UNDERSIDE OF TRUSS.
  - \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
  - \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
  - ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
  - TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
  - ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR MINOR VARIANCE	2023-07-05
01	RE-ISSUED FOR MINOR VARIANCE	2023-09-20

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**  
**DETACHED GARAGE**  
10 TEAL AVE, LONG POINT, ON, N0E 1M0

519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**  
**FLOOR PLANS**

**PROJECT NUMBER:** 23088

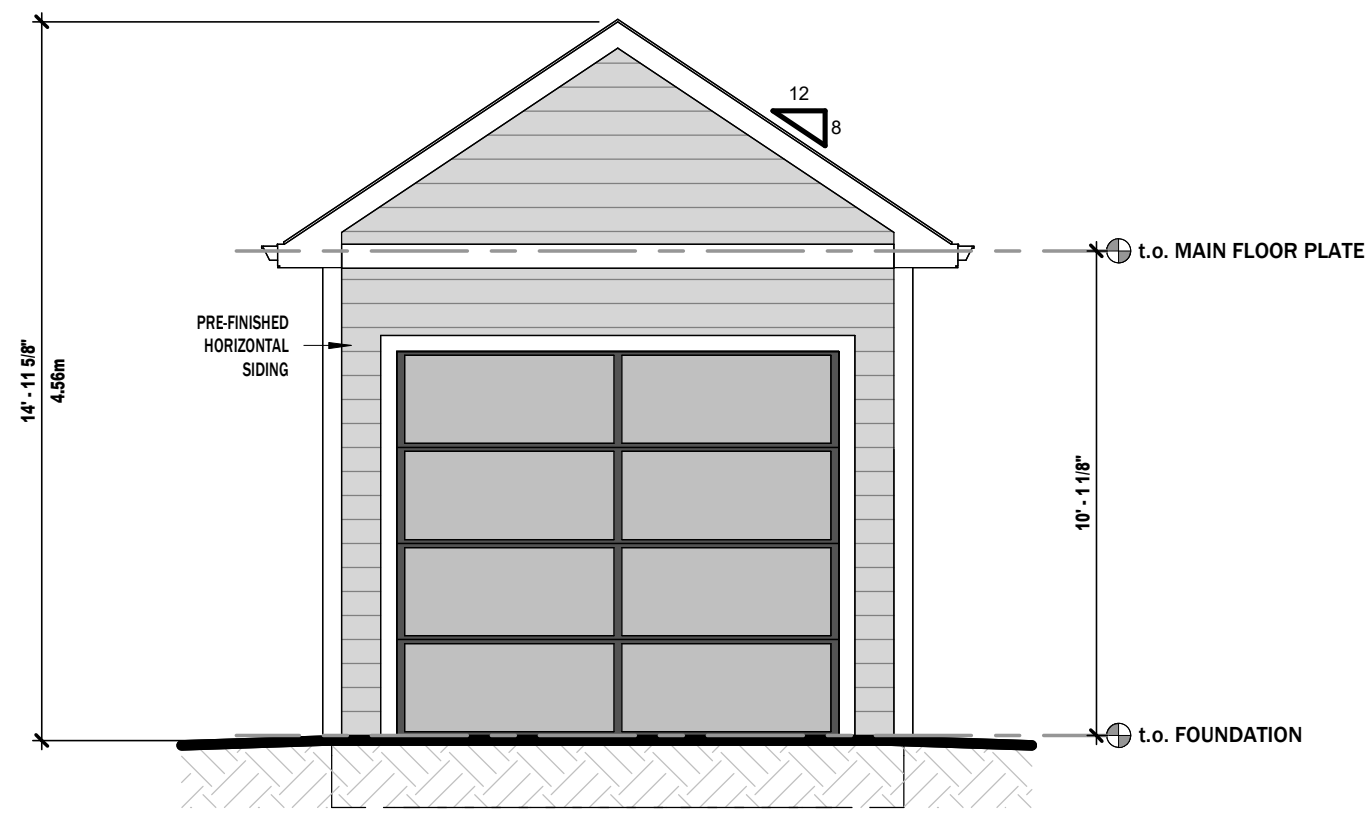
**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

