

For Office Use Only:

File Number	_____	Application Fee	_____
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	_____	Planner	_____
Complete Application	_____	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☐ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: _____**A. Applicant Information****Name of Owner** _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____**Name of Applicant** _____**Address** _____**Town and Postal Code** _____**Phone Number** _____**Cell Number** _____**Email** _____

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address:

Present Official Plan Designation(s):

Present Zoning:

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

+

Jan 24, 2023

Owner/Applicant/Agent Signature

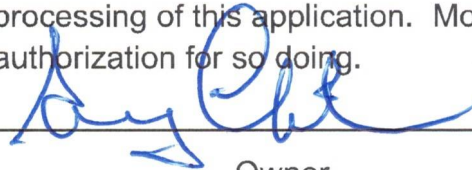
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Greg Chisholm am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bradley Good to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Jan 24, 2023

Date

Owner

Date

***Note:** If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.

K. Declaration

I, Bradley Good of Courtland, ON

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Courtland

+

Owner/Applicant/Agent Signature

In Norfolk County

This 24th day of January

A.D., 2023

Pamela Christine Southwick

A Commissioner, etc.

P. Southwick

Pamela Christine Southwick,
a Commissioner, etc., Province of Ontario,
for Reid & Deleye Contractors Ltd.
Expires August 25, 2023.

OWNERS:

DRAWING LIST:

- S0 - GENERAL NOTES & DETAILS
S1 - FOUNDATION PLAN
S2 - FOUNDATION DETAILS
S3 - MAIN FLOOR PLAN
S4 - UPPER FLOOR PLAN
S5 - CROSS SECTION
S6 - ELEVATIONS
S7 - ELEVATIONS

GENERAL CONSTRUCTION NOTES

- ALL FOOTINGS TO BEAR DIRECTLY ONTO UNDISTURBED SOIL. THE SOIL BEARING CAPACITY HAS BEEN DESIGNED FOR 3000psf. THE SOIL BEARING CAPACITY IS TO BE CONFIRMED ON SITE BY A QUALIFIED SOIL TECHNICIAN PRIOR TO CONSTRUCTION IF UNSUITABLE SOILS ARE FOUND DURING EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION. THE ENGINEER DOES NOT TAKE RESPONSIBILITY FOR TEMPORARY BRACING DURING CONSTRUCTION.
- NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 - A. EXCAVATION - PRIOR TO POURING FOOTINGS
 - B. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - C. ROUGH FRAMING - PRIOR TO CLOSE-IN.
 - D. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN.
 - E. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN.
 - F. FINAL INSPECTION FOR CERTIFICATION, TO BE COMPLETED WITH CONTRACTOR & OWNER.
- THE CONTRACTOR / OWNER ARE RESPONSIBLE FOR NOTIFYING THE GOVERNING MUNICIPALITIES FOR ALL REQUIRED INSPECTIONS.

2012 ONTARIO BUILDING CODE MATRIX - PARTS 3 & 9

PROJECT DESCRIPTION:	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION		<input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE		<input type="checkbox"/> PART 11 <input type="checkbox"/> PART 10	<input type="checkbox"/> PART 3 (DIVISION) 1.1.2.(A) 1.1.2.(A) / 9.10.1.3.(B)	<input checked="" type="checkbox"/> PART 9 (DIVISION) 1.1.2.(A) / 9.10.1.3.(B)			
MAJOR OCCUPANCY(S):	<input checked="" type="checkbox"/> GROUP C - RESIDENTIAL					3.1.2.1.(1)(B)	9.10.2.(B)			
BUILDING AREA (m ²):	EXISTING: 0.00 NEW: 288.31 TOTAL: 288.31					1.4.1.2.(A)	1.4.1.2.(A)			
GROSS AREA (m ²):	EXISTING: 0.00 NEW: 387.16 TOTAL: 387.16					1.4.1.2.(A)	1.4.1.2.(A)			
MEZZANINE AREA (m ²):	EXISTING: 0.00 NEW: 0.00 TOTAL: 0.00					3.2.1.1.(B)	9.10.4.1.(B)			
NUMBER OF STOREYS:	ABOVE GRADE: 2 BELOW GRADE: 0					1.4.1.2.(A) / 3.2.1.1.(B)	1.4.1.2.(A) / 9.10.4.(B)			
NUMBER OF STREETS (FIRE ROUTES):	1					3.2.2.10.(B) / 3.2.5.(B)	9.10.20.(B)			
BUILDING CLASSIFICATION:	<input checked="" type="checkbox"/> GROUP C - RESIDENTIAL					3.2.2.20.-83.(B)	9.10.2.(B)			
SPRINKLERED BUILDING:	<input checked="" type="checkbox"/> NOT PROVIDED / REQUIRED <input type="checkbox"/> PROVIDED VOLUNTARILY <input type="checkbox"/> ENTIRE REQUIRED <input type="checkbox"/> AREA(S) REQUIRED		<input type="checkbox"/> ROOF ONLY <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> LIEU OF RATING/COMPARTMENT(S) <input type="checkbox"/> LIEU OF NON-COMBUSTIBLE(S)			3.2.2.20.-83.(B)	9.10.8.2.(B)			
STANDPIPE REQUIRED:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> NO			3.2.9.(B)				
FIRE ALARM REQUIRED:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> NO			3.2.4.(B)	9.10.18.(B)			
ADEQUATE FIRE FIGHTING WATER SUPPLY:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> NO			3.2.5.7.(B)				
HIGH BUILDING:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> NO			3.2.6.(B)				
PERMITTED CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH <input checked="" type="checkbox"/> BOTH			3.2.2.20.-83.(B)	9.10.6.(B)			
ACTUAL CONSTRUCTION:	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE		<input type="checkbox"/> BOTH <input checked="" type="checkbox"/> BOTH			3.2.2.20.-83.(B)	9.10.6.(B)			
OCCUPANT LOAD BASED ON:	<input type="checkbox"/> POSTED LOAD <input checked="" type="checkbox"/> DESIGN LOAD					3.1.1.7.(B)	9.9.1.3.(B)			
BASEMENT:										
1 st FLOOR:										
2 nd FLOOR:										
3 rd FLOOR:										
2 PERSONS PER BEDROOM = 2 PERSONS TOTAL										
BARRIER FREE DESIGN:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input checked="" type="checkbox"/> NO <input type="checkbox"/> NO			3.8.(B)	9.5.2.(B)			
SPECIAL PROTECTION:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input checked="" type="checkbox"/> NO <input type="checkbox"/> NO			3.1.2.1.(B) / 3.3.1.19.(B)	9.10.1.3.(B)			
FIRE RESISTANCE RATING:	HOURS		LISTED DESIGN NO. OR DESCRIPTION (ISO-2)			3.2.2.20.-83.(B)	9.10.8.(B)			
						3.2.1.4.(B)	9.10.9.(B)			
FLOOR ASSEMBLIES:	N/A		N/A							
ROOF ASSEMBLIES:	N/A		N/A							
MEZZANINE ASSEMBLIES:	N/A		N/A							
FLOOR STRUCTURAL MEMBERS:	N/A		N/A							
ROOF STRUCTURAL MEMBERS:	N/A		N/A							
MEZZANINE STRUCTURAL MEMBERS:	N/A		N/A							
SPATIAL SEPARATION: CONSTRUCTION OF EXTERIOR WALLS - OF NEW CONSTRUCTION ONLY										
WALL (PROPOSED BUILDING)	AREA OF EBF (m ²)	L.D. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	F.R.R. (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLADDING	NON-COMB. CONST.
NORTH	146.40	12.72	3:1 TO 10:1	55.00	42.78					
WEST	86.02	1.20	3:1 TO 10:1	7.00	3.45	1HR	ULC W605 / ULC X524			X
SOUTH	146.40	1.20	3:1 TO 10:1	7.00	2.03	1HR	ULC W605 / ULC X524			X
EAST	86.02	7.94	3:1 TO 10:1	67.47	5.29					

APPROVED BY:



NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT VALID UNLESS SEALED WITH RED INK. THESE DRAWINGS ARE NOT TO BE REPRODUCED UNLESS AUTHORIZED BY THE ENGINEER.

ISSUED FOR:

PERMIT & CONSTRUCTION
SEPTEMBER 13, 2022

GREG CHISHOLM

4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

DESIGNED BY:

girard
ENGINEERING
2478153 ONTARIO INC.

682 PEEL STREET
WOODSTOCK ON, N4S 1L3

212 MAIN STREET WEST
P.O. BOX 98
OTTERVILLE, ONTARIO N0J 1R0

TEL: 1-519-879-6875
FAX: 1-519-879-6536
EMAIL: INFO@GIRARDENGINEERING.CA

MUNICIPALITY:

NORFOLK COUNTY
22 ALBERT STREET
LANGTON, ONTARIO N0E 1G0
PHONE: 519-875-4485

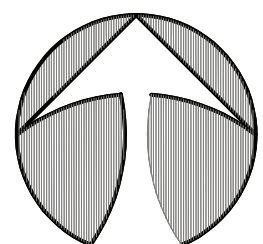
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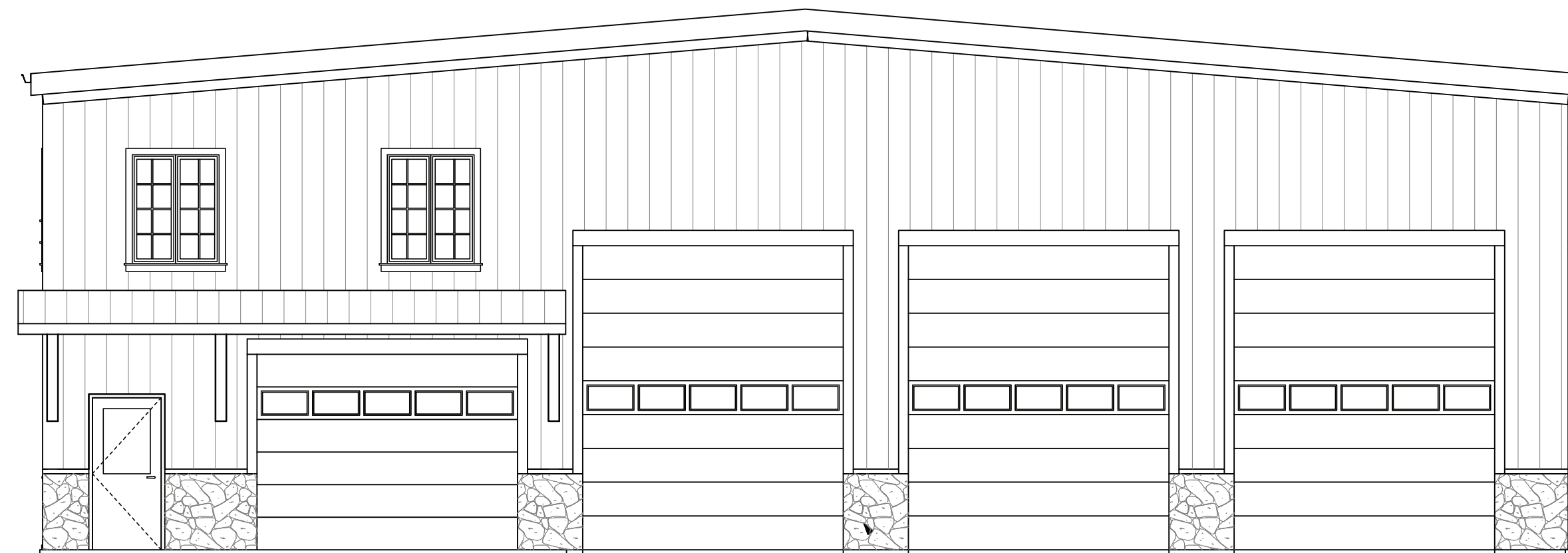
REID & DELEY CONTRACTORS LTD

