

For Office Use Only:

File Number	Application Fee
Related File Number	Conservation Authority Fee
Pre-consultation Meeting	Well & Septic Info Provided
Application Submitted	Planner
Complete Application	Public Notice Sign

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water Communal wells
 Individual wells Other (describe below)

Sewage Treatment

Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)

Storm Drainage

Storm sewers Open ditches
 Other (describe below)

2. Existing or proposed access to subject lands:

Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Jan 24, 2023

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Greg Chisholm am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bradley Good to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Jan 24, 2023

Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Bradley Good of Courtland, ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Courtland 

Owner/Applicant/Agent Signature

In Norfolk County

This 24th day of January

A.D., 2023

Pamela Christine Southwick

A Commissioner, etc.



Pamela Christine Southwick,
a Commissioner, etc., Province of Ontario,
for Reid & Deleye Contractors Ltd.
Expires August 25, 2023.

GREG CHISHOLM

4168 LAKESHORE Road
St. WILLIAMS, ONTARIO

- S0 - GENERAL NOTES & DETAILS
- S1 - FOUNDATION PLAN
- S2 - FOUNDATION DETAILS
- S3 - MAIN FLOOR PLAN
- S4 - UPPER FLOOR PLAN
- S5 - CROSS SECTION
- S6 - ELEVATIONS
- S7 - ELEVATIONS

GENERAL CONSTRUCTION NOTES

ALL FOOTINGS TO BEAR DIRECTLY ONTO UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 3000PSF. THE SOIL BEARING CAPACITY IS TO BE CONFIRMED BY A SOIL TEST TECHNICIAN PRIOR TO CONSTRUCTION IF UNSUITABLE SOILS ARE FOUND DURING EXCAVATION.
 • THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION. THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR TEMPORARY BRACING DURING CONSTRUCTION.
 • NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 A. EXCAVATION - PRIOR TO POURING FOOTINGS
 B. CONCRETE POUR - PRIOR TO REINFORCING STEEL IS SPECIFIED.
 C. REINFORCING STEEL - PRIOR TO CLOSE-IN.
 D. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 E. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 F. FINAL INSPECTION FOR CERTIFICATION, TO BE COMPLETED WITH CONTRACTOR & OWNER.
 • THE CONTRACTOR / OWNER ARE RESPONSIBLE FOR NOTIFYING THE GOVERNING MUNICIPALITIES FOR ALL REQUIRED INSPECTIONS.

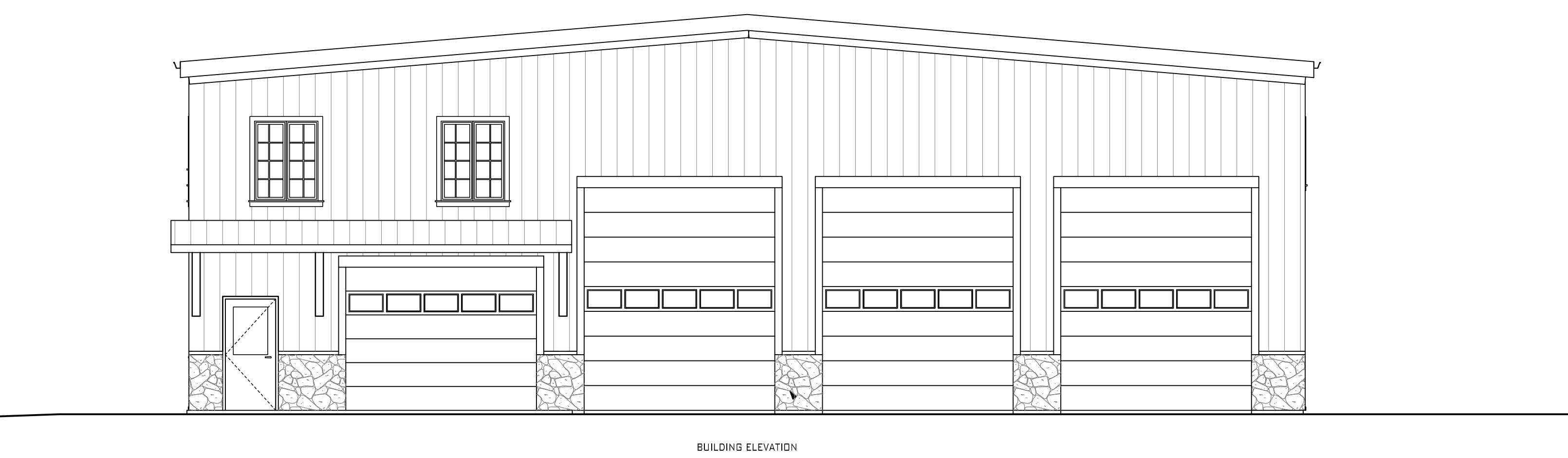
2012 ONTARIO BUILDING CODE MATRIX - PARTS 3 & 9

PROJECT DESCRIPTION:	<input type="checkbox"/> NEW	<input type="checkbox"/> ALTERATION	<input type="checkbox"/> PART II	<input type="checkbox"/> PART 3 (DIVISION)	<input type="checkbox"/> PART 9 (DIVISION)					
MAJOR OCCUPANCY(S):	<input type="checkbox"/> ADDITION	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> PART 10	<input type="checkbox"/> 1.1.2.(A)	<input type="checkbox"/> 1.1.2.(A) / 9.10.1.3.(B)					
BUILDING AREA (m ²):				<input type="checkbox"/> 3.1.2.1.(B)	<input type="checkbox"/> 9.10.2.(B)					
GROSS AREA (m ²):	EXISTING: 0.00	NEW: 288.31	TOTAL: 288.31	<input type="checkbox"/> 1.4.1.2.(A)						
MEZZANINE AREA (m ²):	EXISTING: 0.00	NEW: 387.16	TOTAL: 387.16	<input type="checkbox"/> 1.4.1.2.(A)						
NUMBER OF STOREYS:	EXISTING: 0.00	NEW: 0.00	TOTAL: 0.00	<input type="checkbox"/> 3.2.1.1.(B)	<input type="checkbox"/> 9.10.4.1.(B)					
NUMBER OF STREETS FIRE ROUTES:	ABOVE GRADE: 2	BELOW GRADE: 0		<input type="checkbox"/> 1.4.1.2.(A) / 3.2.1.1.(B)	<input type="checkbox"/> 9.10.4.1.(B)					
BUILDING CLASSIFICATION:	GROUP C - RESIDENTIAL			<input type="checkbox"/> 3.2.2.10.(B) / 3.2.5.(B)	<input type="checkbox"/> 9.10.20.(B)					
SPRINKLERED BUILDING:	<input type="checkbox"/> NOT PROVIDED / REQUIRED	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> ROOF ONLY	<input type="checkbox"/> 3.2.2.20.83.(B)	<input type="checkbox"/> 9.10.8.2.(B)					
	<input type="checkbox"/> PROVIDED VOLUNTARILY	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> BASEMENT ONLY	<input type="checkbox"/> 3.2.1.5.(B)	<input type="checkbox"/> 9.10.20.2.(B)					
	<input type="checkbox"/> ENTIRE REQUIRED	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> LIEU OF RISING COMPARTMENT(S)	<input type="checkbox"/> 3.2.2.17.(B)	<input type="checkbox"/> 9.10.16.1.(B)					
	<input type="checkbox"/> PARTIAL(S) REQUIRED	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> LIEU OF NON-COMBUSTIBLE(S)	<input type="checkbox"/> 3.2.9.(B)						
STANDPIPE REQUIRED:	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> 3.2.9.(B)						
FIRE ALARM REQUIRED:	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> 3.2.4.(B)	<input type="checkbox"/> 9.10.18.(B)					
ADQUATE FIRE FIGHTING WATER SUPPLY:	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> 3.2.5.7.(B)						
HIGH BUILDING:	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	<input type="checkbox"/> 3.2.6.(B)						
PERMITTED CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE	<input type="checkbox"/> BOTH							
ACTUAL CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE	<input type="checkbox"/> BOTH	<input type="checkbox"/> 3.2.2.20.83.(B)	<input type="checkbox"/> 9.10.6.(B)					
OCCUPANT LOAD BASED ON:	<input type="checkbox"/> POSTED LOAD	<input checked="" type="checkbox"/> DESIGN LOAD		<input type="checkbox"/> 3.1.17.(B)	<input type="checkbox"/> 9.9.1.3.(B)					
BASEMENT:										
1ST FLOOR:					2 PERSONS PER BEDROOM = 2 PERSONS TOTAL					
2ND FLOOR:										
3RD FLOOR:										
BARRIER FREE DESIGN:	<input type="checkbox"/> YES	<input type="checkbox"/> NO		<input type="checkbox"/> 3.2.(B)	<input type="checkbox"/> 9.5.2.(B)					
SPACIAL PROTECTION:	<input type="checkbox"/> YES	<input type="checkbox"/> NO		<input type="checkbox"/> 3.3.1.2.(B) / 3.3.1.19.(B)	<input type="checkbox"/> 9.10.1.3.(B)					
FIRE RESISTANCE RATING:			HOURS	LISTED DESIGN NO. OR DESCRIPTION (SG-2)						
FLOOR ASSEMBLIES:			N/A	N/A						
ROOF ASSEMBLIES:			N/A	N/A						
MEZZANINE ASSEMBLIES:			N/A	N/A						
FLOOR STRUCTURAL MEMBERS:			N/A	N/A						
ROOF STRUCTURAL MEMBERS:			N/A	N/A						
MEZZANINE STRUCTURAL MEMBERS:			N/A	N/A						
Spatial Separation: (Construction of exterior walls) • of new construction only					<input type="checkbox"/> 3.2.3.(B)	<input type="checkbox"/> 9.10.14.(B)				
WALL (PROPOSED BUILDING)	AREA OF EBF (m ²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	F.R.R. (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONST.
NORTH	146.40	12.72	3:1 TO 10:1	55.00	42.78					
WEST	86.02	1.20	3:1 TO 10:1	7.00	3.45	1HR	ULC W605 / ULC X524			X
SOUTH	146.40	1.20	3:1 TO 10:1	7.00	2.03	1HR	ULC W605 / ULC X524			X
EAST	86.02	7.94	3:1 TO 10:1	67.47	5.39					