**SCALE:** 3/8" = 1'-0"

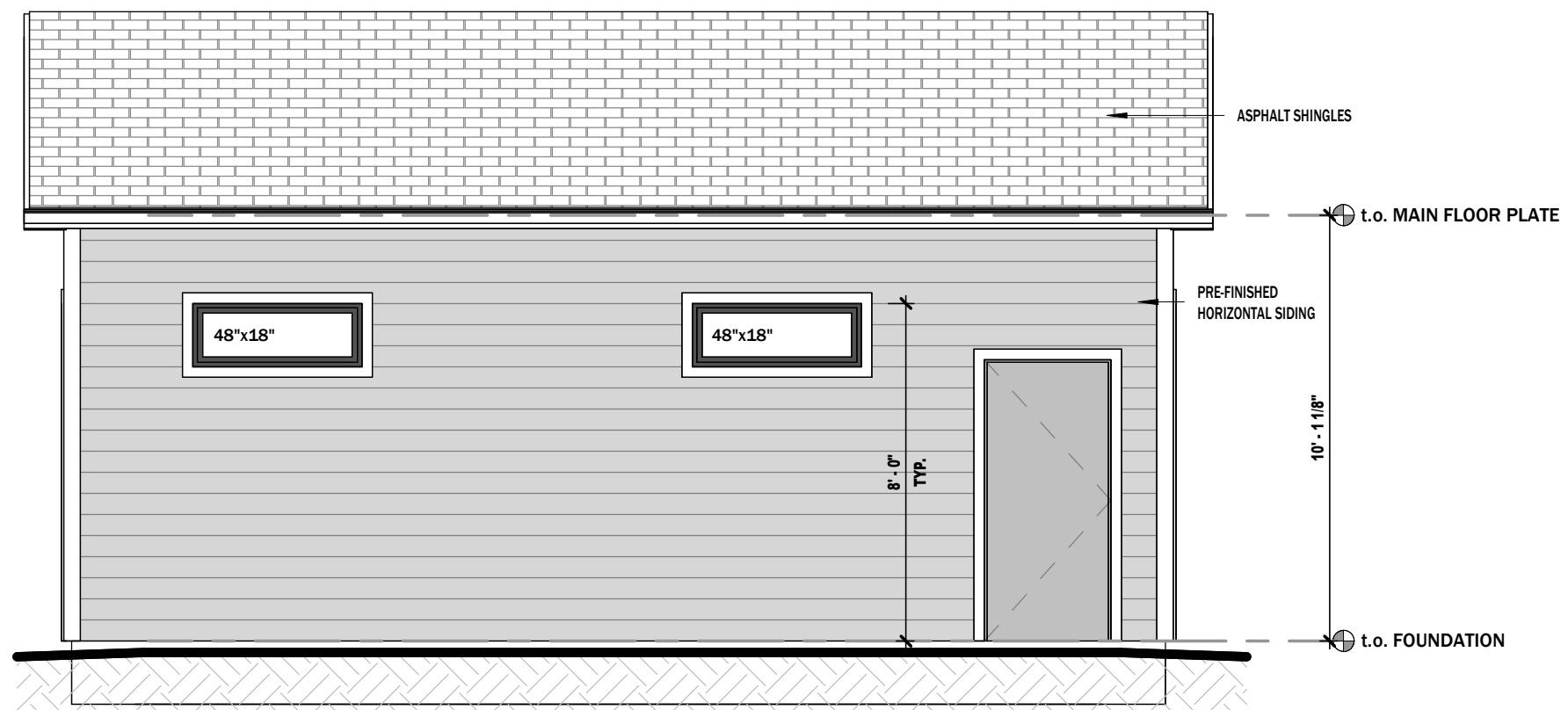
**DATE:** 2023-10-11 12:55:12 PM