Box 272 Courtland, Ontario N0J 1E0 Ph: (519) 688-2800 Fax: (519) 688-2700

EMAIL: BRAD@REID-DELEY.COM

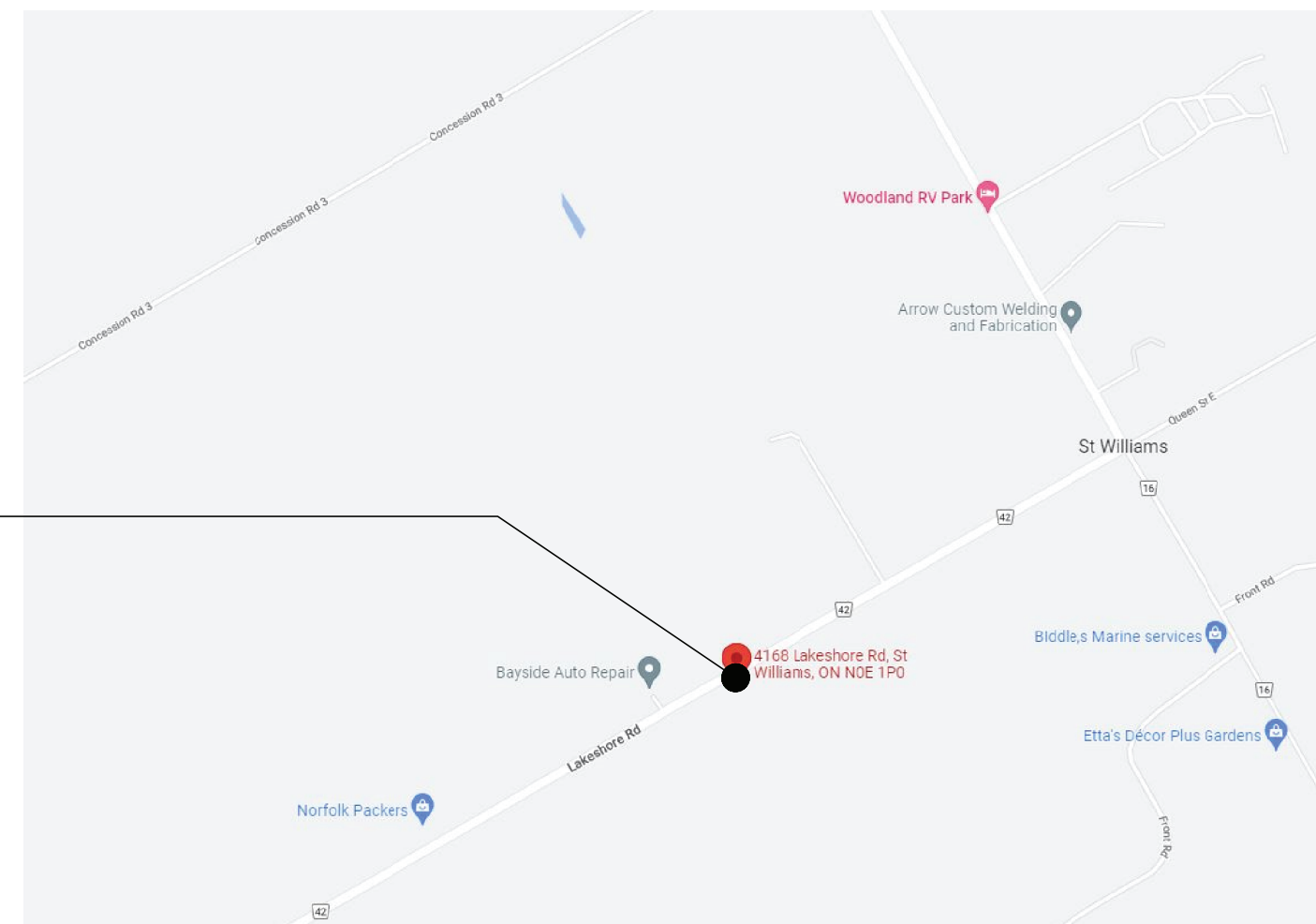


ACTUAL NORTH

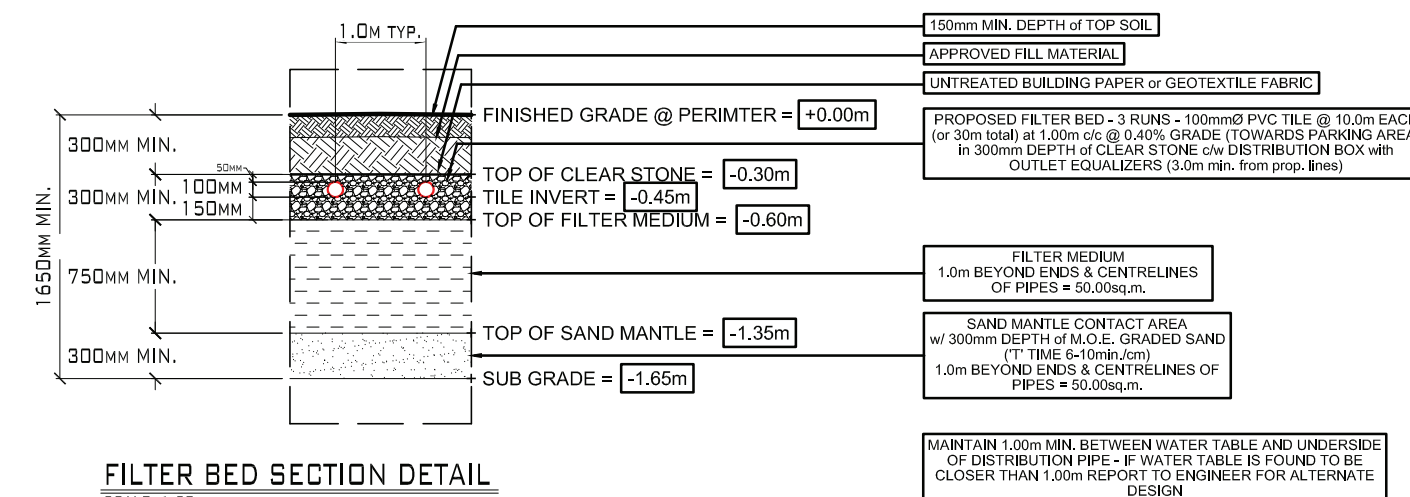


BUILDING ELEVATION

SITE LOCATION ON MAP



MAP



DESIGN LOADS: - ST. WILLIAMS, ONTARIO

GROUND SNOW LOAD	Ss 1.30kPa (27.15psf), Sr 0.40kPa (8.35psf)
ROOF DEAD LOAD	0.72kPa (15.04psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING + MECHANICAL/ELECTRICAL ALLOWANCE
WIND LOADS	1/50 - 0.45kPa (9.40psf), 1/10 FOR DEFLECTION - 0.35kPa (7.31psf)

GENERAL NOTES:

- THESE GENERAL NOTES SHALL BE READ IN CONJUNCTION WITH THE LATEST REVISION OF DESIGN DRAWINGS AND SPECIFICATIONS PREPARED BY ALL ENGINEERING AND ARCHITECTURAL DISCIPLINES.
- ALL WORK INCLUDING DESIGN, DETAILING, SHOP DRAWINGS, CONSTRUCTION, AND SHORING SHALL CONFORM TO THE LATEST EDITIONS OF THE ONTARIO BUILDING CODE, OCCUPATIONAL HEALTH AND SAFETY ACT, AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES ON THESE DRAWINGS TO THE ENGINEER AND/OR ARCHITECT PRIOR TO CONSTRUCTION.
- ALL STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS.
- OPERATIONS OF THE EXISTING FACILITY ARE NOT TO BE INTERRUPTED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR LOSS CAUSED BY CONSTRUCTION OPERATIONS.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO).
- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING STRUCTURES PRIOR TO THE COMMENCEMENT OF WORK.

ENGINEERS GENERAL NOTES:

MINIMUM CONCRETE STRENGTH (28 DAY) - 25 MPA (3750 psf)
W/ 6% AIR ENTRAINMENT

MINIMUM STEEL STRENGTH - 400 MPA (60 ksi)

MINIMUM SOIL BEARING CAPACITY REQUIRED - 2500 psf (TO BE CONFIRMED BY A SOILS CONSULTANT)

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL STRUCTURAL ELEMENTS NOT OBTAINABLE THROUGH O.B.C. CHARTS TO BE ENGINEER APPROVED (STRUCTURAL ENGINEER TO REVIEW, CALCULATE LOADS AND SIZES, STAMP, AND APPROVE).
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL. ALL EXISTING FOUNDATION WALL FOOTINGS TO EXTEND DOWN BELOW LOCAL FROST LEVELS (48" MINIMUM BELOW FINISHED GRADE).
- REFER TO PLANS, CROSS SECTIONS, AND DETAILS FOR ALL TYPICAL CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MINIMUM REBAR COVERAGE.

ENGINEERING NOTES:

- NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE FOR THE FOLLOWING INSPECTIONS:
 - A. EXCAVATION - PRIOR TO POURING FOOTINGS
 - B. FLOOR - DURING POUR TO VERIFY CONCRETE & THICKNESS
 - C. ALL CONCRETE POURS IN WHICH REINFORCING STEEL IS SPECIFIED.
 - D. ROUGH FRAMING - PRIOR TO CLOSE-IN
 - E. TRUSS FRAMING AND BRACING - PRIOR TO CLOSE-IN
 - F. ERECTION OF STRUCTURAL STEEL & WELDING - PRIOR TO CLOSE-IN
 - G. FINAL INSPECTION FOR CERTIFICATION - TO BE COMPLETED WITH BOTH OWNER & CONTRACTOR PRESENT.
- CONTRACTOR OR OWNER TO COMPLETE AND SUBMIT COPIES OF ALL CONCRETE TESTS AS PER C.S.A. A23.1 - ONE TEST REQUIRED PER 100M³ MINIMUM.
- CONTRACTOR OR OWNER TO SUBMIT TRUSS DRAWINGS FOR REVIEW.
- CONTRACTOR OR OWNER TO SUBMIT SHOP DRAWINGS OF ALL PRECAST AND / OR PRE-ENGINEERED ELEMENTS FOR REVIEW.
- CONTRACTOR OR OWNER TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- THE DESIGN ON THESE DRAWINGS IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE USED OR COPIED WITHOUT CONSENT IN WRITING.
- CHANGES OR SUBSTITUTIONS ARE NOT TO BE MADE WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

INSTALL LATERAL TRUSS BRACING AS PER TRUSS DRAWINGS.

CROSS BRACE WEB LATERAL BRACING AS FOLLOWS:

- SINGLE BRACE - EVERY 75'
- DOUBLE BRACE - EVERY 50'
- TRIPLE BRACE - EVERY 20'

TEMPORARY ERECTION BRACING TO BE DESIGNED, CERTIFIED, AND INSPECTED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF TEMPORARY BRACING DURING CONSTRUCTION.

SOIL & FOUNDATION NOTES:

- ALLOWABLE SOIL BEARING CAPACITY FOR THIS PROJECT HAS BEEN ASSUMED AT 2500 psf (120 kPa).
- THE CONTRACTOR SHALL REPORT ANY UNSTABLE SOIL CONDITIONS TO THE ENGINEER. FOOTINGS SHALL NOT BE POURED UNTIL THE EXCAVATION HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR SOIL CONSULTANT.
- THE DIRECTION OF THE SOIL CONSULTANT SHALL BE STRICTLY FOLLOWED.
- ALL EXISTING FOOTINGS SHALL BE POURED ON UNDISTURBED NATIVE SOIL (OR APPROVED ENGINEERED FILL) AT A MINIMUM DEPTH OF 4'-0" (1.20m) BELOW FINISHED GRADE AND AT THE GRADES SHOWN ON THE DRAWINGS.
- EXCAVATIONS SHALL CONFORM TO THE LATEST EDITIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND THE MINISTRY OF LABOUR REGULATIONS FOR CONSTRUCTION PROJECTS.
- WALLS TO BE BACKFILLED ON BOTH SIDES SHALL BE BACKFILLED EVENLY UNLESS SHORED ON ONE SIDE TO THE SATISFACTION OF THE ENGINEER. PIT WALLS SHALL NOT BE BACKFILLED UNLESS BRACED AT THE TOP TO THE SATISFACTION OF THE ENGINEER. BACKFILL SHALL BE APPROVED MATERIAL COMPACTED TO 95% S.P.D. UNLESS OTHERWISE NOTED.
- INSTALLATION DETAILS FOR WATERSTOPS AT WALL/FOOTING INTERFACE AND IN VERTICAL JOINTS SHALL BE PROVIDED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- WALLS AND PIERS SHALL BE CENTRED ON FOOTINGS WITHIN THE MIDDLE THIRD OF THE FOOTING.