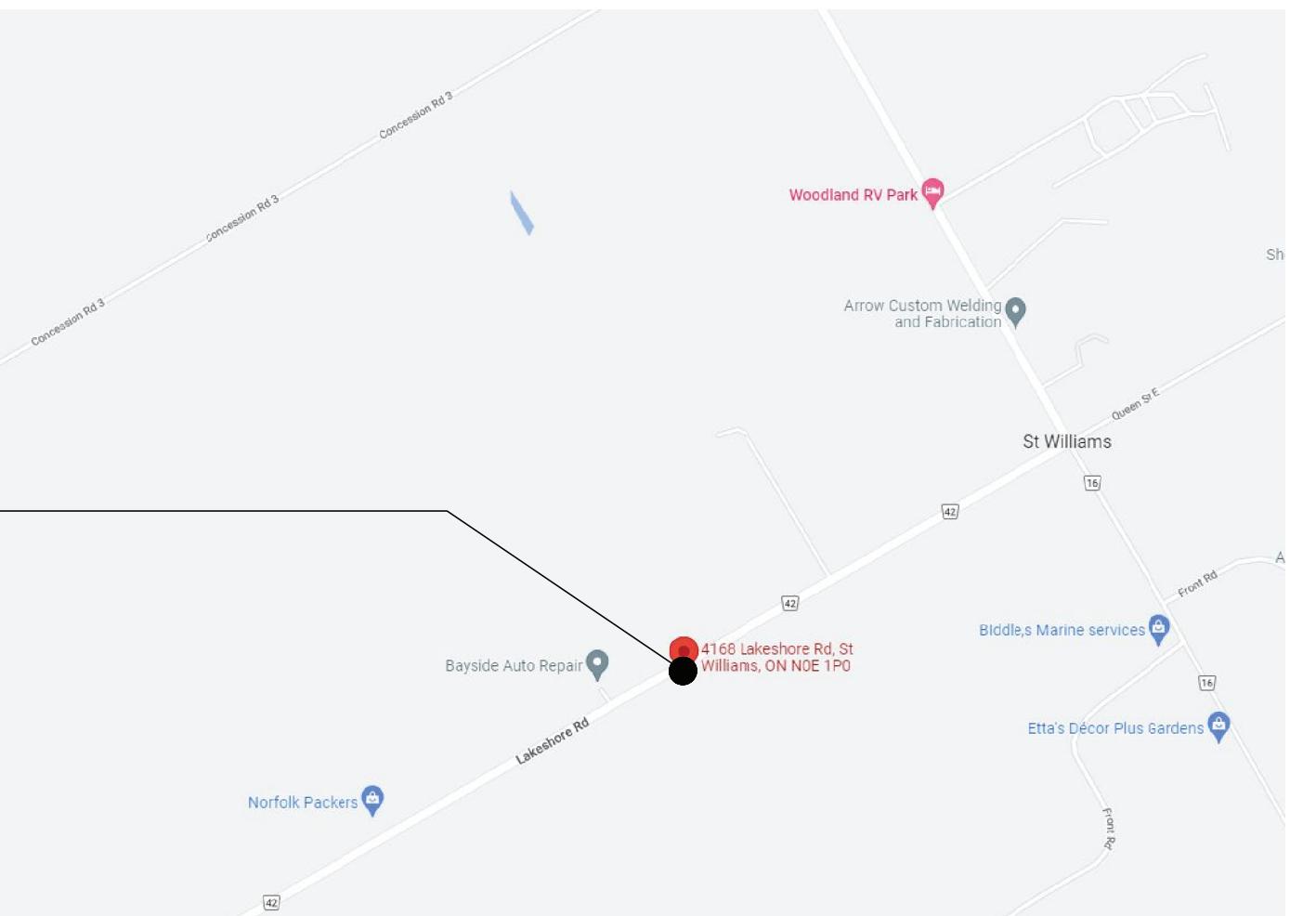
APPROVED BY:



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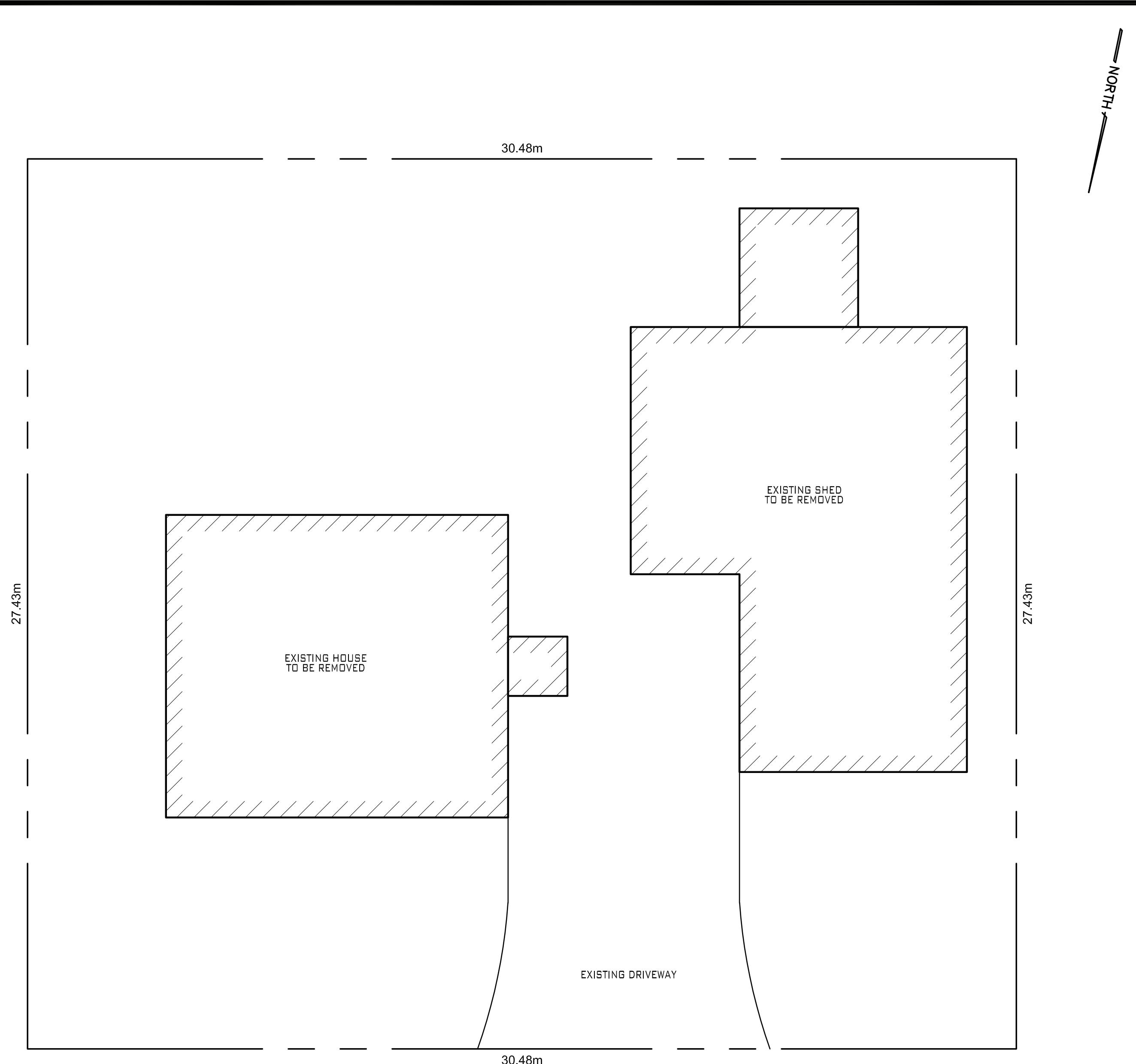


SITE LOCATION ON MAP



MAP

ISSUED FOR:
PERMIT & CONSTRUCTION
 SEPTEMBER 13, 2022



LAKESHORE ROAD

PRE-DEVELOPMENT PLAN

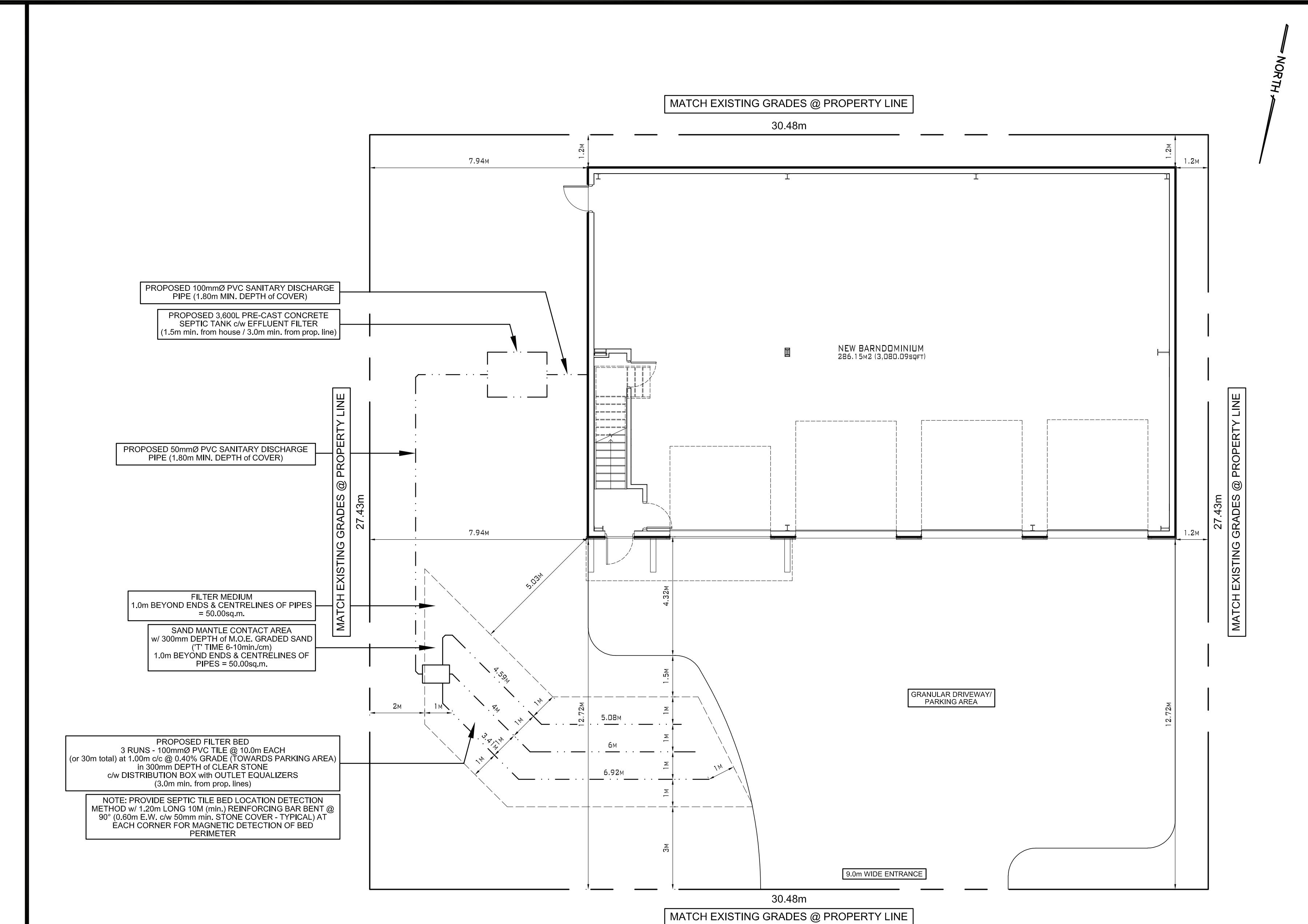
SCALE: 1:100



CAUTION

- THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED FOR TRANSACTION OR FINANCING PURPOSES
- DO NOT CONVEY FROM THIS PLAN
- THE PROPOSED BUILDING AND IT'S LOCATION SHOWN HEREON MAY BE SUBJECT TO CHANGES PRIOR TO CONSTRUCTION. THIS SKETCH SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE DWELLING WAS ACTUALLY CONSTRUCTED AS SHOWN.