**DRAWING NO:**  
**A-1**



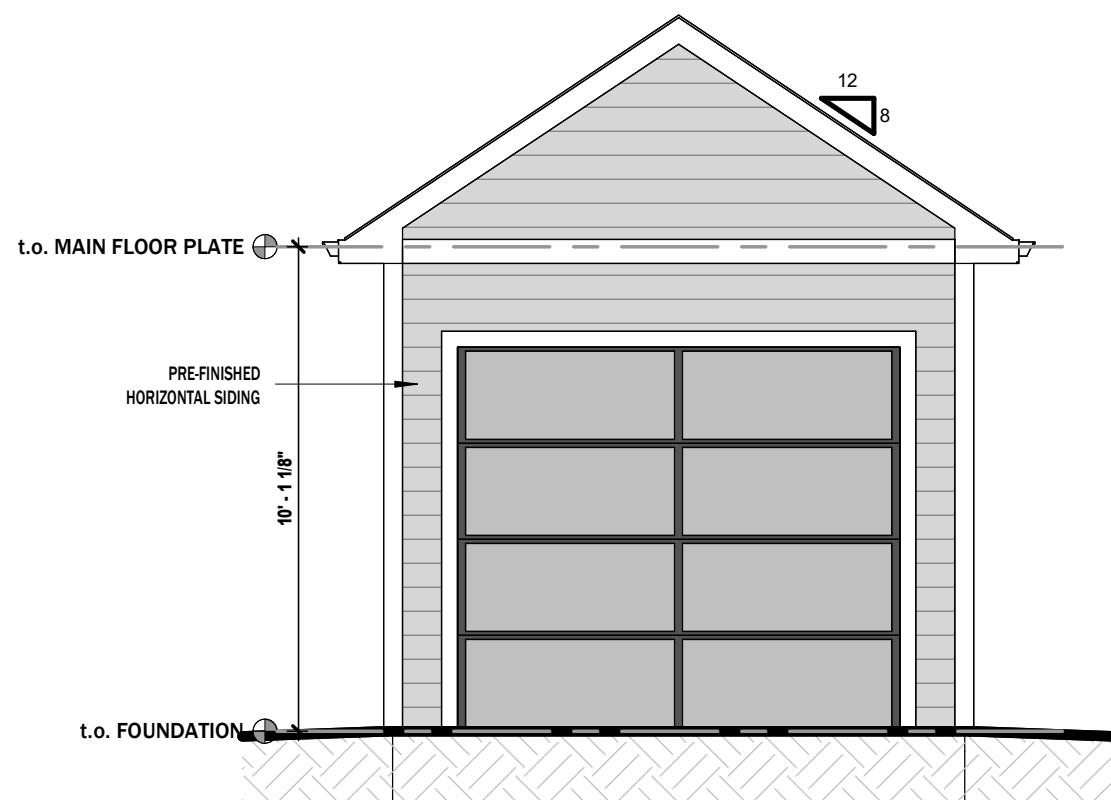
**EAST ELEVATION**

1/4" = 1'-0"