CONCRETE AND REINFORCED CONCRETE NOTES:

- ALL CONCRETE SHALL CONFORM TO CAN/CSA-A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" WITH A MAXIMUM AGGREGATE SIZE OF 3/4" (19mm), TYPE 10 NORMAL PORTLAND CEMENT (UNLESS OTHERWISE NOTED), AND A COMPRESSIVE STRENGTH AT 28 DAYS.
- SUPPLY AND PLACE CONCRETE AS FOLLOWS:
 - FOOTINGS - 25 MPA, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1%
 - FOUNDATION WALLS - 25 MPA, MAX. W/C RATIO OF 0.50, AIR CONTENT 6% ± 1%
 - PIERS - 30 MPA, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
 - SLABS ON GRADE - 25 MPA, MAX. W/C RATIO OF 0.50, NO AIR CONTENT REQUIRED
 - PIT WALLS & FLOORS (SUBJECT TO ACID ATTACK) - 32 MPA TYPE 30 CEMENT (OR EQUIVALENT), MAX. W/C RATIO OF 0.40, AIR CONTENT 6% ± 1%
 - SIDEWALKS, EXPOSED CURBS, AND OTHER CONCRETE - 32 MPA, MAX. W/C RATIO OF 0.45, AIR CONTENT 6% ± 1%
- ALL REINFORCEMENT SHALL CONFORM TO CSA G30.3, G30.5 & G30.18 (LATEST EDITION) WITH A YIELD STRENGTH OF 400 MPA FOR DEFORMED BARS OR 360 MPA FOR WELDED WIRE MESH.
- MINIMUM CORNER REINFORCING SHALL BE 24X24" (600mmX600mm) 1" BARS.
- MINIMUM COVER ON REINFORCING FOR FORMED CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE 2" (50mm) FOR 20M OR LARGER BARS, 1 1/2" (38mm) FOR 15M OR SMALLER BARS, 3" (75mm) FOR REINFORCING IN FOOTINGS AND UNFORMED CONCRETE AGAINST EARTH, 1" (25mm) FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER, 1 1/2" (38mm) FOR REINFORCING IN BEAMS, AND 2" (50mm) FOR MAIN PIER STEEL.
- CONDUITS OR PIPES IN SLABS SHALL NOT EXCEED 1/3 OF THE SLAB THICKNESS IN DIAMETER AND SHALL HAVE A MINIMUM COVER OF 1" (25mm).
- CONTROL JOINTS SHALL BE INSTALLED AS SHOWN OR AS NOTED ON DRAWINGS WITH A MAXIMUM SPACING OF 30'-0" (9.00m) IN WALLS; MAXIMUM SLAB POUR LENGTH OF 100'-0" (30.00m). ALL SAW CUTS SHALL BE A MINIMUM OF 1/3 OF THE SLAB DEPTH AND SHALL BE CUT WITHIN 24 HOURS OF THE POUR.

STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16-G1 'LIMIT STATES DESIGN OF STEEL STRUCTURES' AND SUPPLEMENT S16S1-05.
- STEEL BEAMS AND COLUMNS SHALL CONFORM TO CAN/CSA-G40.21-04 'QUALITY STRUCTURAL STEEL' WITH A YIELD STRENGTH OF 267 MPA (40000 psf) FOR BEAMS AND WIDE FLANGE COLUMNS, AND 333 MPA (50000 psf) FOR H.S.S. SECTIONS.
- BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM A325. BOLTS AND THREADED ROD FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307.
- WELDING SHALL BE PERFORMED BY PERSONS CERTIFIED BY THE CANADIAN WELDING BUREAU IN CONFORMANCE WITH THE LATEST CSA STANDARD FOR WELDING - CLAUSE 24.3 OF S16-G1.
- SHOP DRAWINGS FOR ALL FABRICATED STEEL MEMBERS SHALL BE STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO) AND SUBMITTED TO THE ENGINEER PRIOR TO CONSTRUCTION.

WOOD NOTES:

- STRUCTURAL WOOD ELEMENTS SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CAN/CSA OBC-G1 'ENGINEERING DESIGN IN WOOD' AND THE WOOD DESIGN MANUAL (CANADIAN WOOD COUNCIL) LATEST EDITIONS.
- WOOD TRUSSES SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER (PROVINCE OF ONTARIO). THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- WOOD STUDS, JOISTS, NAILERS, BLOCKING, BUILT-UP BEAMS, AND COLUMNS SHALL BE S.P.F. NO. 2 (CONSTRUCTION GRADE) OR BETTER - CONFORMING TO CAN/CSA-O41-G1 'SOFT WOOD LUMBER'. GRADING SHALL CONFORM TO THE NATIONAL LUMBER GRADES AUTHORITY 'STANDARD GRADING RULES FOR CANADIAN LUMBER'. WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2006 - SECTION 9.2.3.
- PLYWOOD SHEATHING SHALL CONFORM TO CSA STANDARD D121-M1978 'DOUGLAS FIR PLYWOOD' AND D151-M1978 'CANADIAN SOFT WOOD PLYWOOD'.
- WAFFERBOARD AND O.S.B. SHALL CONFORM TO CSA STANDARD CAN2-D437.1-M85 'WAFFERBOARD AND STRANDBOARD'.
- FASTENING DEVICES (NAILS) SHALL CONFORM TO CSA STANDARD B111-1974 'WIRE NAILS, SPIKES, AND STAPLES'.
- TRUSS TIE DOWNS, JOIST HANGERS, ETC. SHALL CONFORM TO 'ACCEPTANCE CRITERIA FOR JOIST HANGERS AND SIMILAR DEVICES' (THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS) AND SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL.

MASONRY NOTES:

- MASONRY MEMBERS OF PLAIN & REINFORCED MASONRY SHALL CONFORM TO CSA - S304.1 - DESIGN OF MASONRY STRUCTURES.
- MASONRY UNITS SHALL COMPLY WITH CSA A165.1 CONCRETE BLOCK MASONRY UNITS.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE BLOCKS OVER NET AREA:
 - SOLID OR HOLLOW CORE EXPOSED TO WEATHER - 15 MPA
 - NOT EXPOSED - 10 MPA
- MORTAR - EXTERIOR ABOVE GROUND (LOAD BEARING) - TYPE S / (NON LOAD BEARING) - TYPE S OR N
- INTERIOR ABOVE GROUND (LOAD BEARING) / (NON LOAD BEARING) - TYPE N
MIX PROPORTIONS TO CONFORM TO O.B.C. TABLE 9.20.5.2.5
- JOINTS - 3/8" (10mm) THICKNESS.
- SUPPORT - MASONRY UNITS SHALL BE SUPPORTED ON CONCRETE, MASONRY, OR STEEL.
- LINTELS:

BLOCK SIZE:	SPAN:	LINTEL SIZE:
4" BLOCK NON LOAD BEARING (SUPPORTING MASONRY OVER OPENING ONLY)	3'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmX125mmX6mm STEEL ANGLES)
	4'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmX125mmX6mm STEEL ANGLES)
	5'-0" SPAN	3"x5"x5/16" STEEL ANGLES (76mmX125mmX6mm STEEL ANGLES)
	6'-0" SPAN	3"x5"x3/8" STEEL ANGLES (76mmX125mmX10mm STEEL ANGLES)
4" BLOCK LOAD BEARING	3'-0" SPAN	3"x5"x1/4" STEEL ANGLES (76mmX125mmX6mm STEEL ANGLES)
	4'-0" SPAN	3"x5"x5/16" STEEL ANGLES (76mmX125mmX6mm STEEL ANGLES)
	5'-0" SPAN	3"x5"x3/8" STEEL ANGLES (76mmX125mmX10mm STEEL ANGLES)
	6'-0" SPAN	3 1/2"x6"x3/8" STEEL ANGLES (90mmX150mmX10mm STEEL ANGLES)
6" BLOCK NON LOAD BEARING (SUPPORTING MASONRY OVER OPENING ONLY)	3'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	4'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	5'-0" SPAN	(2) 2 1/2"x3 1/2"x5/16" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	6'-0" SPAN	(2) 2 1/2"x5"x5/16" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
6" BLOCK LOAD BEARING	3'-0" SPAN	(2) 2 1/2"x3 1/2"x1/4" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	4'-0" SPAN	(2) 2 1/2"x3 1/2"x5/16" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	5'-0" SPAN	(2) 2 1/2"x5"x5/16" STEEL ANGLES (12) 63.5mmX90mmX6mm STEEL ANGLES)
	6'-0" SPAN	(2) 2 1/2"x5"x3/8" STEEL ANGLES (12) 63.5mmX90mmX10mm STEEL ANGLES)

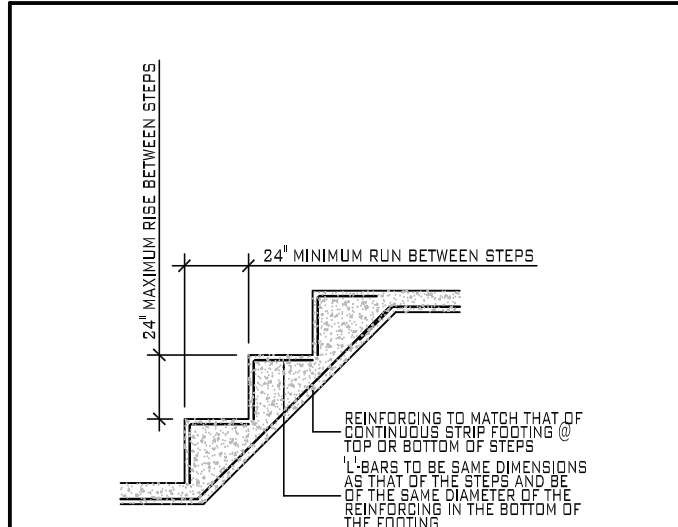
- MINIMUM BEARING FOR LINTELS - 6" (150mm)
- HORIZONTAL REINFORCING - LADDER TYPE - 9mm (BOLD<LOK BL10 OR EQUIVALENT) EVERY 3 COURSES.

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-1.2:

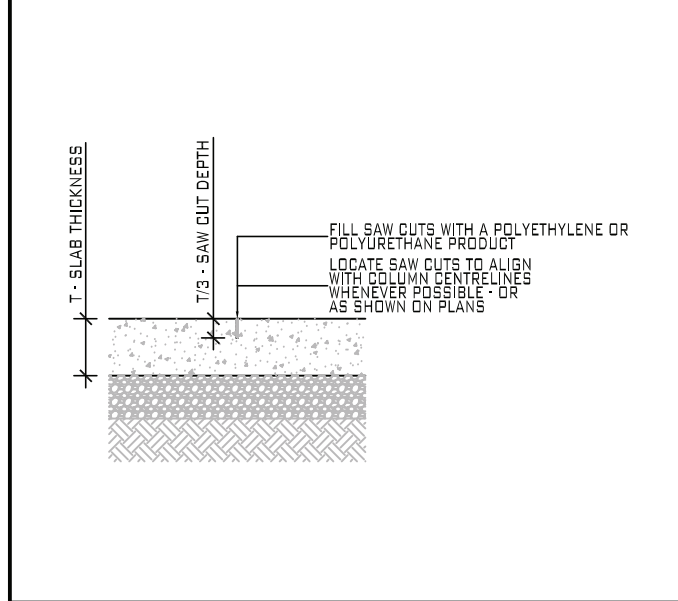
GROSS WALL AREA - 2069.74 SQ. FT. (192.29M²)
GROSS WINDOW, GLASS AREA ETC. - 152.80 SQ. FT. (14.12M²)
RATIO - 7.34%

- EXCEPT AS PERMITTED IN SENTENCES 3.1.1.11 (3) WHERE THE RATIO OF THE GROSS AREA OF WINDOWS, SIDELIGHTS, SKYLIGHTS GLAZING IN DOOR AND SLIDING GLASS DOORS TO BE THE GROSS AREA OF PERIPHERAL WALLS MEASURED FROM GRADE TO THE TOP OF THE UPPER MOST CEILING LINE IS NOT MORE THAN 22% THE BUILDING SHALL COMPLY WITH A COMPLIANCE PACKAGE SELECTED FROM TABLES 3.1.1.2A TO 3.1.1.2C, TABLES 3.1.1.3A TO 3.1.1.3C AND TABLE 3.1.1.1 AND THE OVERALL COEFFICIENT OF HEAT TRANSFER OF THE PENETRATION SHALL BE UPGRADED TO:
 - (A) 1.6 WHERE 1.8 IS REQUIRED BY THE SELECTED COMPLIANCE PACKAGE OR PERMITTED BY ARTICLE 3.1.1.4.
 - (B) 1.4 WHERE 1.6 IS REQUIRED BY THE SELECTED COMPLIANCE PACKAGE OR PERMITTED BY ARTICLE 3.1.1.4.
 - (C) 1.2 WHERE 1.4 IS REQUIRED BY THE SELECTED COMPLIANCE PACKAGE OR PERMITTED BY ARTICLE 3.1.1.4, AND
 - (D) 1.0 WHERE 1.2 IS REQUIRED BY THE SELECTED COMPLIANCE PACKAGE OR PERMITTED BY ARTICLE 3.1.1.4, AND (SEE APPENDIX A)