KEY MAP: NOT TO SCALE



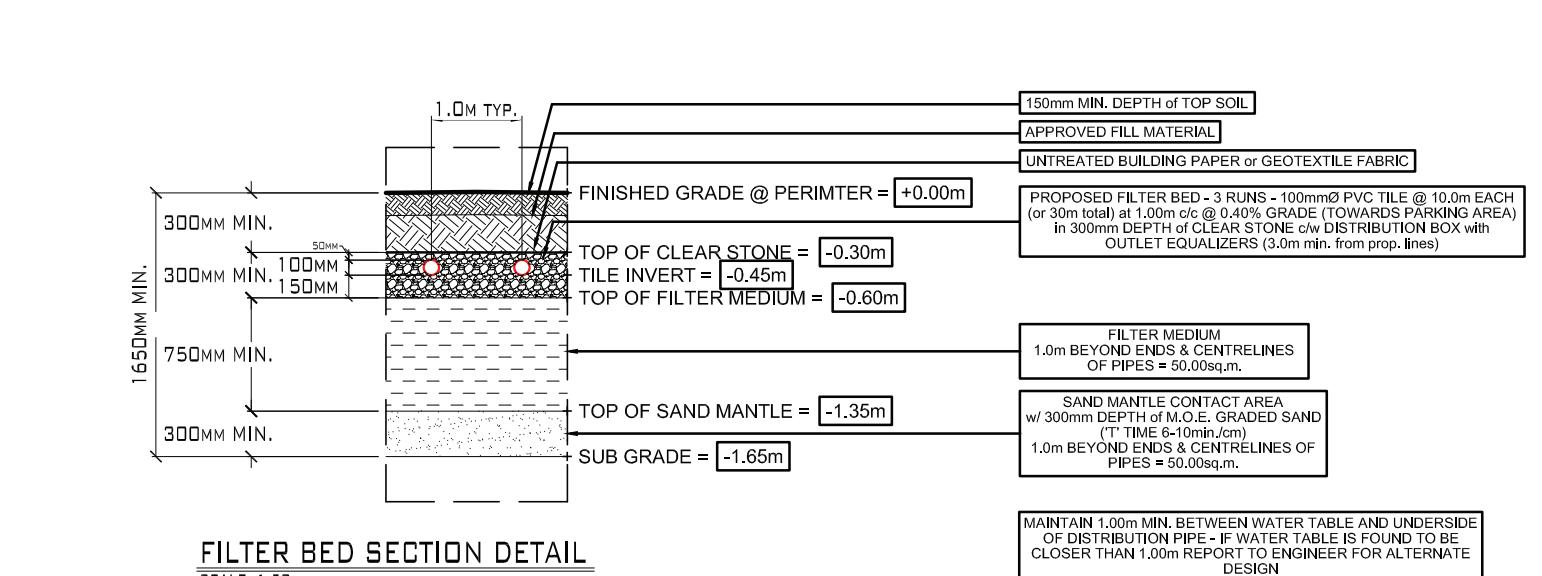
LAKESHORE ROAD

PROPOSED SITE PLAN

SCALE: 1:100

SITE STATISTICS & ZONING DATA TABLE:

EXISTING USE: A-AGRICULTURE		
PROPOSED BUILDING USE: SINGLE DWELLING UNIT		
EXISTING ZONE: A- AGRICULTURE		
ZONE REGULATION	REQUIRED	PROVIDED
LOT AREA - MINIMUM	40 HECTARES	836.13M2-EXISTING
LOT FRONTAGE - MINIMUM INTERIOR	30M	30.48M
FRONT YARD DEPTH - MINIMUM	13M	12.52M
EXTERIOR SIDE YARD - MINIMUM	13M	N/A
INTERIOR SIDE YARD - MINIMUM	3M	1.2M
REAR YARD DEPTH - MINIMUM	9M	1.2M
MINIMUM SEPARATION: B/W A FARM PROCESSING FACILITY AND A DWELLING ON A ADJACENT LOT	30M	N/A
HEIGHT OF BUILDING - MAXIMUM	11M	7.29M2
PARKING REQUIREMENTS	PARKING RATE	REQUIRED
TOTAL PARKING REQUIRED	2	5

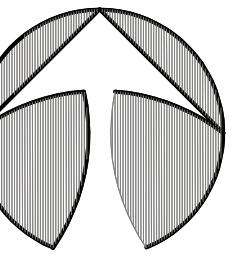


DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE Road,
G.T. WILLIAMS, ONTARIO, N0J 1P0

PRE-DEVELOPMENT & PROPOSED SITE PLAN

1:100	
JULY 26, 2022	
DRAWING NO:	
BY:	T. STREATCH
BY:	C. WEATHERALL
BY:	C. WEATHERALL
NO:	22-181
1 <input type="checkbox"/> <input type="checkbox"/>	



CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

CONSTRUCTED BY:



REID & DELEYE CONTRACTORS LTD

Box 272 Courtland, Ontario N0J 1E0 Ph. (519) 688-2600 Fax (519) 688-2700
EMAIL: BRAD@REID-DELEYE.COM



2470155 ONTARIO INC.
2 PEEL STREET 212 MAIN STREET WEST
WOODSTOCK ON, N4S 1L3 P.O. BOX 98

TEL: 1-519-879-6875
FAX: 1-519-879-6536
E-MAIL: INFO@GIRARDENGINEERING.CA

Architectural cross-section diagram showing a concrete foundation wall and slab construction. The diagram illustrates the following components and dimensions:

- Top Slab:** 6" thick floor slab construction, continuous at the top of the wall.
- Reinforcement:** (2) PCS IOM REBAR continuous at the top of the wall.
- Insulation:** R15 RIGID INSUL MIN 48" HORIZONTAL and R15 RIGID INSUL MIN 48" VERTICAL.
- Foundation:** 8" FOUNDATION BLOCK.
- Grade:** GRADE is indicated on the right side.
- Soil:** FOOTING TO BEAR ON UNDISTURBED SOIL.
- Wall and Footing:** CONCRETE FOUNDATION WALL AND FOOTING. REFER TO TYPICAL WALL DETAIL FOR SIZES AND REINFORCING DETAILS.

TYPICAL FOUNDATION DETAIL

SCALE 1/2" = 1'-0"



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE
NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO
BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

DESIGNED FOR:

**GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO**

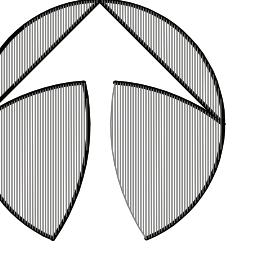
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PROPOSED BARDOMINIMUM

FOUNDATION PLAN

DATE:	1/4" = 1'-0"	
DRAWING BY:	JULY 28, 2022	DRAWING NO:
SIGNED BY:	T. STREATCH	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	22-181	S-1

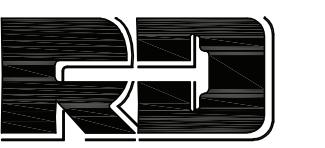


CONSTRUCTION NORTH

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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO:	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 28, 2028
2	ISSUED FOR PERMIT & CONSTRUCTION	DF	SEPTEMBER 13, 2028

CONSTRUCTED BY:



REID & DELEYE CONTRACTORS LTD

Box 272 Courtland, Ontario N0J 1E0 Ph. (519) 688-2600 Fax (519) 688-2700

EMAIL: BRAD@REID-DELEYE.COM

DESIGNED BY:



2478153 ONTARIO INC.

682 PEEL STREET 212 MAIN STREET WEST
WOODSTOCK ON, N4S 1L3 P.O. Box 98
OTTAWA, ONTARIO N0J 1R0

TEL: 1-519-879-6875
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EMAIL: INFO@GIRARDENGINEERING.CA



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DESIGNED FOR:

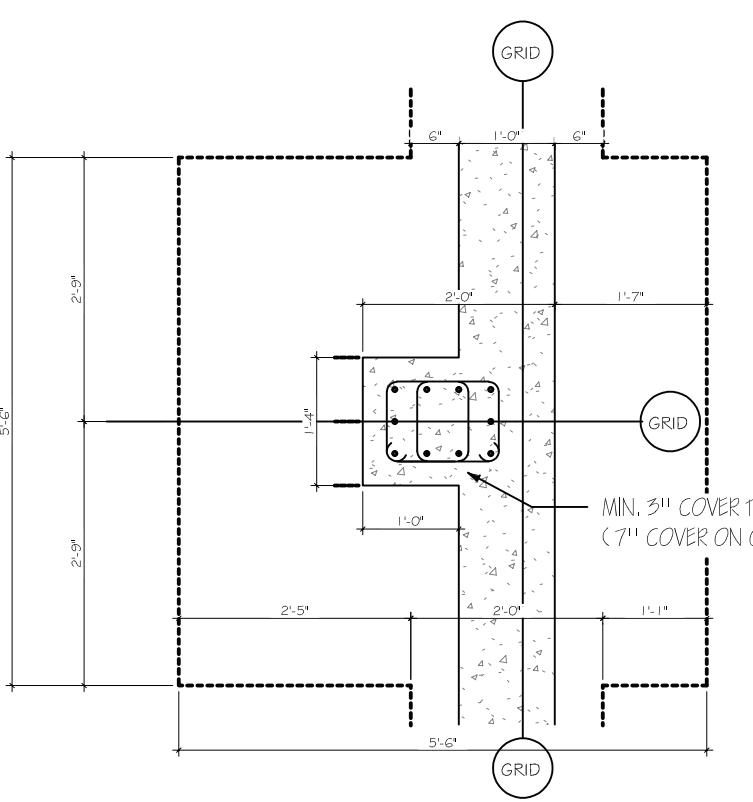
GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