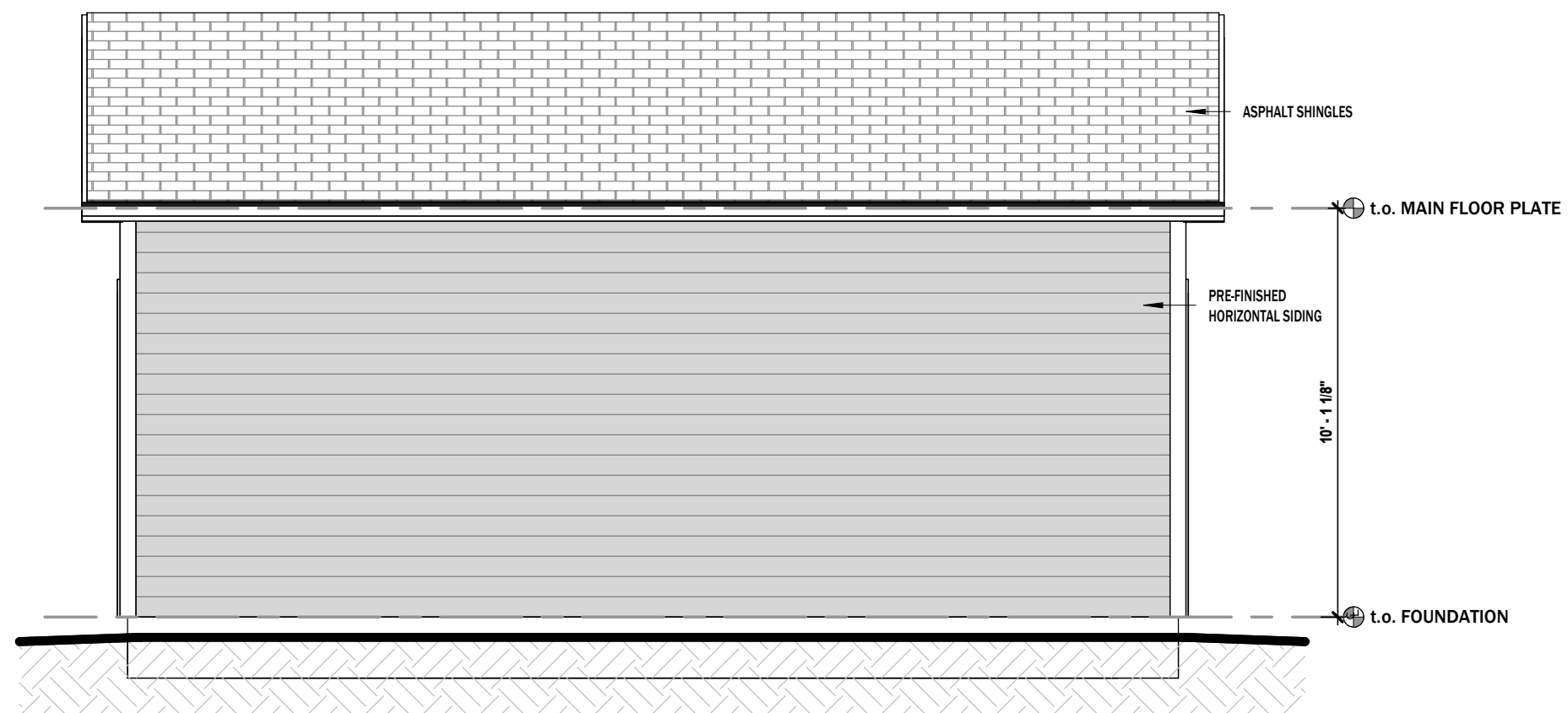
**NORTH ELEVATION**

1/4" = 1'-0"



**WEST ELEVATION**

1/4" = 1'-0"



**WEST ELEVATION**

1/4" = 1'-0"

**GENERAL NOTES:**

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE.
3. ALL DIMENSIONS INDICATED ON FLOOR PLANS ARE TO EXTERIOR FACE FOR EXTERIOR WALLS, OR FACE OF STRUCTURE / FACE OF STUD OF INTERIOR PARTITIONS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
4. CONTRACTOR TO COMPLY TO ONTARIO BUILDING CODE (OBC) 2012 IN ADDITION TO ANY AND ALL AUTHORITIES HAVING JURISDICTION DURING ALL PHASES OF WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCING OF ANY WORK.
6. PROVIDE 19mm PLYWOOD BACKING AT SURFACE MOUNTED ELECTRICAL PANEL LOCATIONS. ENSURE CONTINUITY OF VAPOUR BARRIER AND INSULATION AS REQ'D.
7. SEAL ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL PENETRATIONS IN WALL AND/OR FLOOR ASSEMBLIES WITH AN APPROVED PRODUCT / SYSTEM TO MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
8. THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SURVEY, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
9. ANY CEILING HEIGHTS SHOWN ON THE FLOOR PLANS ARE FROM t.o. SHEATHING TO t.o. WOOD PLATE OR UNDERSIDE OF TRUSS.
10. \* INDICATES STRUCTURAL ELEMENT DESIGNED TO PART 4 OF THE O.B.C. BY A PROFESSIONAL ENGINEER.
11. \*\* INDICATES PRE-ENGINEERED ELEMENT SUPPLIED BY MANUFACTURER.
12. ALL WOOD FRAMING TO MEET SECTION 9.23 OF THE O.B.C.
13. TRUSSES TO BE 2'-0" O/C MAX (DESIGN BY OTHERS)
14. ATTIC ACCESS HATCH TO BE 3'-0" BY 1'-10" LOCATION TO BE ADJUSTED IN COORDINATION WITH TRUSS LAYOUT