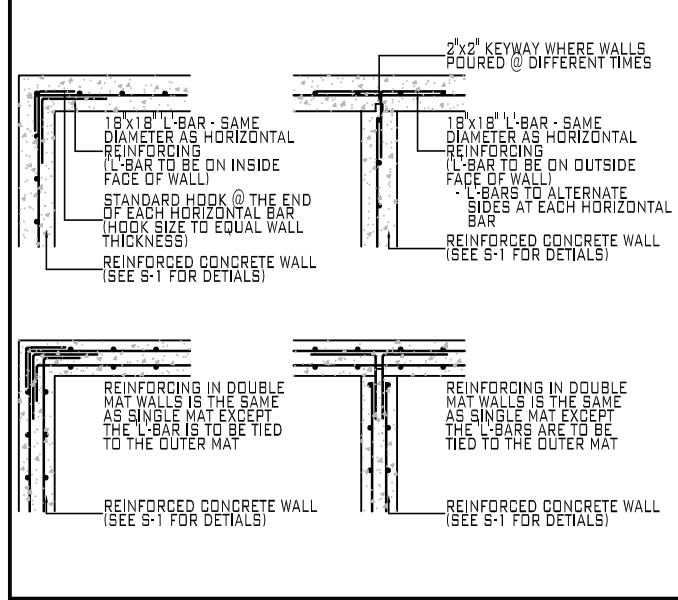
COMPONENT	THERMAL VALUES ⁽¹⁾	COMPLIANCE PACKAGES					
		A1	A2	A3	A4	A5	A6
CEILING WITH ATTIC SPACE	MIN. NOMINAL R ⁽²⁾	60	60	50	60	50	60
	MAX. U ⁽³⁾	0.017	0.017	0.020	0.017	0.020	0.017
	MIN. EFFECTIVE R ⁽⁴⁾	59.22	59.22	49.23	59.22	49.23	59.22
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R ⁽²⁾	0.036	0.036	0.036	0.036	0.036	0.036
	MAX. U ⁽³⁾	27.65	27.65	27.65	27.65	27.65	27.65
	MIN. EFFECTIVE R ⁽⁴⁾	31	31	31	31	31	31
EXPOSED FLOOR	MIN. NOMINAL R ⁽²⁾	0.034	0.034	0.031	0.034	0.031	0.034
	MAX. U ⁽³⁾	29.80	29.80	32.02	29.80	32.02	29.80
	MIN. EFFECTIVE R ⁽⁴⁾	22	19 + 50	14 + 7.50	22 + 50	19 + 50	22 + 50
WALLS ABOVE GRADE	MIN. NOMINAL R ⁽²⁾	0.049	0.049	0.034	0.047	0.049	0.047
	MAX. U ⁽³⁾	17.03	20.32	18.62	20.32	20.32	21.40
	MIN. EFFECTIVE R ⁽⁴⁾	200	12 + 100	200	200	12 + 50	200
BASEMENT WALLS ⁽⁵⁾	MIN. NOMINAL R ⁽²⁾	0.047	0.048	0.047	0.047	0.063	0.047
	MAX. U ⁽³⁾	21.12	20.84	21.12	21.12	15.96	21.12
	MIN. EFFECTIVE R ⁽⁴⁾	-	-	-	-	-	-
BELOW GRADE SLAB ENTIRE SURFACE - 600mm BELOW GRADE	MIN. NOMINAL R ⁽²⁾	10	10	10	10	10	10
	MAX. U ⁽³⁾	0.090	0.090	0.090	0.090	0.090	0.090
	MIN. EFFECTIVE R ⁽⁴⁾	11.13	11.13	11.13	11.13	11.13	11.13
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	MIN. NOMINAL R ⁽²⁾	10	10	10	10	10	10
	MAX. U ⁽³⁾	0.28	0.28	0.25	0.28	0.28	0.28
	MIN. EFFECTIVE R ⁽⁴⁾	25	25	25	25	25	25
WINDOWS AND SLIDING GLASS DOORS	MIN. AFUE	0.49	0.49	0.49	0.49	0.49	0.49
	MIN. AFUE	96%	96%	94%	96%	94%	92%
	MIN. SEF	75%	81%	75%	70%	65%	65%
SPACE HEATING EQUIP.	MIN. SEF	0.80	0.70	0.67	0.67	0.80	0.80
	MIN. EF	-	-	-	-	-	-
	MIN. EF	2	4	5	6	7	8
COLUMN 1		2	4	5	6	7	8



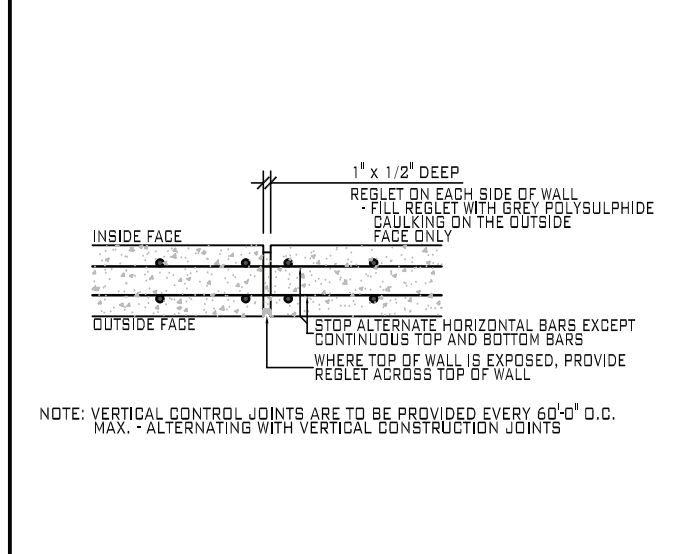
STEPPED FOOTING DETAIL
SCALE: N.T.S.



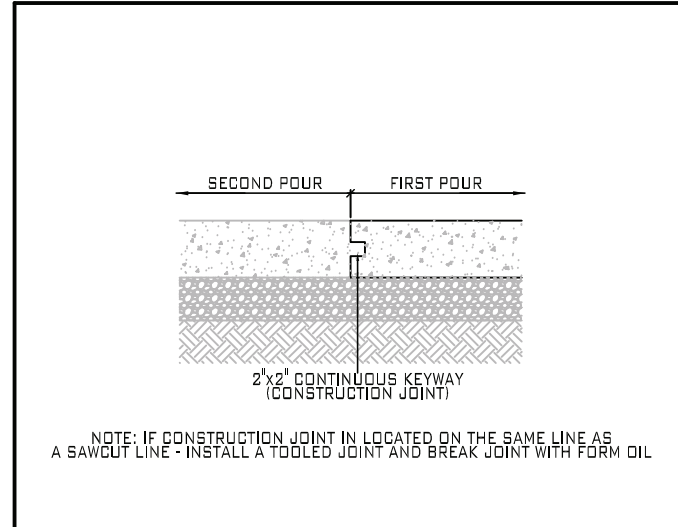
SAW CUT DETAIL
SCALE: N.T.S.



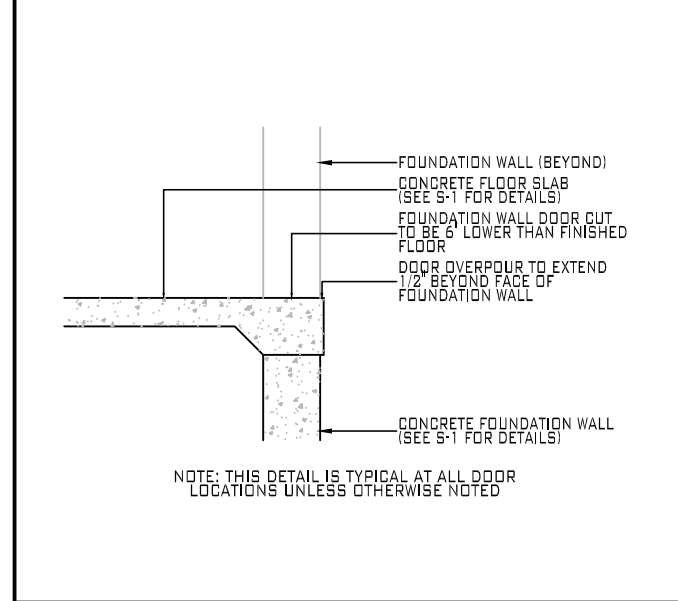
CORNER REINFORCING DETAILS
SCALE: N.T.S.



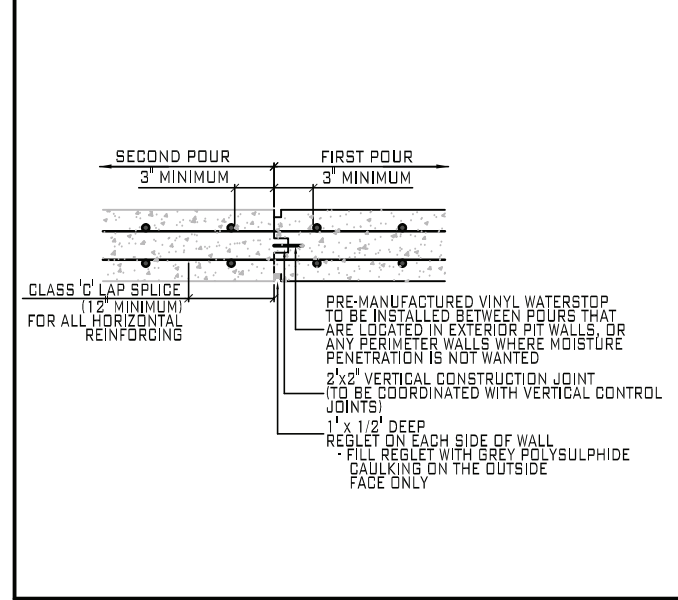
VERTICAL CONTROL JOINT - IN A WALL
SCALE: N.T.S.



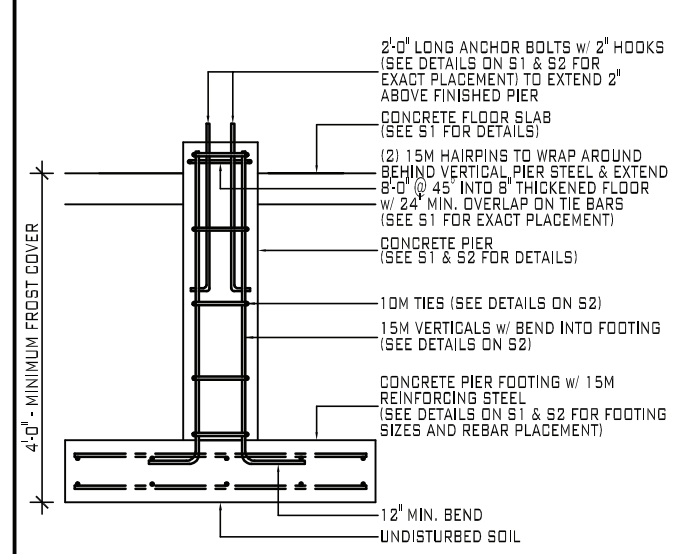
CONSTRUCTION JOINT - IN A SLAB ON GRADE
SCALE: N.T.S.



DOOR CUT OVERPOUR FORMING DETAIL
SCALE: N.T.S.



VERTICAL CONSTRUCTION JOINT - IN A WALL
SCALE: N.T.S.

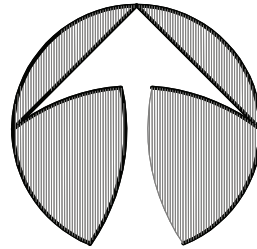


TYPICAL PIER DETAIL
SCALE: N.T.S.



VERTICAL CONTROL JOINT - IN A WALL
SCALE: N.T.S.

- NOTES TO TABLE 3.1.1.2.A (IPI):
- THE VALUES LISTED ARE MINIMUM NOMINAL R VALUES FOR THE THERMAL INSULATION COMPONENT ONLY.
 - U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE CEILING ASSEMBLY COMPONENTS, FROM INTERIOR AIR FILM TO VENTED SPACE AIR FILM ABOVE INSULATION.
 - U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE EXPOSED FLOOR OR ABOVE GRADE WALL ASSEMBLY COMPONENTS, FROM INTERIOR AIR FILM TO EXTERIOR AIR FILM.
 - U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE BASEMENT FLOOR OR SLAB ASSEMBLY COMPONENTS AND INTERIOR AIR FILM.
 - U-VALUE IS THE OVERALL COEFFICIENT OF HEAT TRANSFER FOR A WINDOW ASSEMBLY, SLIDING GLASS DOOR ASSEMBLY OR SKYLIGHT ASSEMBLY EXPRESSED IN Btu/(h*Ft²*F).
 - IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R200 IS REQUIRED R12 + 100 IS PERMITTED TO BE USED OR VISE VERSA; OR WHERE R12 + 50 IS REQUIRED, R150 IS PERMITTED TO BE USED OR VISE VERSA.
 - IF AN EF OF A WATER TANK IS NOT INDICATED IN A COMPLIANCE PACKAGE, THERE IS NO EF REQUIREMENT FOR WATER FOR THAT SPECIFIC COMPLIANCE PACKAGE.
 - NOMINAL AND EFFECTIVE R VALUES ARE EXPRESSED IN (h*Ft²)/(Btu) AND U-VALUES ARE EXPRESSED IN Btu/(h*Ft²*F).



CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

No:	Revision:	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 28, 2028
2	ISSUED FOR PERMIT & CONSTRUCTION	DT	SEPTEMBER 13, 2022

CONSTRUCTED BY:



REID & DELEYE CONTRACTORS LTD

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EMAIL: BRAD@REID-DELEYE.COM

DESIGNED BY:



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NOTE: THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

GENERAL NOTES & DETAILS

SCALE: 1/4" = 1'-0"	DRAWING NO: S-0
DATE: JULY 28, 2022	
DRAWING BY: T. BREATHCH	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 22-181	



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

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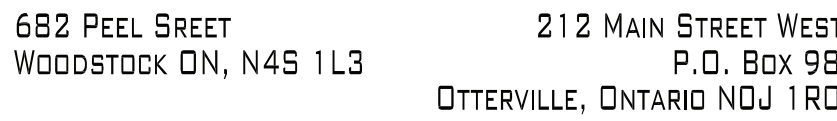
CONSTRUCTED BY



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DESIGNED BY



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DESIGNED FOR

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

FOUNDATION PLAN

SCALE: $1/4'' = 1'-0''$

DATE: JULY 28, 2022

DRAWING BY: T. STREATCH

DESIGNED BY: M. VASANTHA

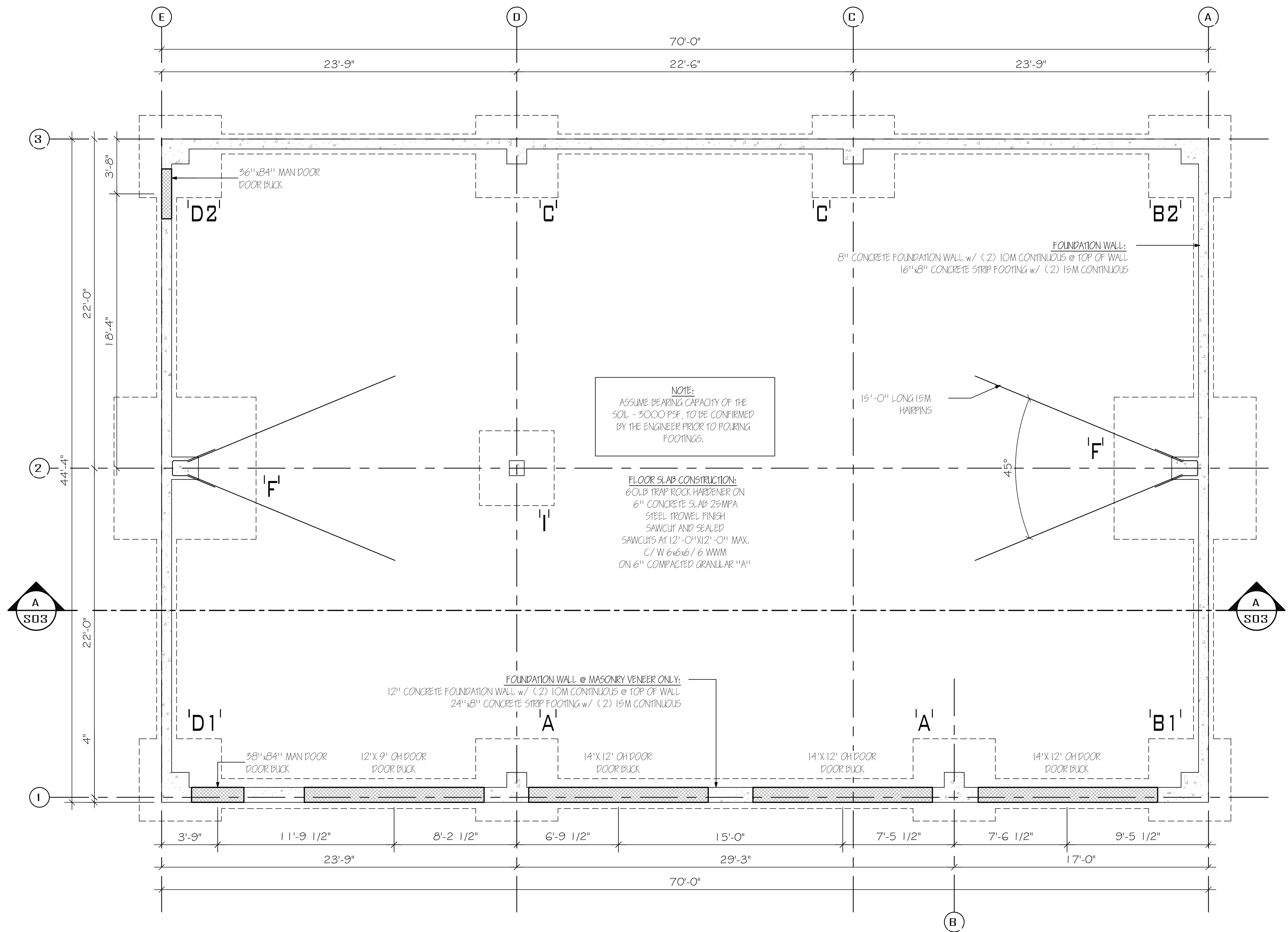
CHECKED BY: M. VASANTHA

DRAWING NO.

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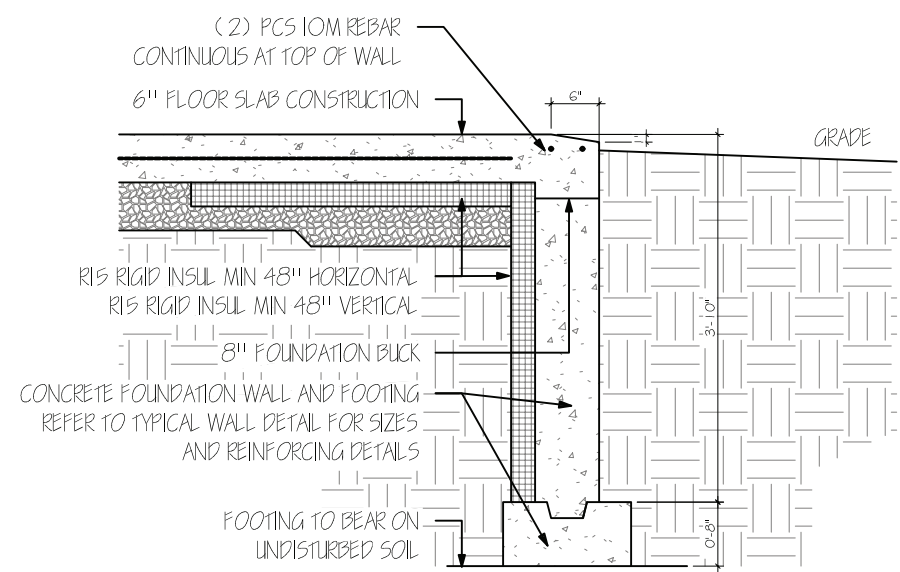
1-8

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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



TYPICAL FOUNDATION DETAIL

SCALE: 1/2" = 1'-0"



BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

CONSTRUCTED BY



Box 272, Courtland, Ontario, NO 1J0 Pb. (519) 688-2600 Fax (519) 688-2700

EMAIL: BRAD@REID-DELEYE.COM

DESIGNED BY:

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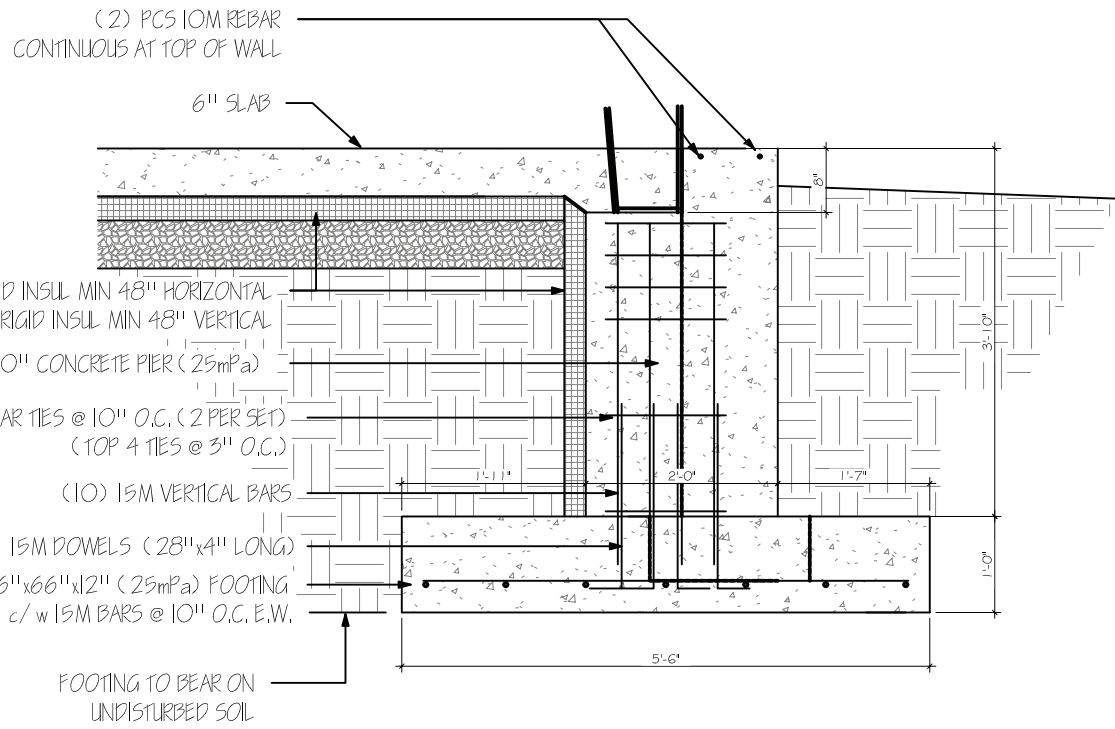
DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

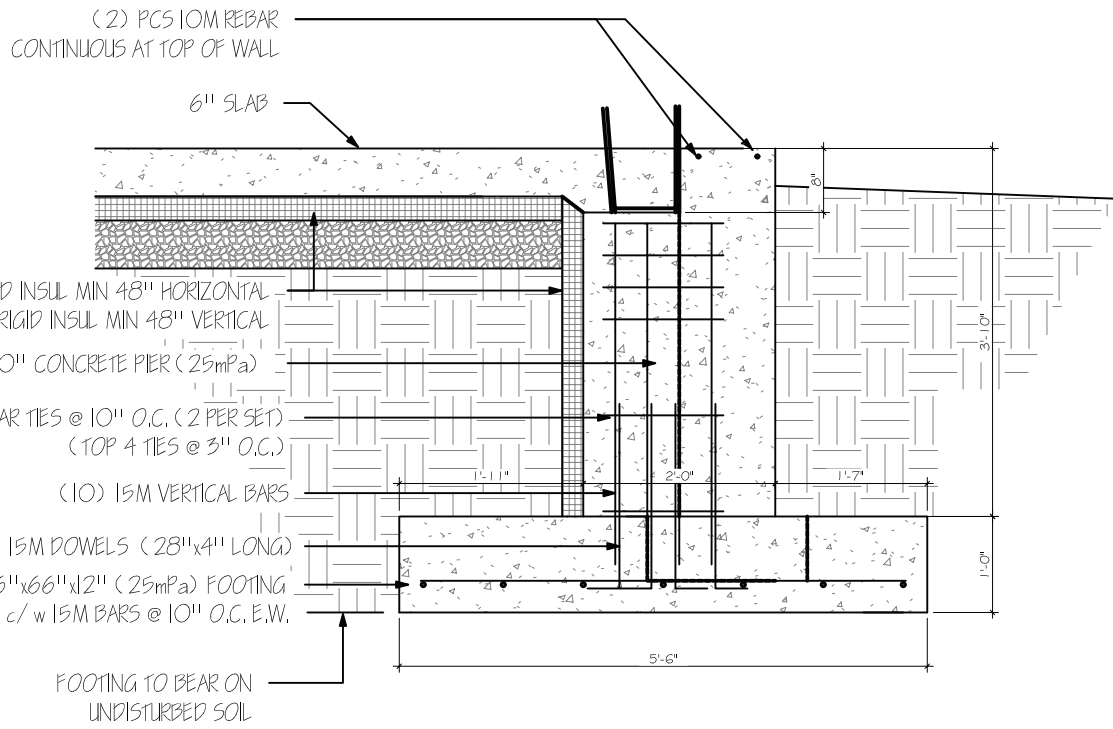
FOUNDATION DETAILS

SCALE:	1/4" = 1'-0"	DRAWING NO: <div style="font-size: 48pt; font-weight: bold; text-align: center;">S-2</div>
DATE:	JULY 28, 2022	
DRAWING BY:	T. STREATCH	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	22-181	