FOUNDATION DETAILS

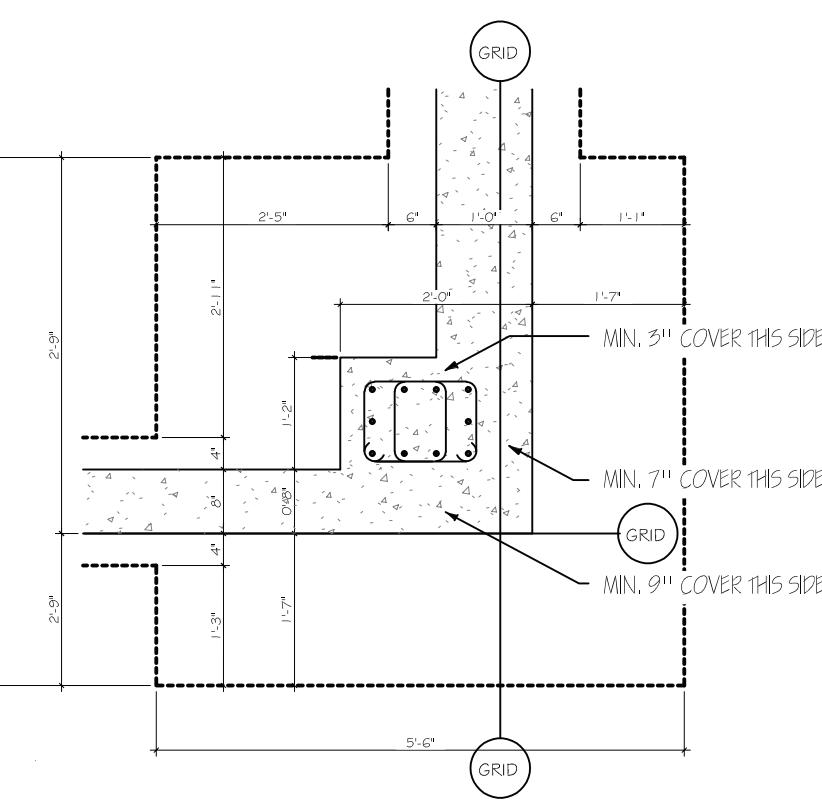
SCALE:	1/4" = 1'-0"
DATE:	JULY 28, 2022
DRAWING BY:	T. STREATCH
DESIGNED BY:	M. VASANTHA
CHECKED BY:	M. VASANTHA
PROJECT NO:	22-181

S-2



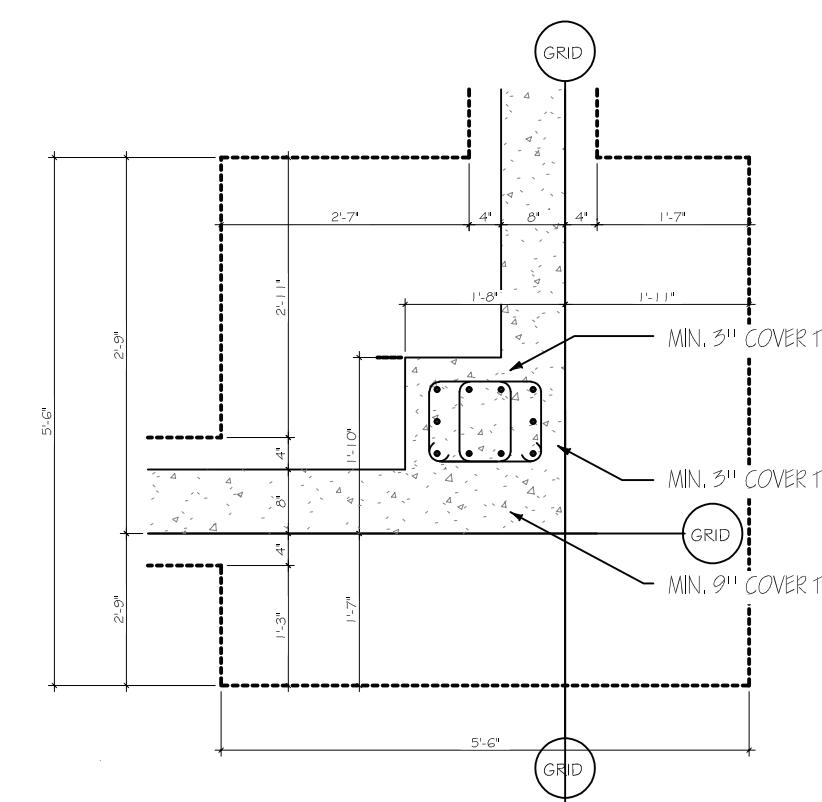
TYPICAL 'A' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



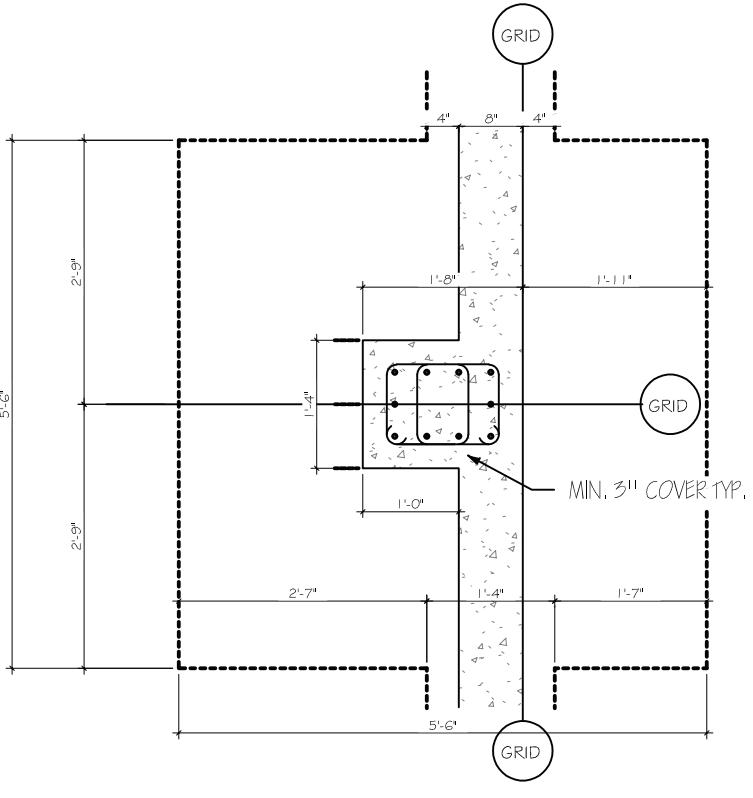
TYPICAL 'B1/D1' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



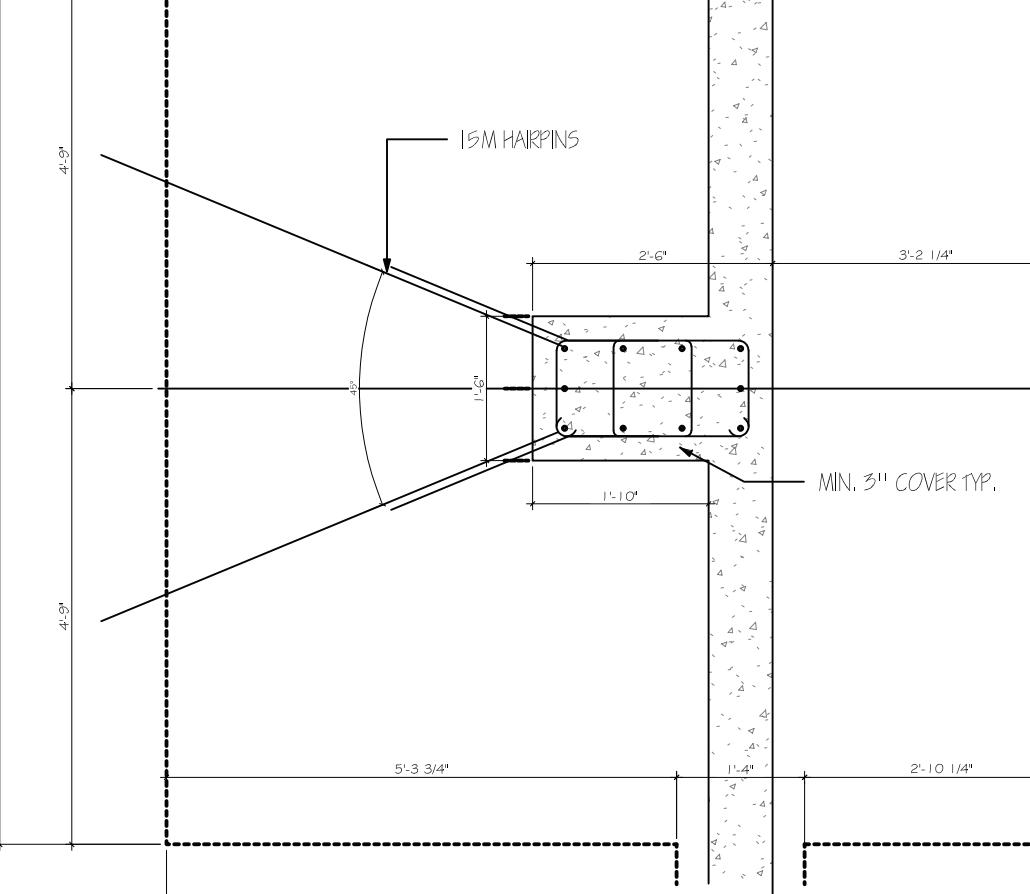
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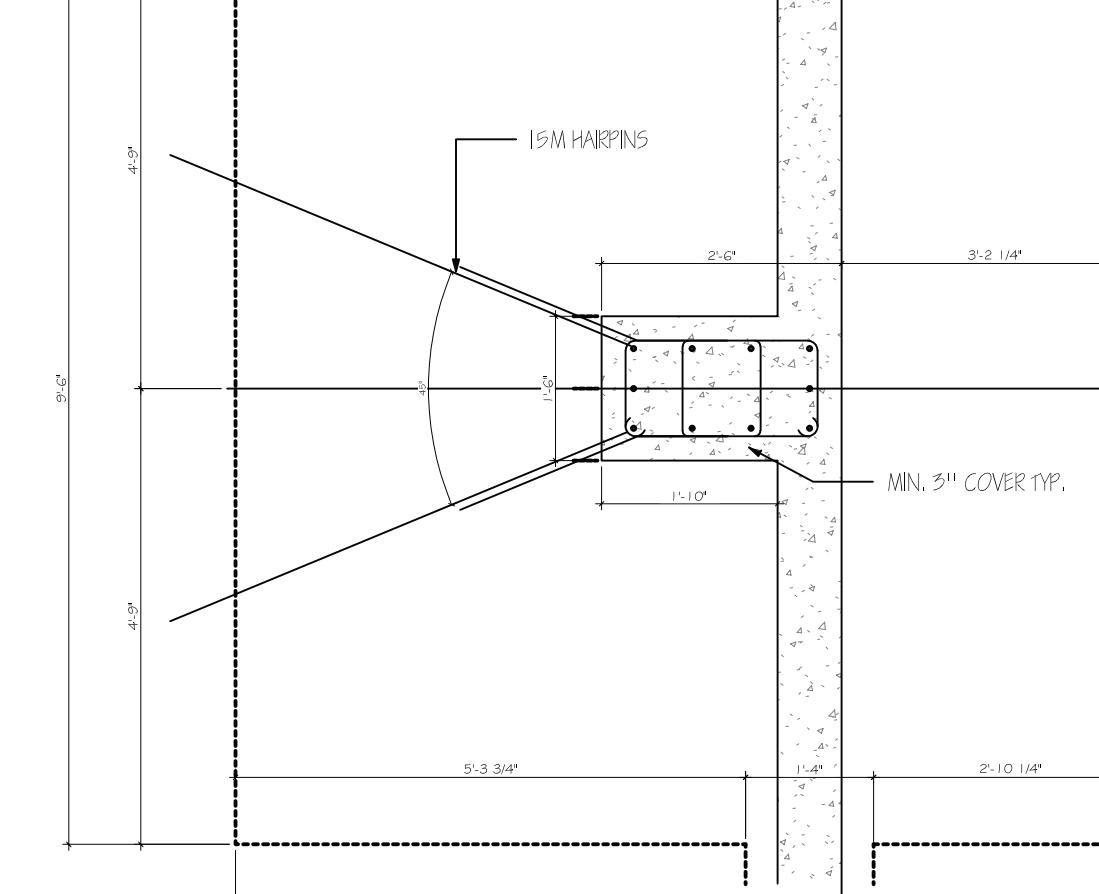
TYPICAL 'C' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