NO.	DESCRIPTION	DATE
00	ISSUED FOR MINOR VARIANCE	2023-07-05
01	RE-ISSUED FOR MINOR VARIANCE	2023-09-20

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

**QUALIFICATION INFORMATION:**

NAME	SIGNATURE
BCIN	FIRM BCIN

**PROJECT:**

**DETACHED GARAGE**

10 TEAL AVE, LONG POINT, ON, N0E 1M0



519-290-8737 | info@vsds.ca | www.vsds.ca

**DRAWING TITLE:**

**ELEVATIONS**

**PROJECT NUMBER:** 23088

**DRAWN:** K.RAMSEYER

**CHECKED:** N.SIEMON

**SCALE:** 1/4" = 1'-0"

**DATE:** 2023-10-11 12:55:12 PM

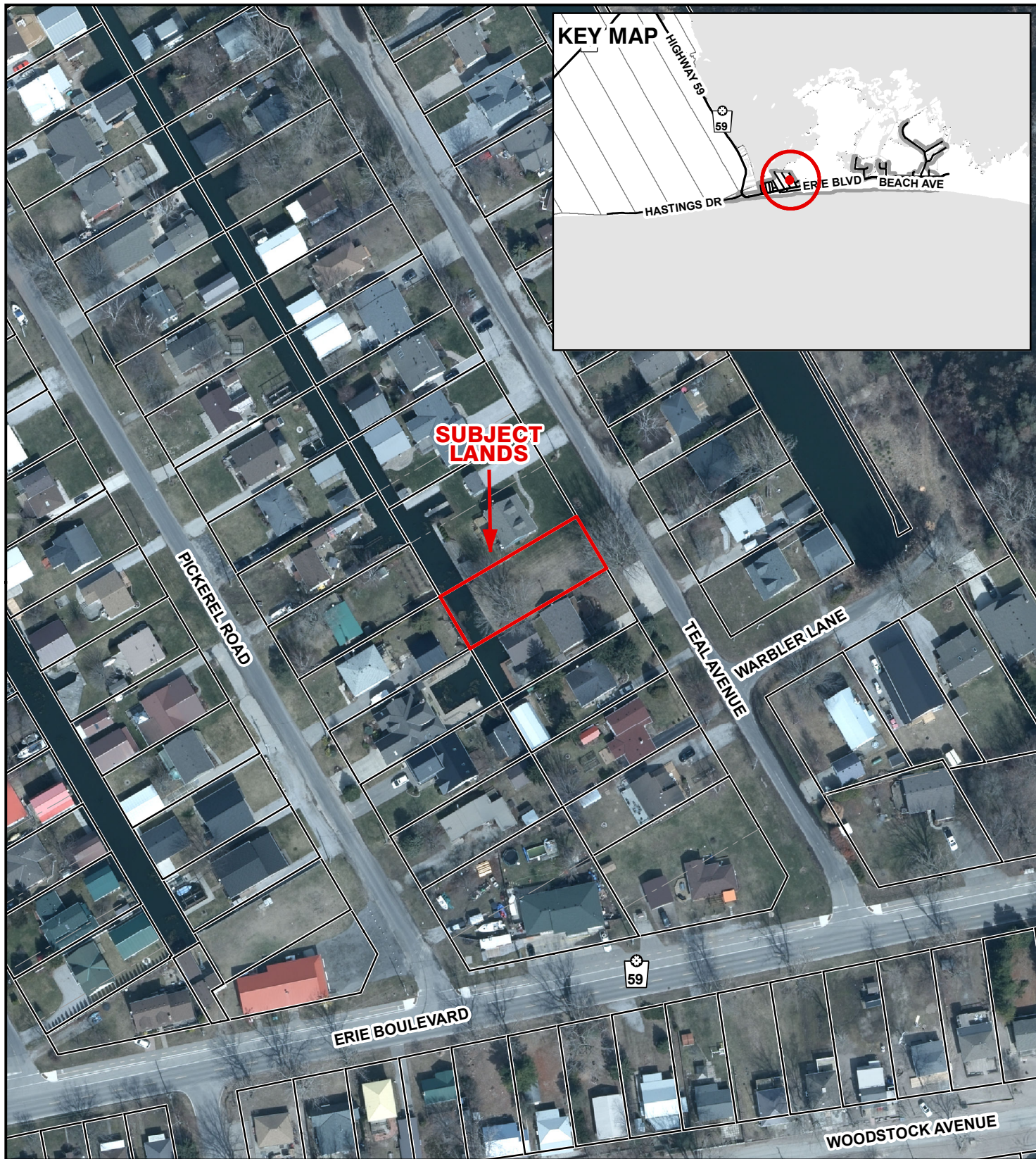