TYPICAL 'A' PIER/FOOTING DETAIL

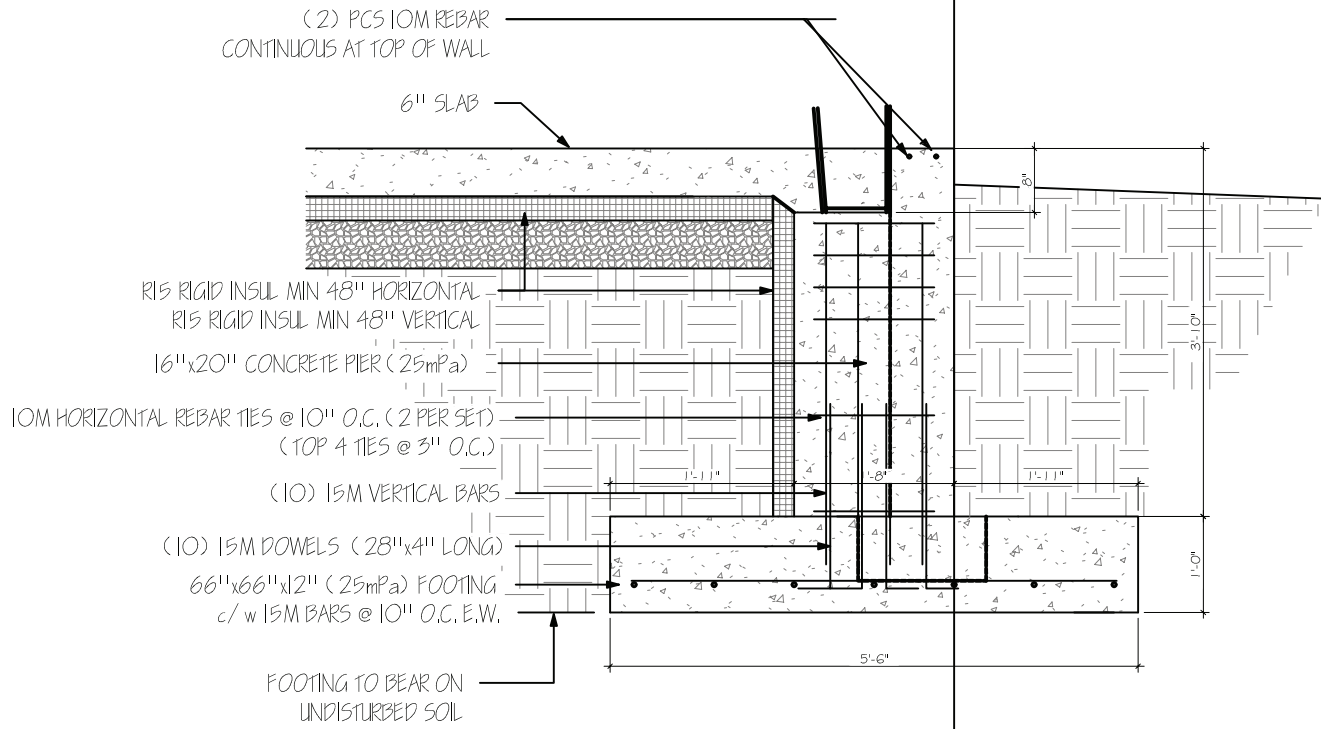
SCALE: 1/2" = 1'-0"



NOTE: B1 PIER IS A MIRROR OF DETAIL SHOWN ABOVE

TYPICAL 'B1/D1' PIER/FOOTING DETAIL

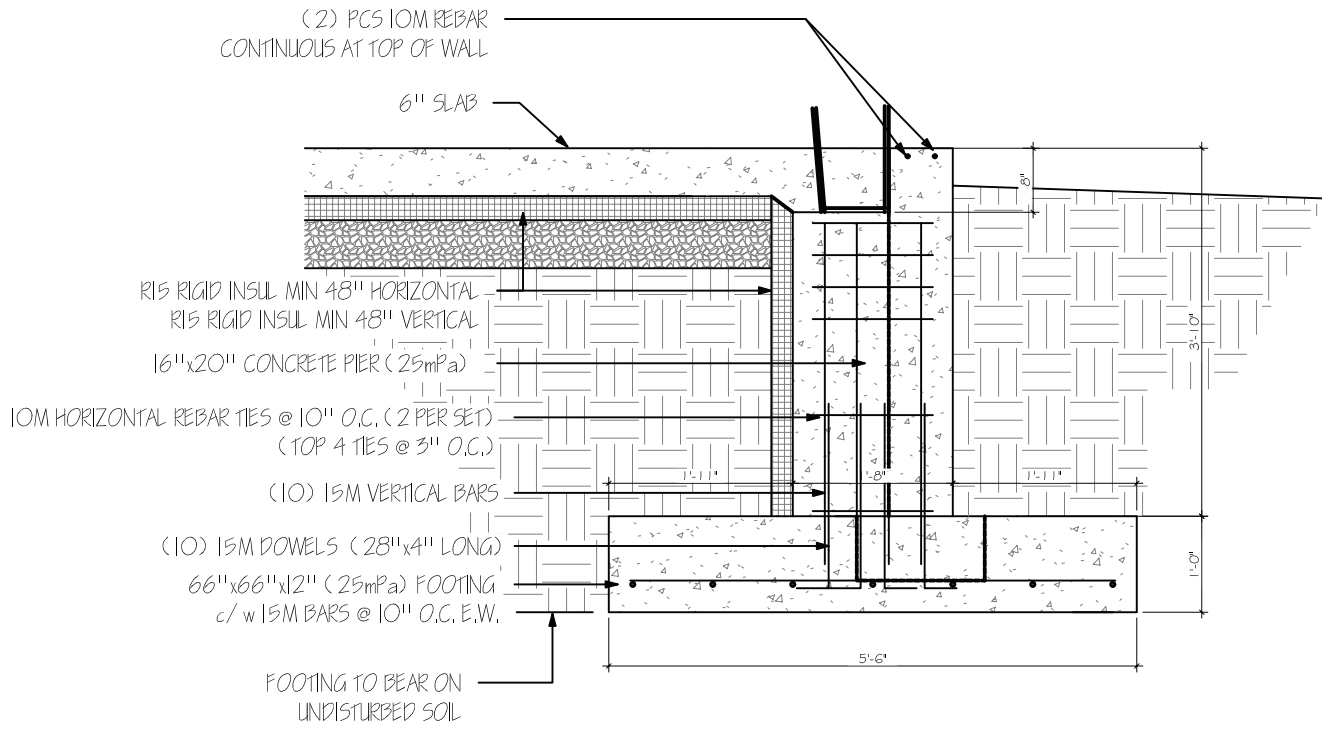
SCALE: 1/2" = 1'-0"



NOTE: B1 PIER IS A MIRROR OF DETAIL SHOWN ABOVE

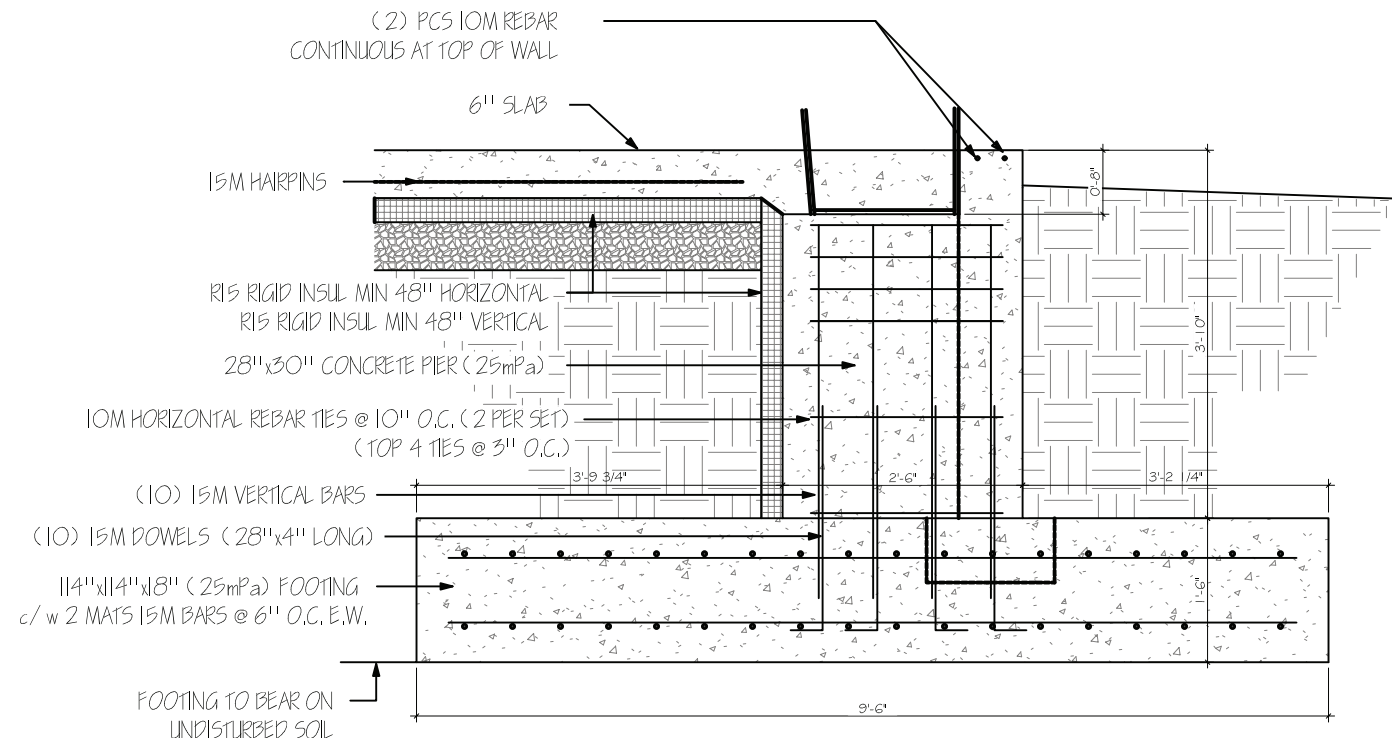
TYPICAL 'B2/D2' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



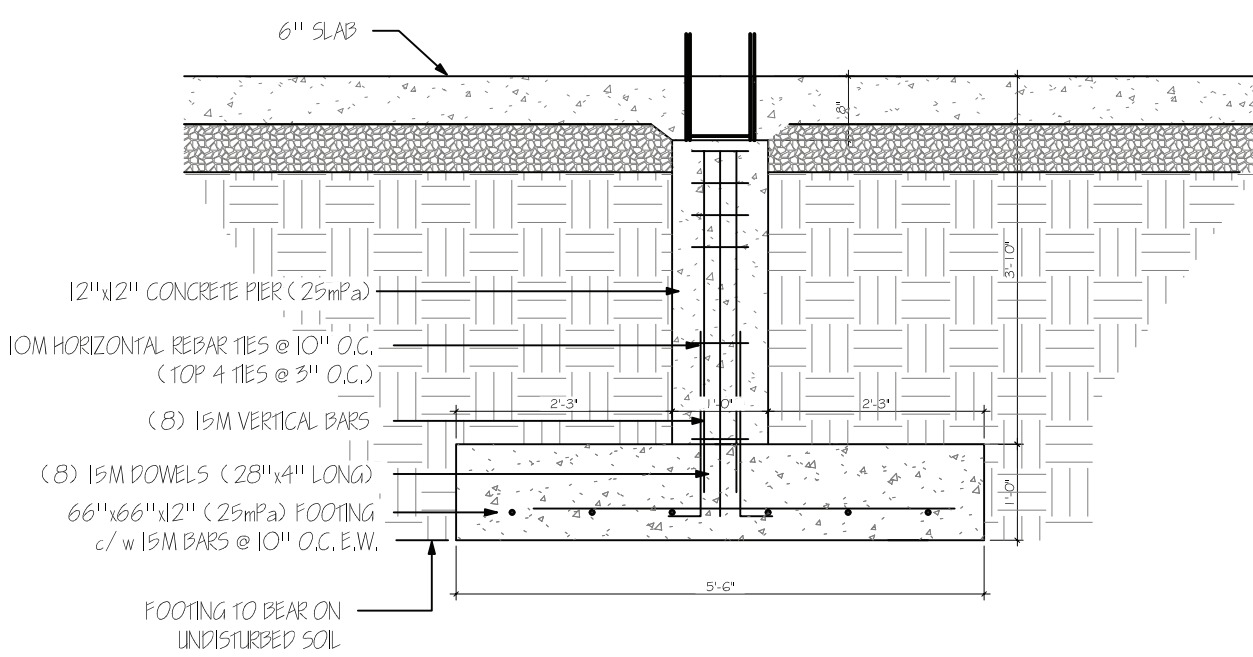
TYPICAL 'C' PIER/FOOTING DETAIL

SCALE: 1/2" = 1'-0"



TYPICAL 'F' PIER/FOOTING DETAIL

SCALE: $1/2'' = 1'-0''$



TYPICAL 'I' PIER/FOOTING DETAIL

SCALE: $1/2'' = 1'-0''$



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THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.