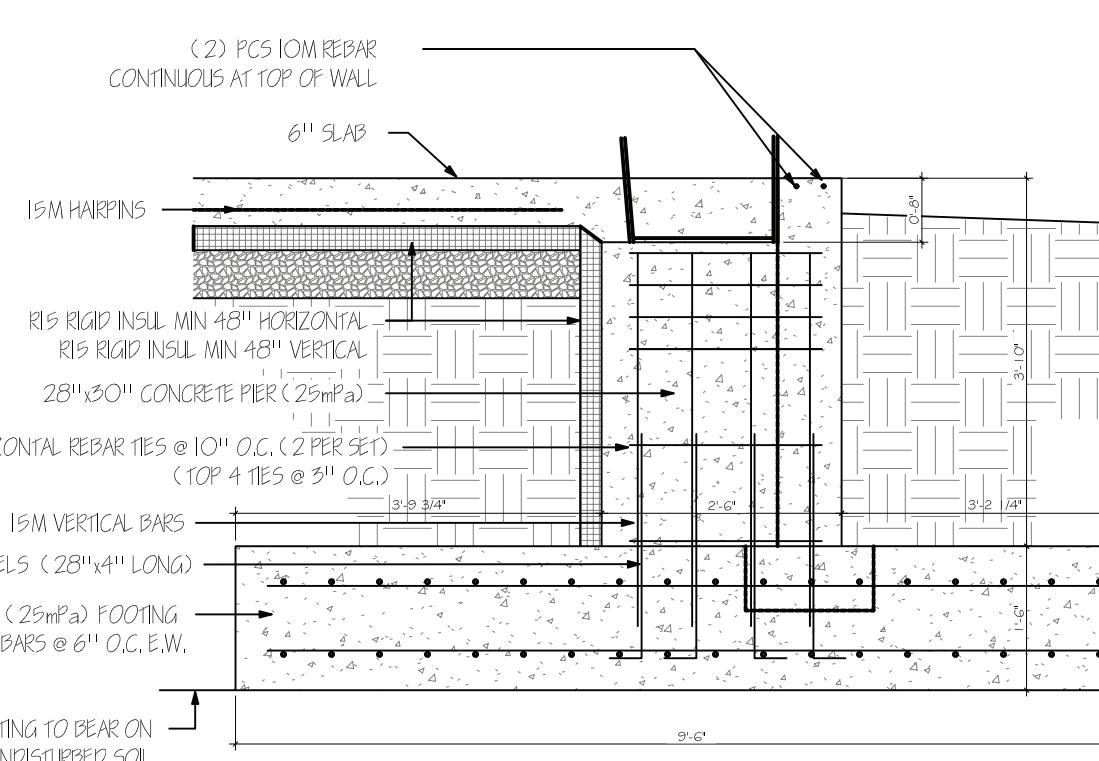
TYPICAL 'D' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



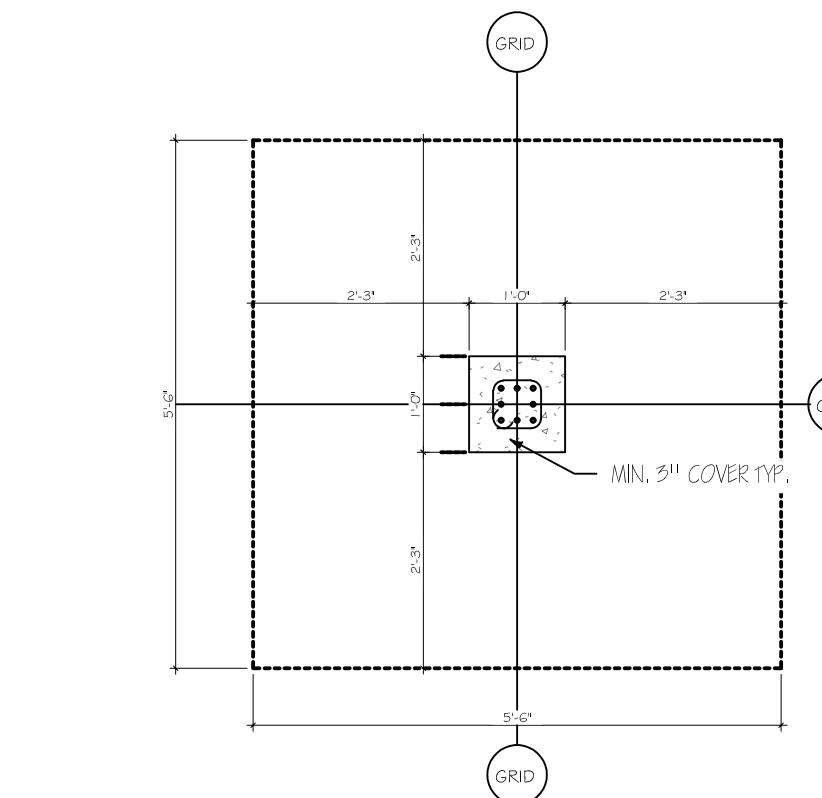
TYPICAL 'E' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



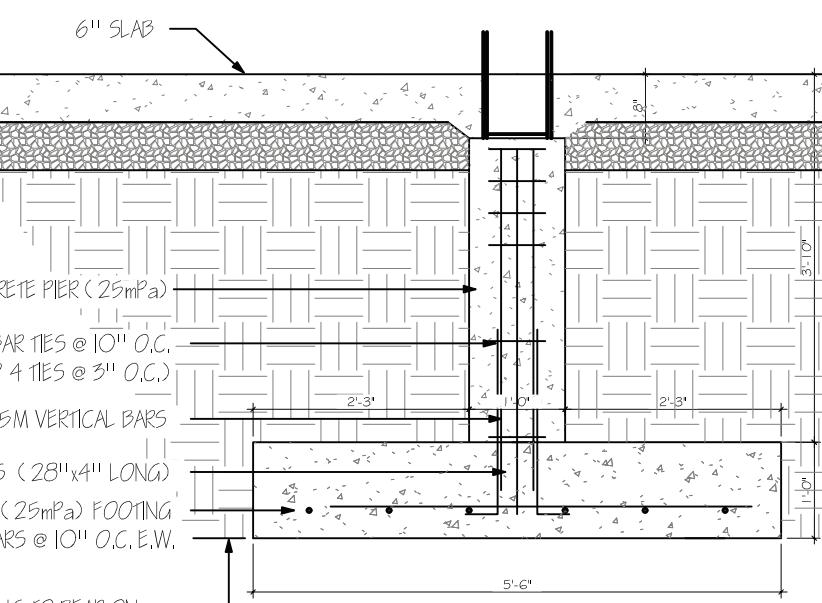
TYPICAL 'F' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



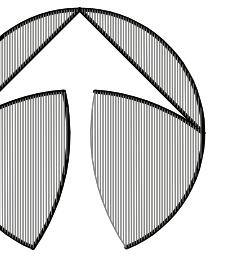
TYPICAL 'G' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



TYPICAL 'H' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO NOTIFY THE ENGINEER PRIOR TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

NO:	REVISION:	BY:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 28, 2022
2	ISSUED FOR PERMIT & CONSTRUCTION	DF	SEPTEMBER 13, 2022

CONSTRUCTED BY:



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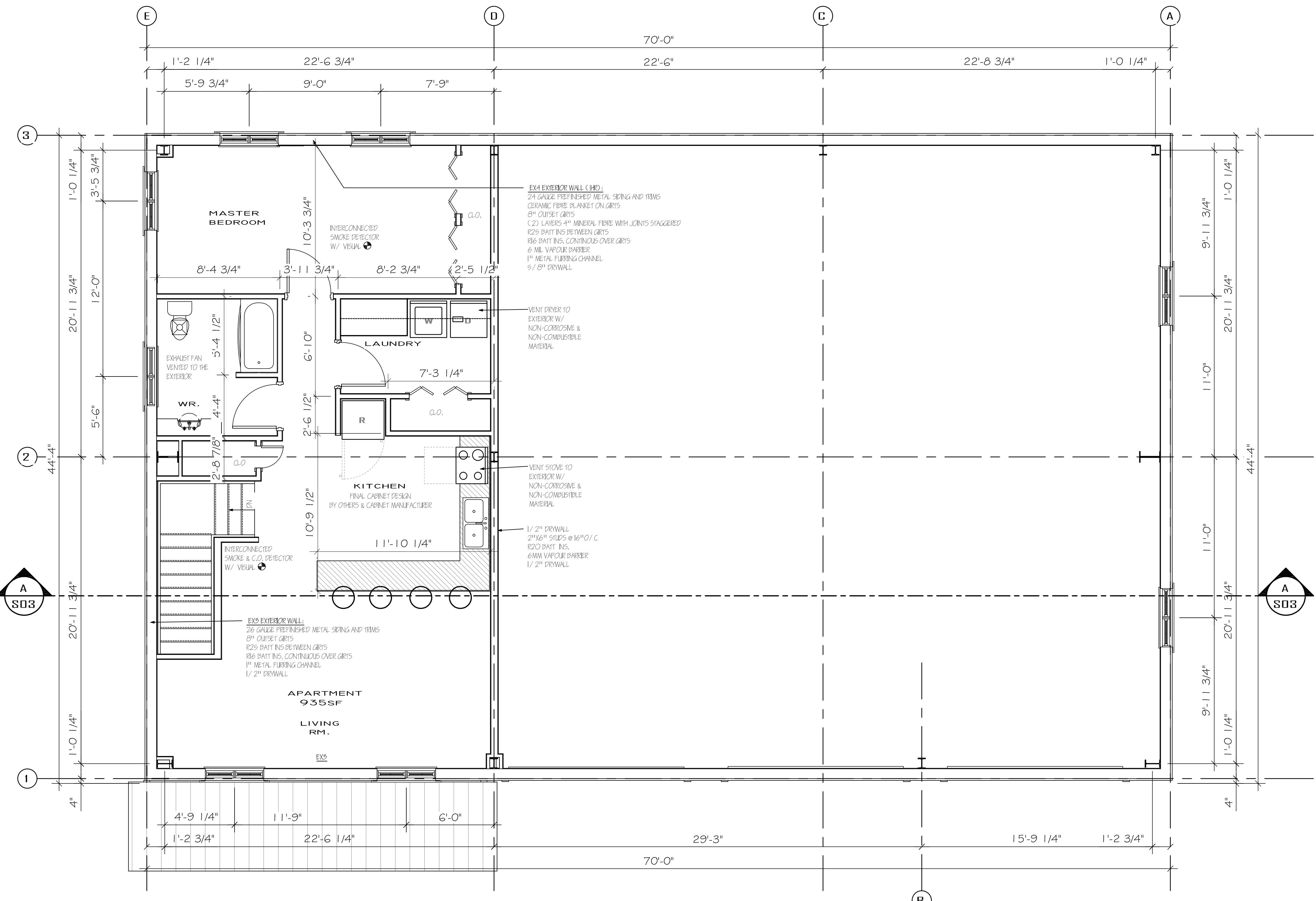
DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOOMINIUM

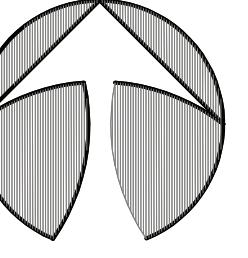
UPPER FLOOR PLAN

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



SCALE:	1/4" = 1'-0"
DATE:	JULY 28, 2022
DRAWING BY:	T. STREATCH
DESIGNED BY:	M. VASANTHA
CHECKED BY:	M. VASANTHA
PROJECT NO:	22-181

S-4



CONSTRUCTION NORTH

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EX3

EX1

APARTMENT

OPEN STORAGE

GROUND FLOOR

UPPER FLOOR
1'-2 1/4"

TOP FLOOR
2'-0"

TO GUTTER

TYPICAL GUTTERS AND RWL

ROOF CONSTRUCTION:
1/2" DRYWALL
2X6 STUDS @ 16" O/C
R22 BATT INS.
6MM VAPOUR BARRIER
5/8" DRYWALL (TAPPED & MUDDED)
(GARAGE SIDE)

1/2" DRYWALL
2X6 STUDS @ 16" O/C
R22 BATT INS.
6MM VAPOUR BARRIER
5/8" TYPE 'X' DRYWALL (TAPPED &
(GARAGE SIDE)

3/4" T&G PLYWOOD SUB-FLOOR
PRE-ENG FLOOR SYSTEM
R31 BATT INS.
6MM VAPOUR BARRIER
5/8" TYPE 'X' DRYWALL (TAPPED &
(GARAGE SIDE)

6" CONCRETE SLAB 25MPA
C/W 6x6x6/6 WWM
ON 6" COMPACTED GRANULAR "A"

E

D

C

B

A

1/2"

TO FOOTING
3'-0"

CROSS SECTION

SCALE: 1/4" = 1'-0"

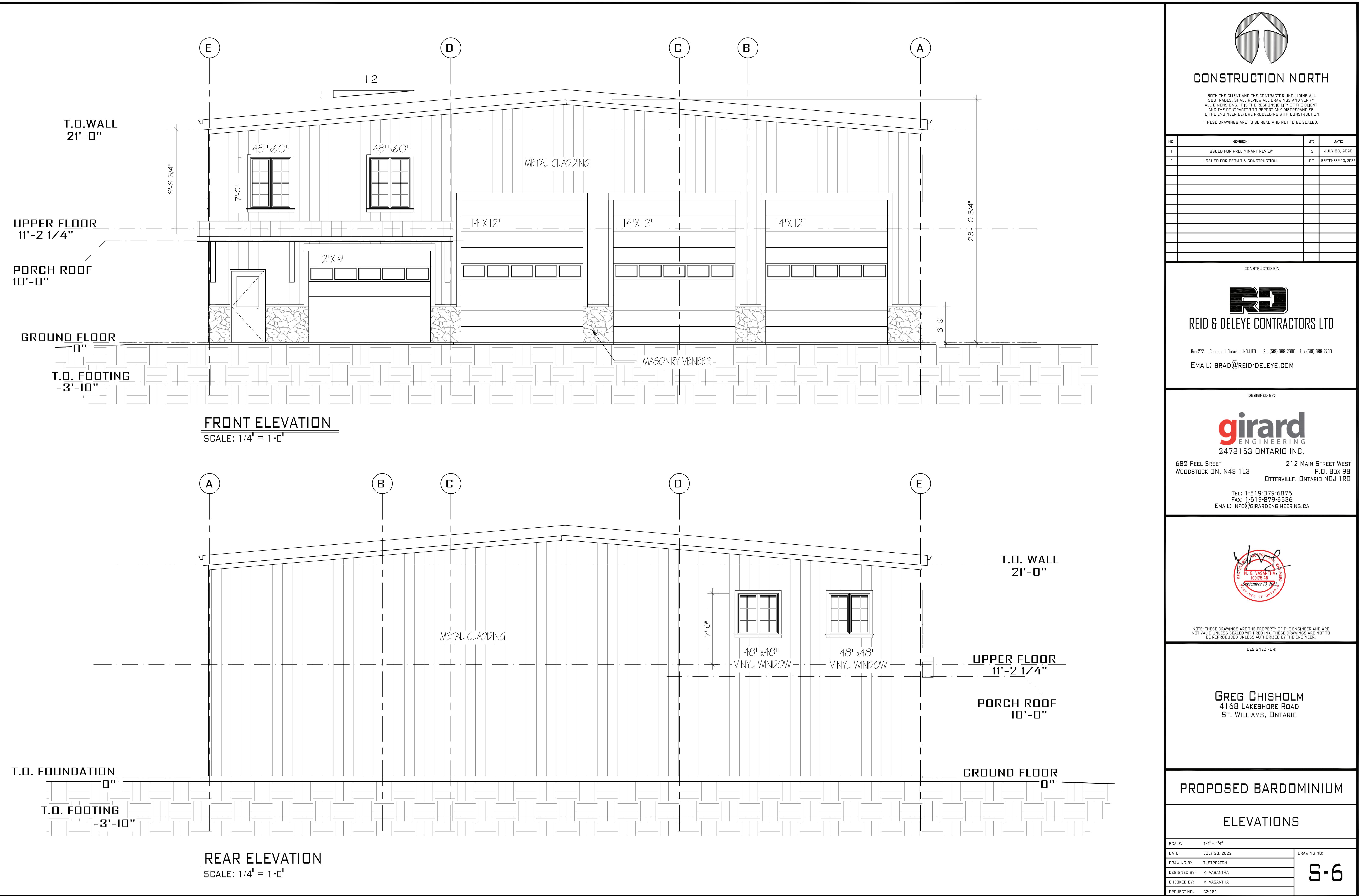
**GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO**

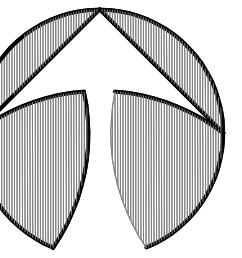
PROPOSED BARDOMINIUM

CROSS SECTION

1/4" = 1'-0"	
JULY 28, 2022	
ING BY:	T. STREATCH
ED BY:	M. VASANTHA
ED BY:	M. VASANTHA
CT NO:	22-181
DRAWING NO: S-5	

S-5





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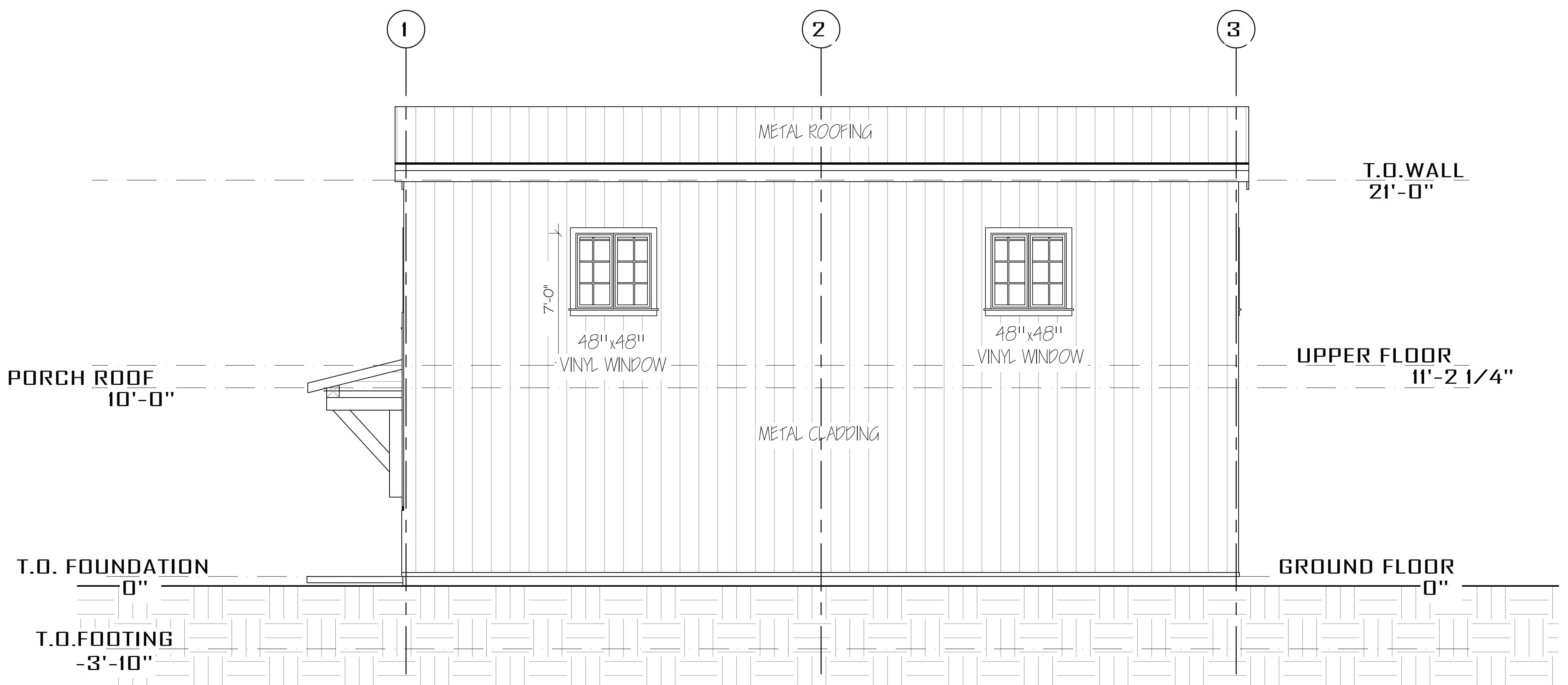
DESIGNED FOR:

REG CHISHOLM
168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

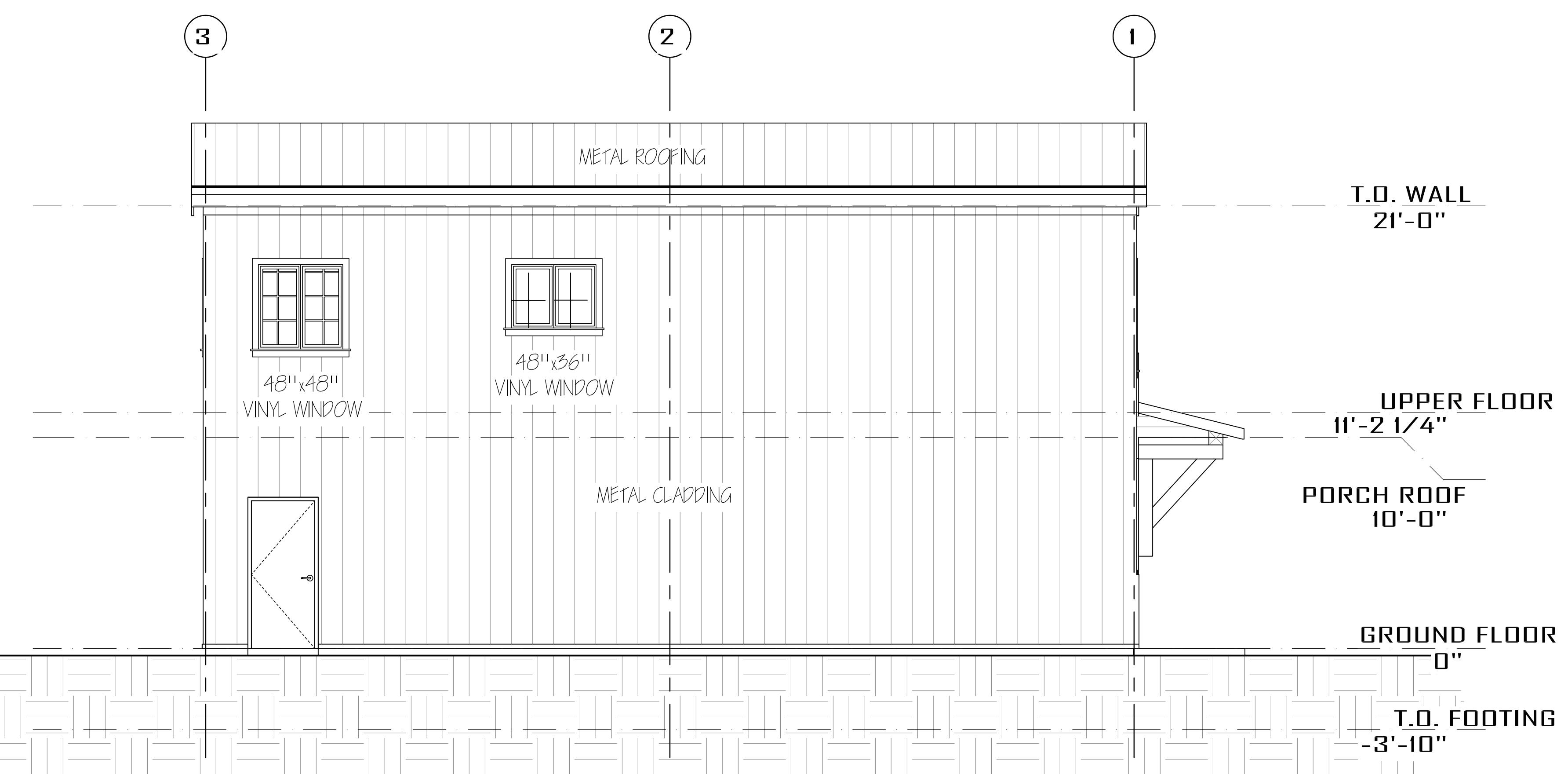
DATE:	1/4" = 1'-0"	DRAWING NO:
AWNING BY:	T. STREATCH	
SIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	00-101	S-7

DRAWING NO.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

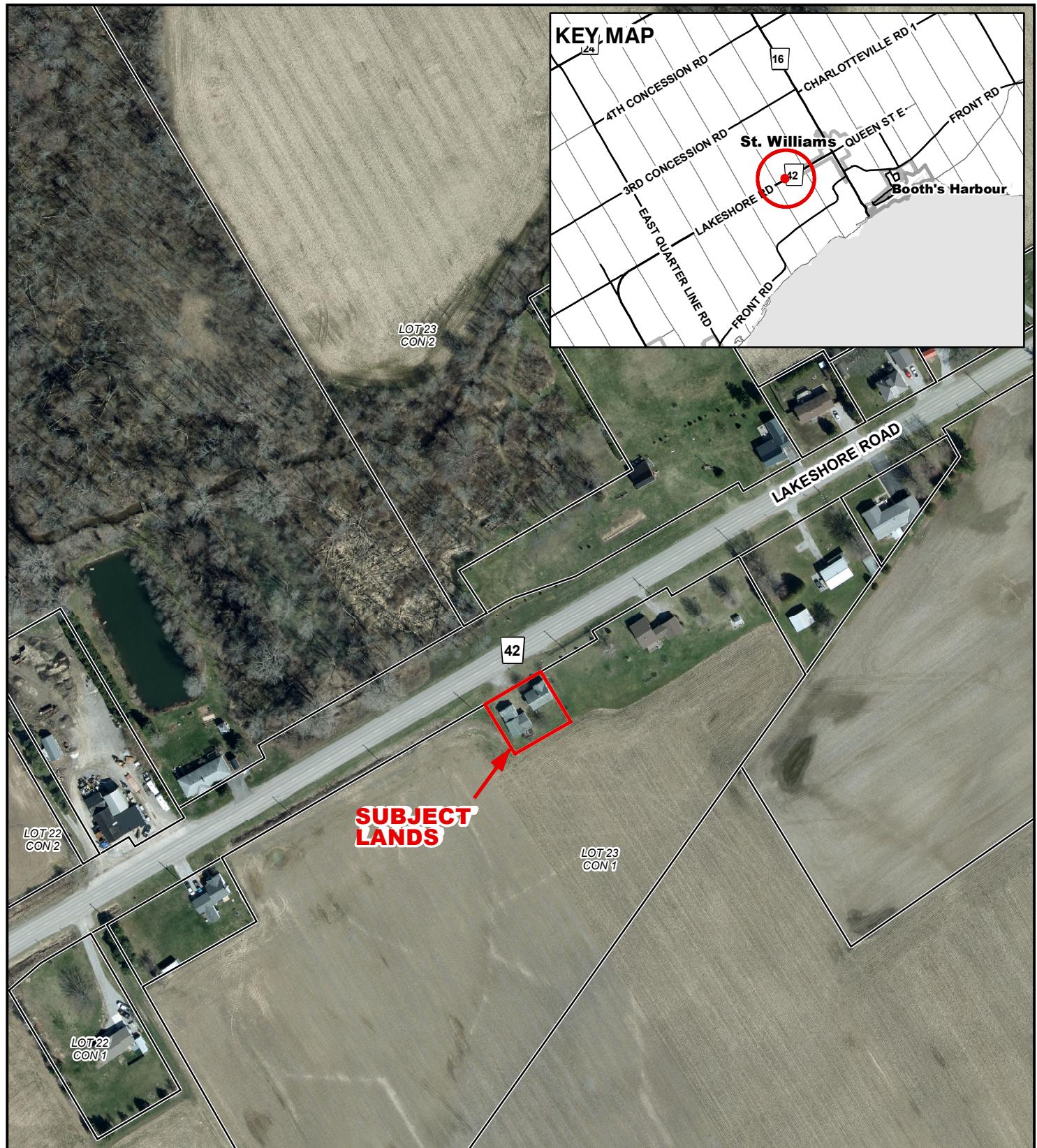


LEFT ELEVATION

SCALE: 1/4" = 1'-0"