**DRAWING NO:**

**A-2**




**MAP A**  
**CONTEXT MAP**  
Geographic Township of SOUTH WALSINGHAM

ANPL2024033

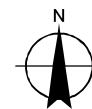


**Legend**

 Subject Lands

2020 Air Photo

4/9/2024

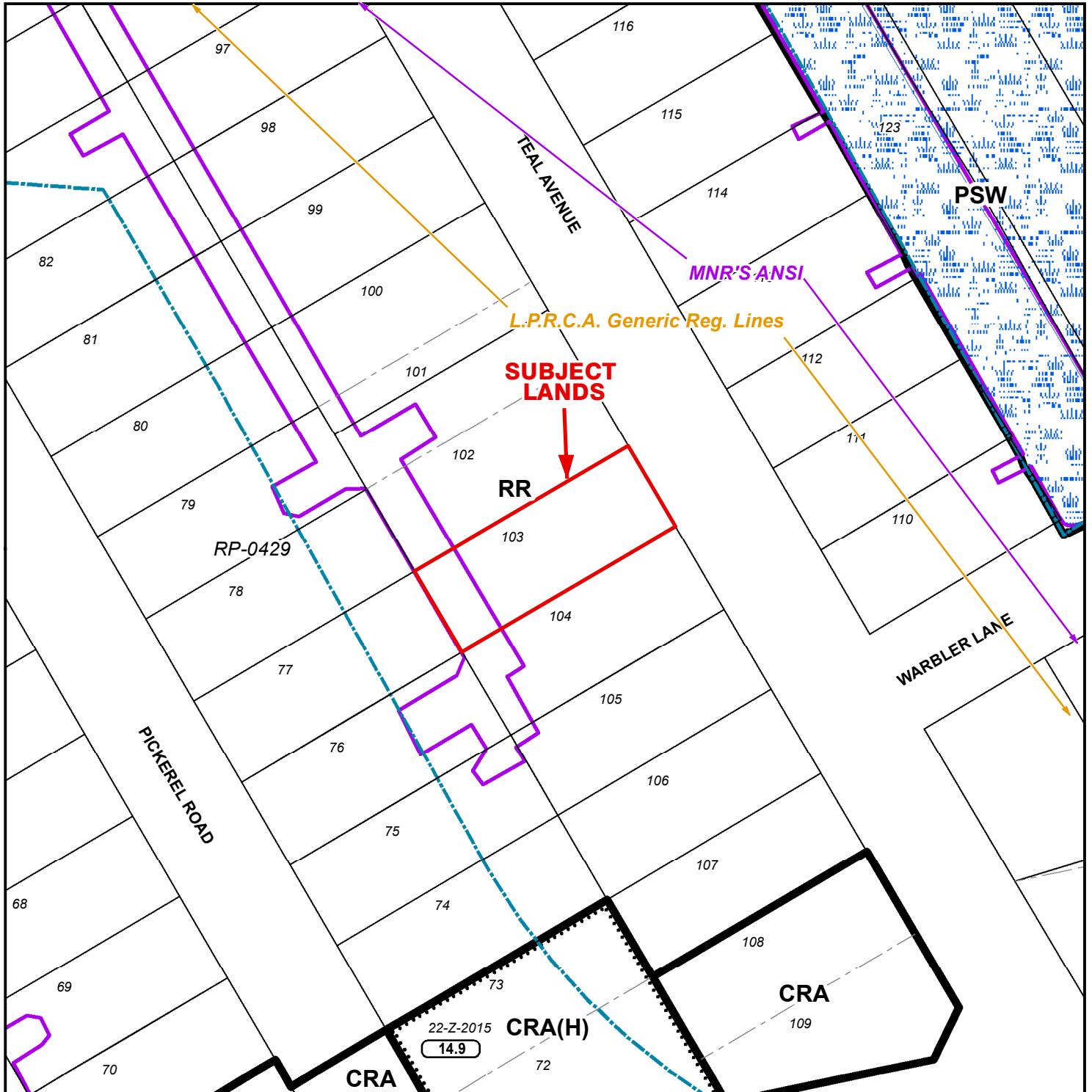


10 5 0 10 20 30 40 Meters








**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of SOUTH WALSINGHAM

ANPL2024033



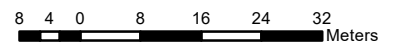
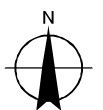
**LEGEND**