[illegible]

CONSTRUCTED BY:



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EMAIL: BRAD@REID-DELEYE.COM

DESIGNED BY:



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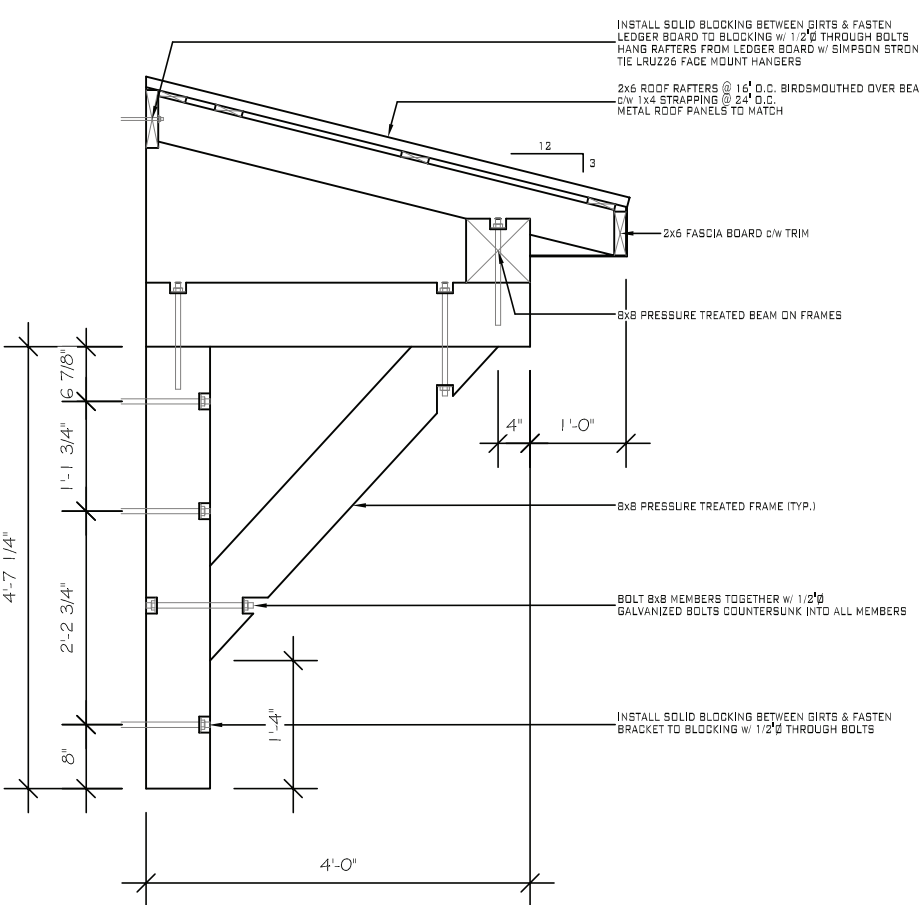
DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

MAIN FLOOR PLAN

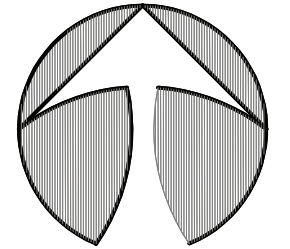
SCALE:	1/4" = 1'-0"	DRAWING NO: <div style="font-size: 48pt; font-weight: bold; text-align: center;">S-3</div>
DATE:	JULY 28, 2022	
DRAWING BY:	T. STRETCH	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	22-181	



OVERHANG DETAIL
SCALE: 1/2" = 1'-0"

MAIN FLOOR PLAN

SCALE: $1/4'' = 1'-0''$



CONSTRUCTION NORTH

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No.	REVISION:	By:	DATE:
1	ISSUED FOR PRELIMINARY REVIEW	TS	JULY 28, 2022
2	ISSUED FOR PERMIT & CONSTRUCTION	DT	SEPTEMBER 13, 2022

CONSTRUCTED BY:



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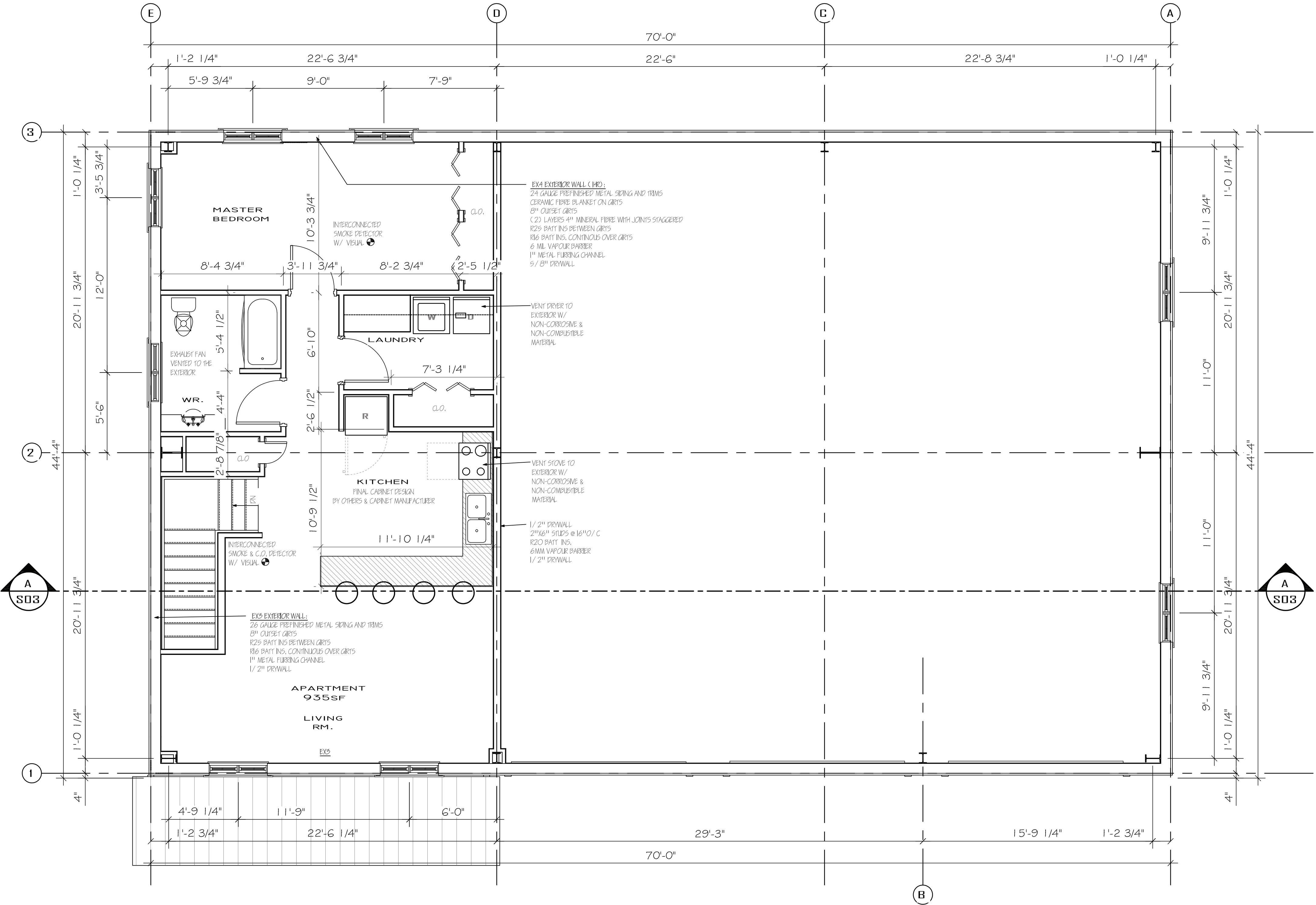
DESIGNED FOR:

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4168 LAKESHORE ROAD
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PROPOSED BARDOMINIUM

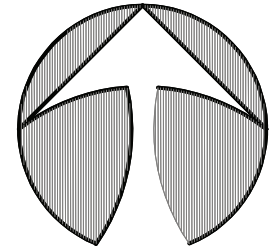
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"	DRAWING NO:
DATE: JULY 28, 2022	S-4
DRAWING BY: T. STREATCH	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 22-181	



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"



CONSTRUCTION NORTH

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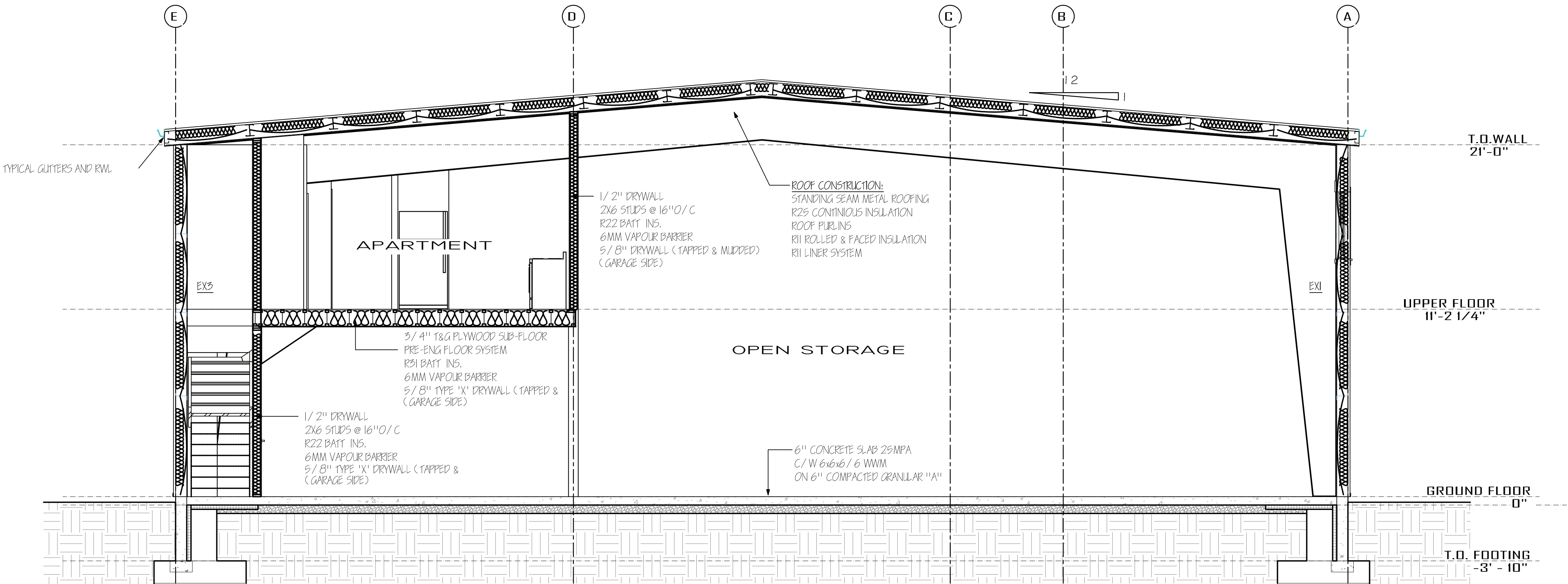
GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