CONTEXT MAP

Geographic Township of SOUTH WALSINGHAM



Legend

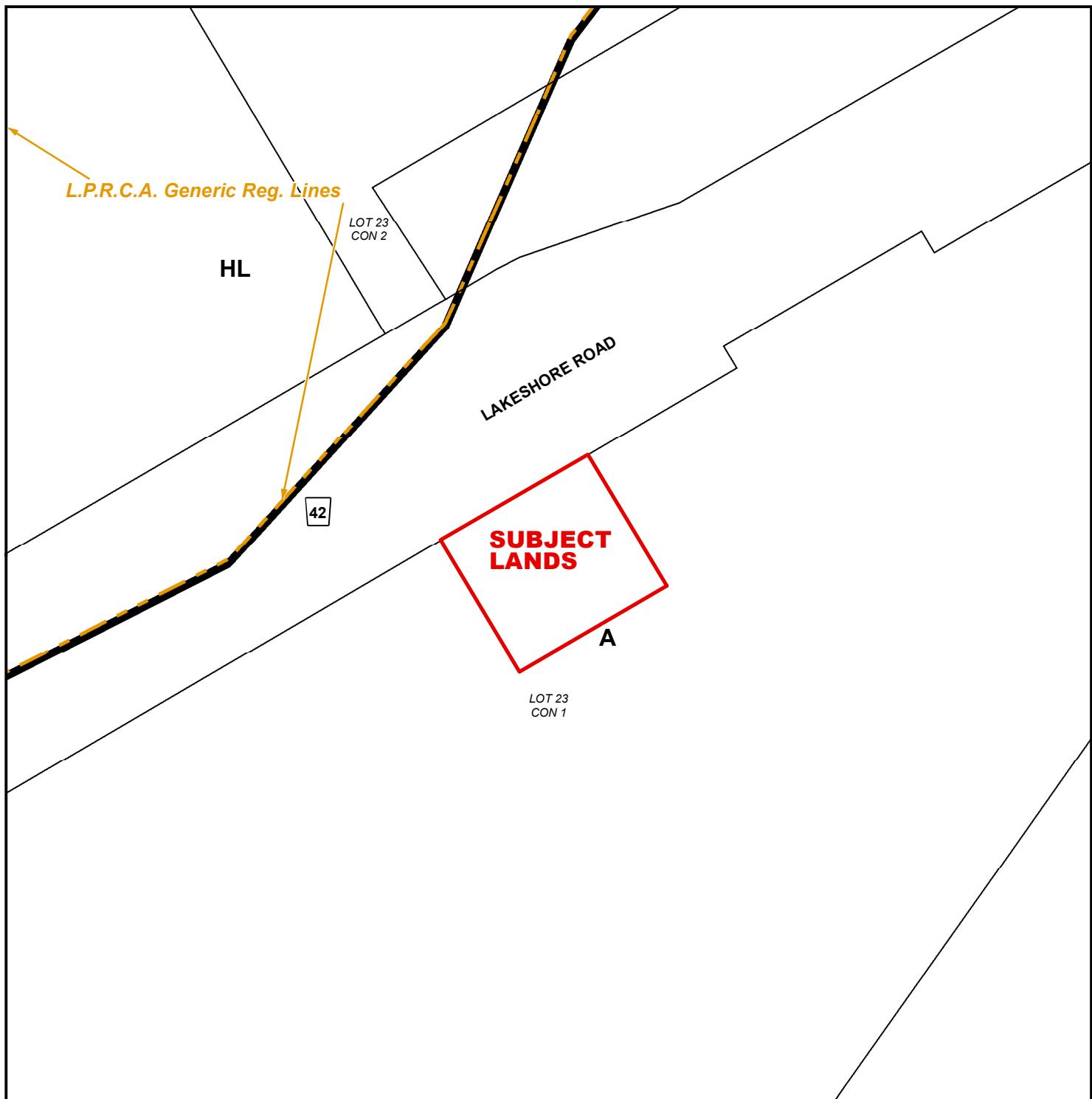
Subject Lands

2020 Air Photo

3/8/2023

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM

**LEGEND**

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

3/8/2023

(H) - Holding

A - Agricultural Zone

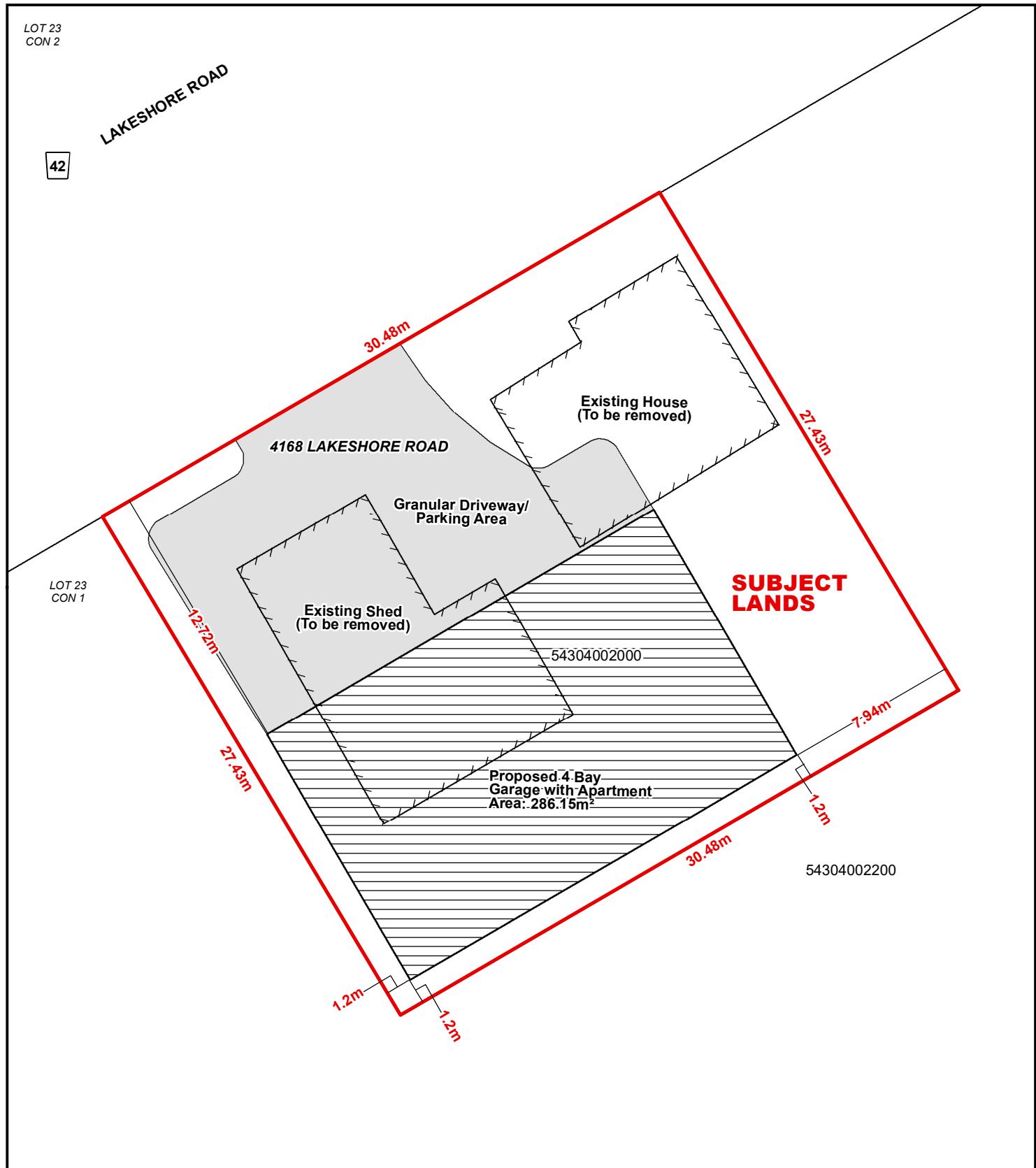
HL - Hazard Land Zone



8 4 0 8 16 24 32 Meters

CONCEPTUAL PLAN

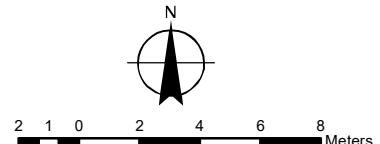
Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

3/8/2023

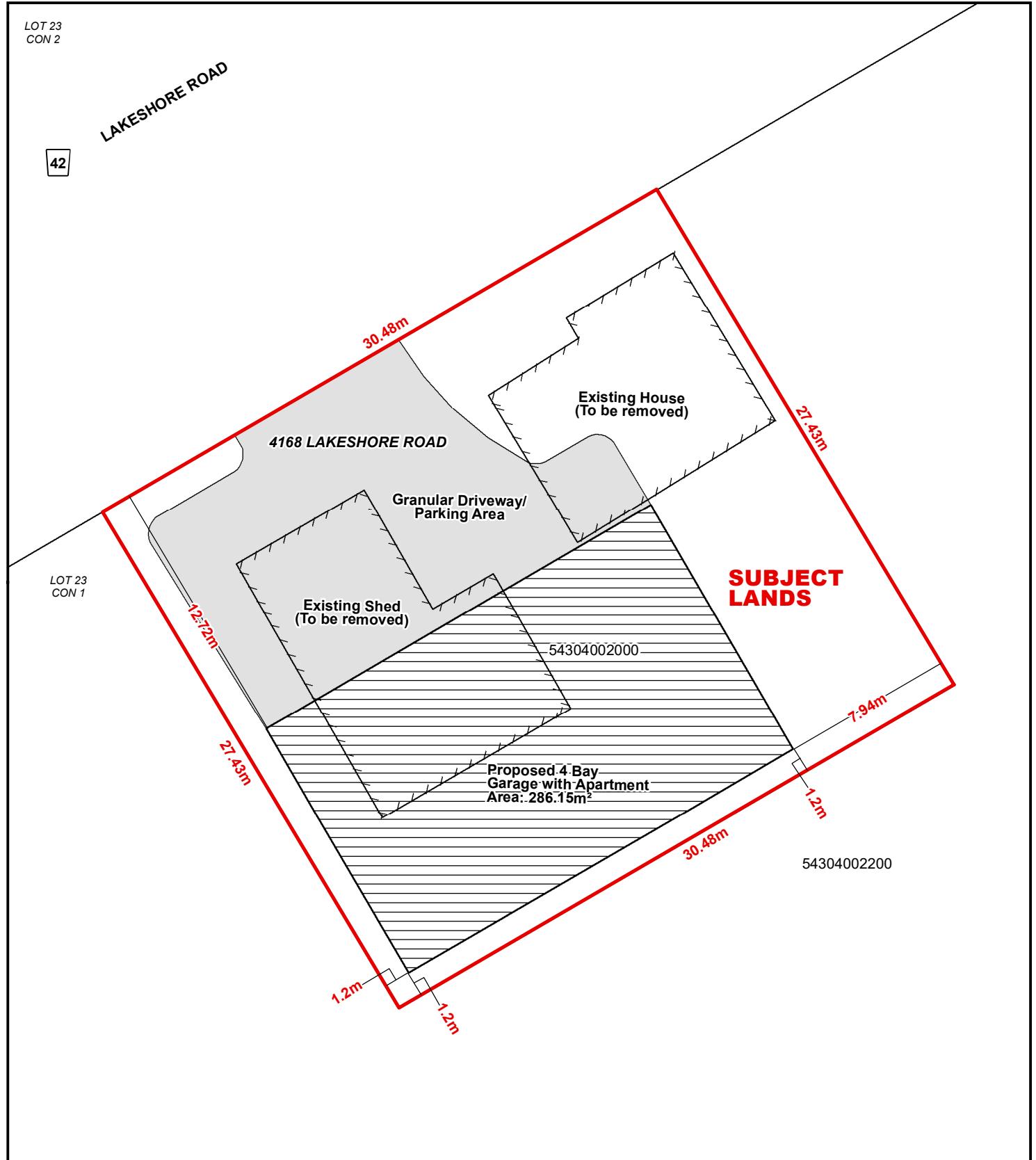


LOCATION OF LANDS AFFECTED

ANPL2023068

CONCEPTUAL PLAN

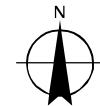
Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

3/8/2023



2 1 0 2 4 6 8 Meters