-  Subject Lands
-  Adjacent Lands
-  Wetland
-  MNR ANSI
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

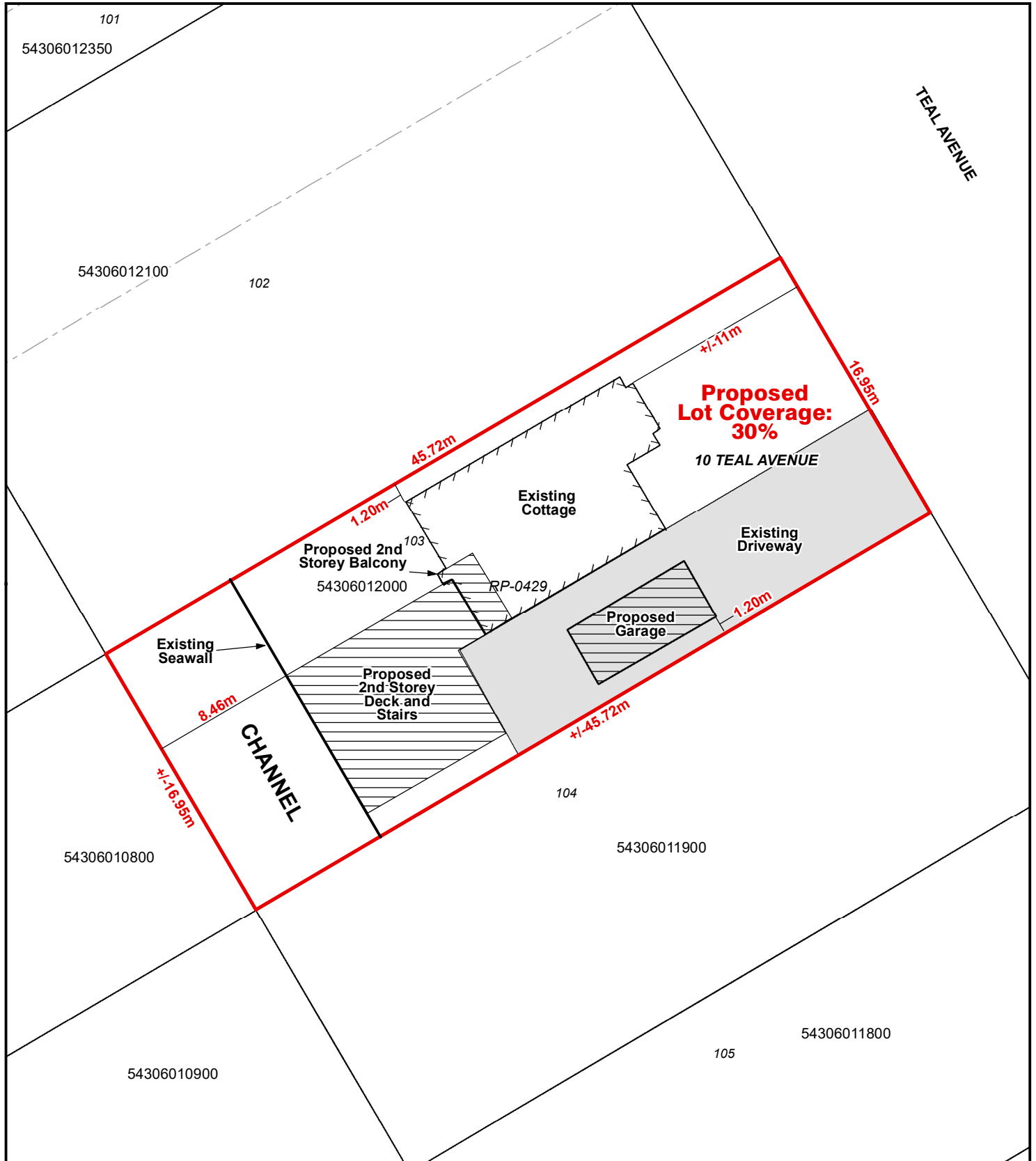
- (H) - Holding
- CRA - Resort Area Commercial Zone
- PSW - Provincially Significant Wetland Zone
- RR - Resort Residential Zone

4/9/2024



CONCEPTUAL PLAN

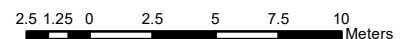
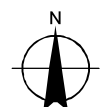
Geographic Township of SOUTH WALSINGHAM



Legend

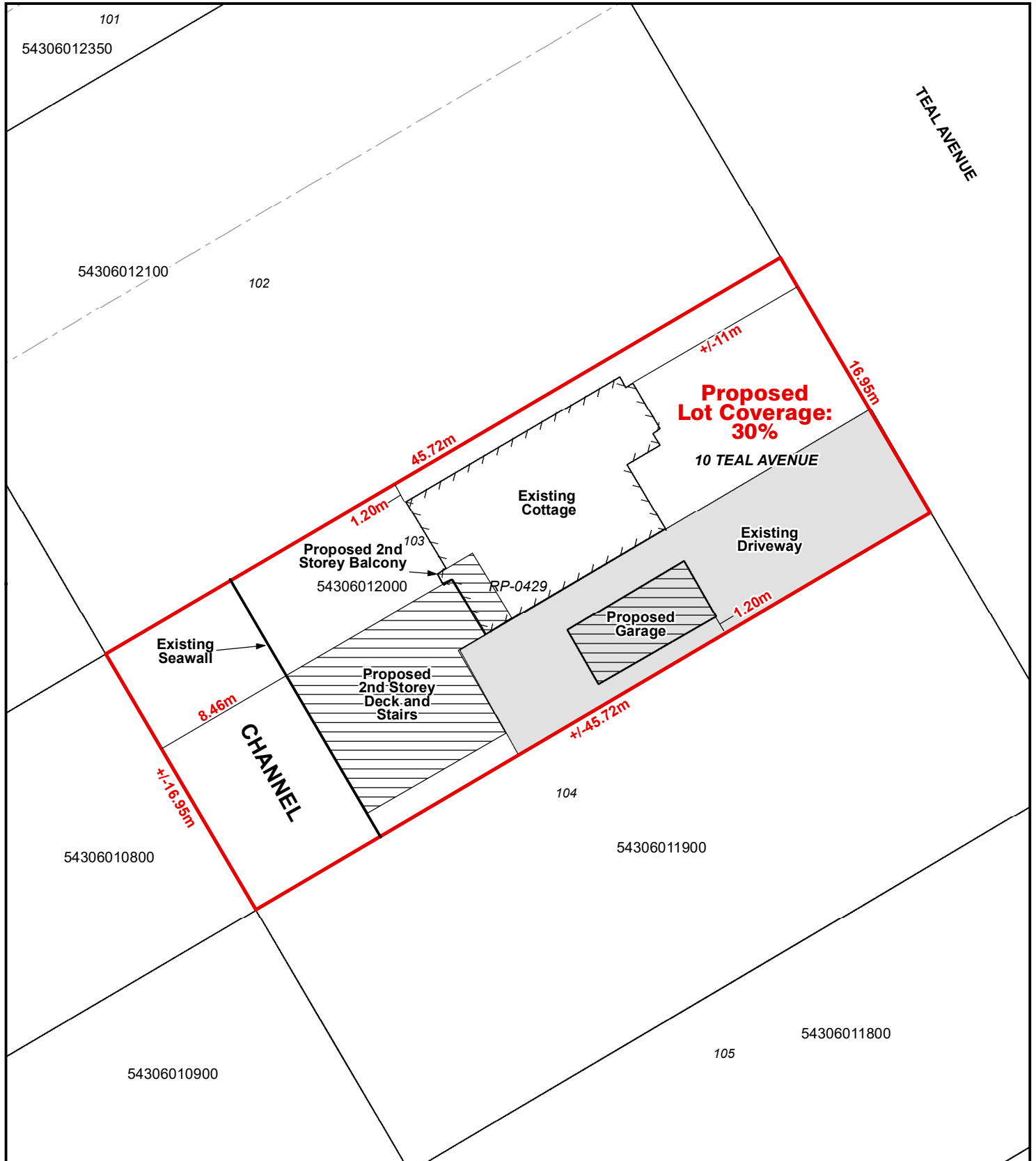
Subject Lands

4/9/2024




CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

 Subject Lands

4/9/2024