CROSS SECTION

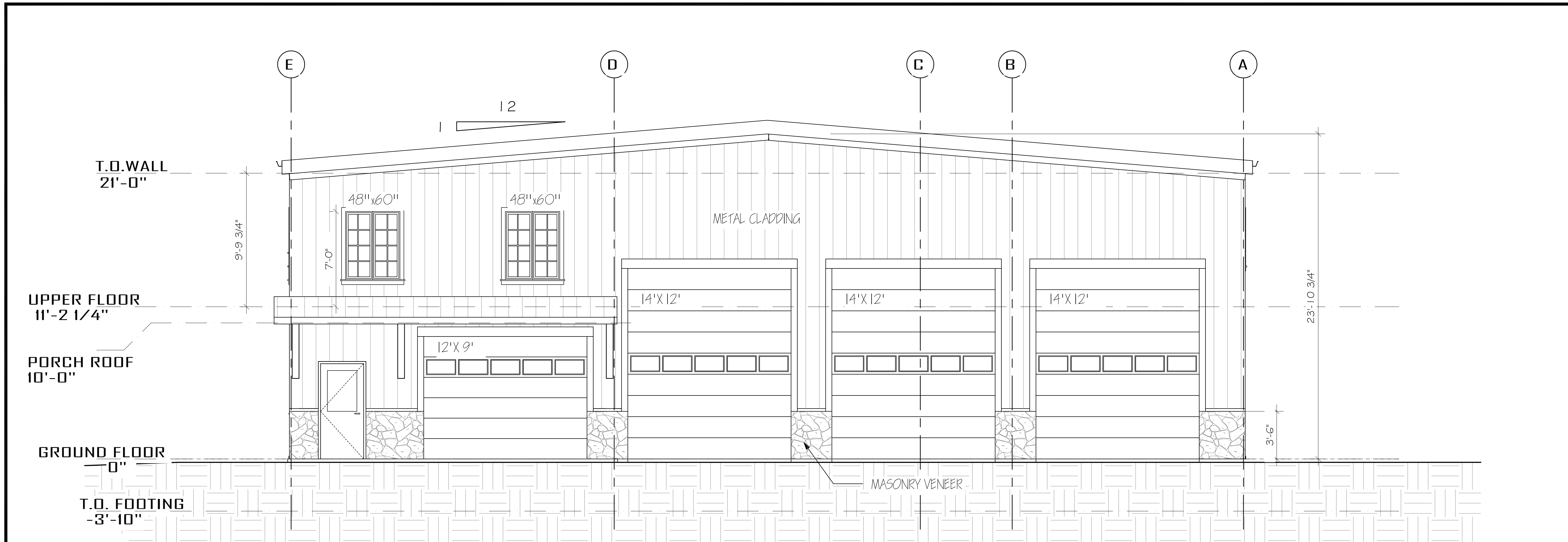
SCALE: 1/4" = 1'-0"	DRAWING NO:
DATE: JULY 28, 2022	T. STREATCH
DRAWING BY:	M. VASANTHA
DESIGNED BY:	M. VASANTHA
CHECKED BY:	22-181
PROJECT NO:	

S-5

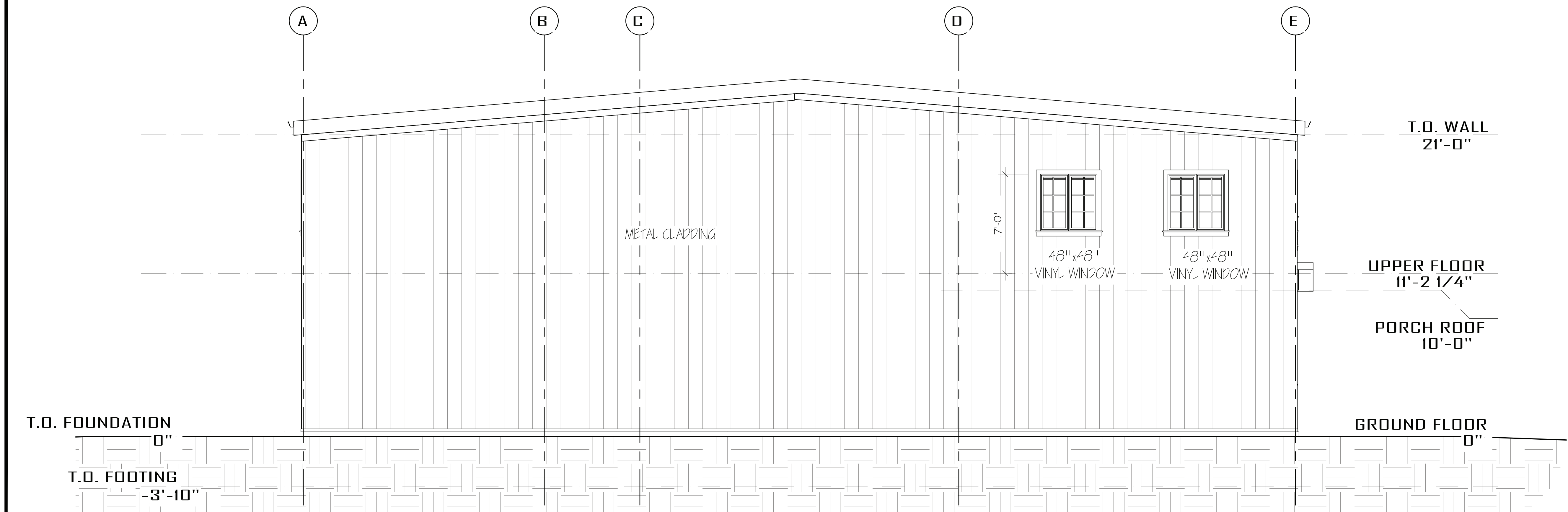


CROSS SECTION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



CONSTRUCTION NORTH

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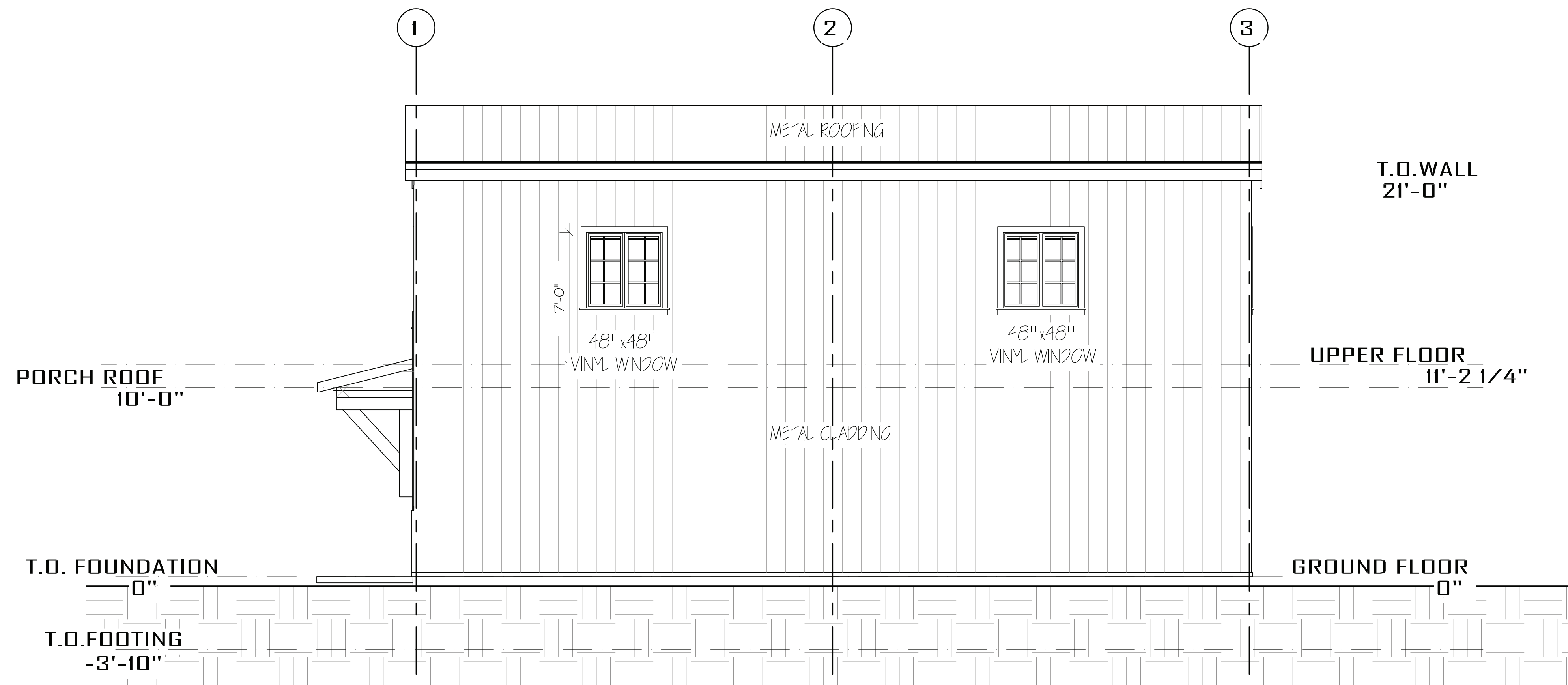
DESIGNED FOR:

GREG CHISHOLM
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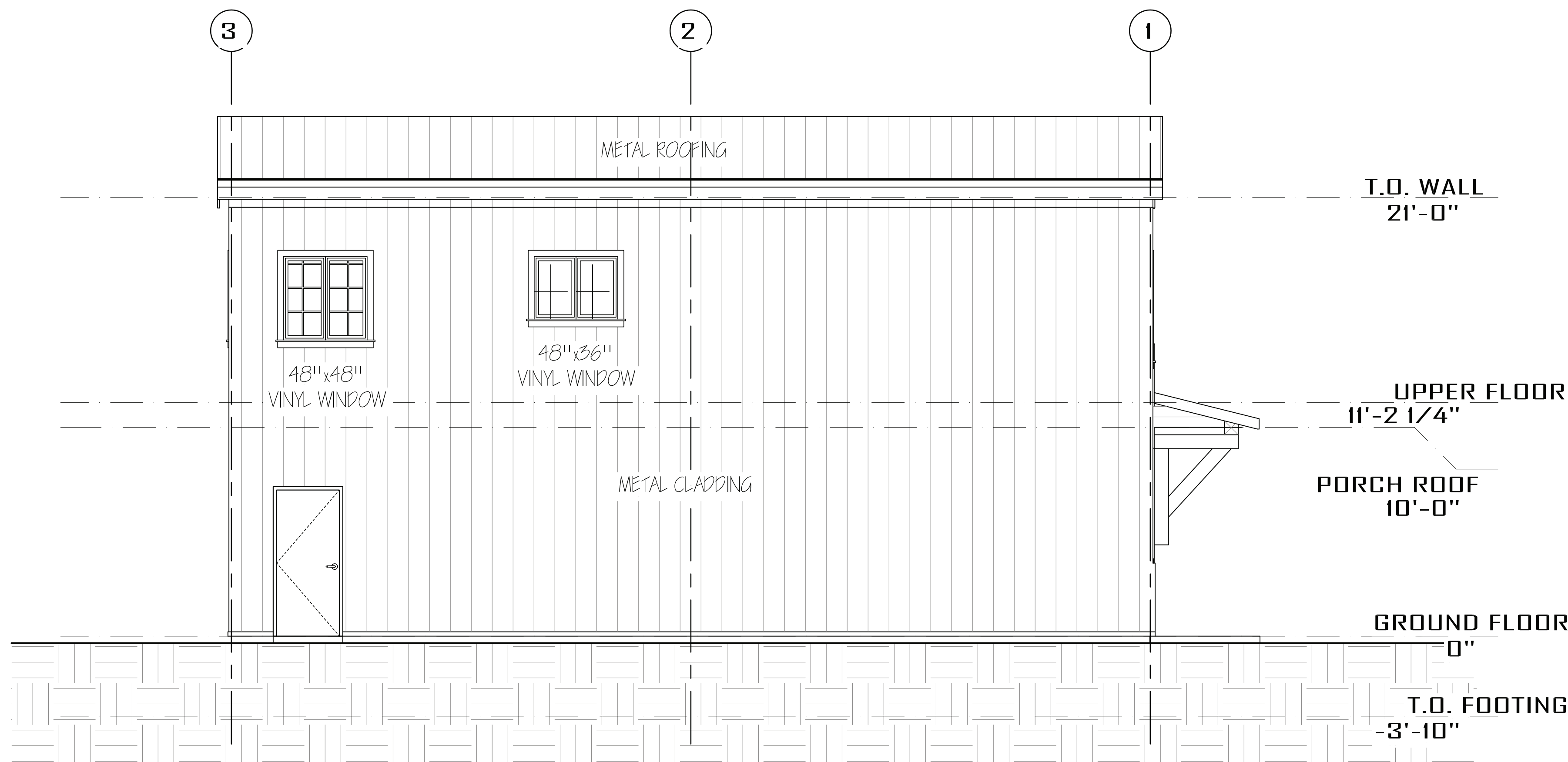
PROPOSED BARDOMINIUM

ELEVATIONS

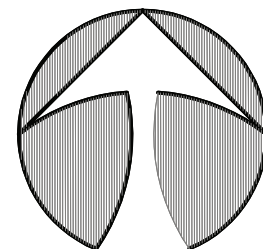
SCALE:	1/4" = 1'-0"	DRAWING NO:
DATE:	JULY 28, 2022	S-6
DRAWING BY:	T. STREATCH	
DESIGNED BY:	M. VASANTHA	
CHECKED BY:	M. VASANTHA	
PROJECT NO:	22-181	



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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DESIGNED FOR:

GREG CHISHOLM
4168 LAKESHORE ROAD
ST. WILLIAMS, ONTARIO

PROPOSED BARDOMINIUM

ELEVATIONS


SCALE: 1/4" = 1'-0"	DRAWING NO:
DATE: JULY 28, 2022	S-7
DRAWING BY: T. STREATCH	
DESIGNED BY: M. VASANTHA	
CHECKED BY: M. VASANTHA	
PROJECT NO: 22-181	

MAP A
CONTEXT MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2023068

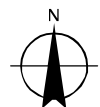


Legend

 Subject Lands

2020 Air Photo

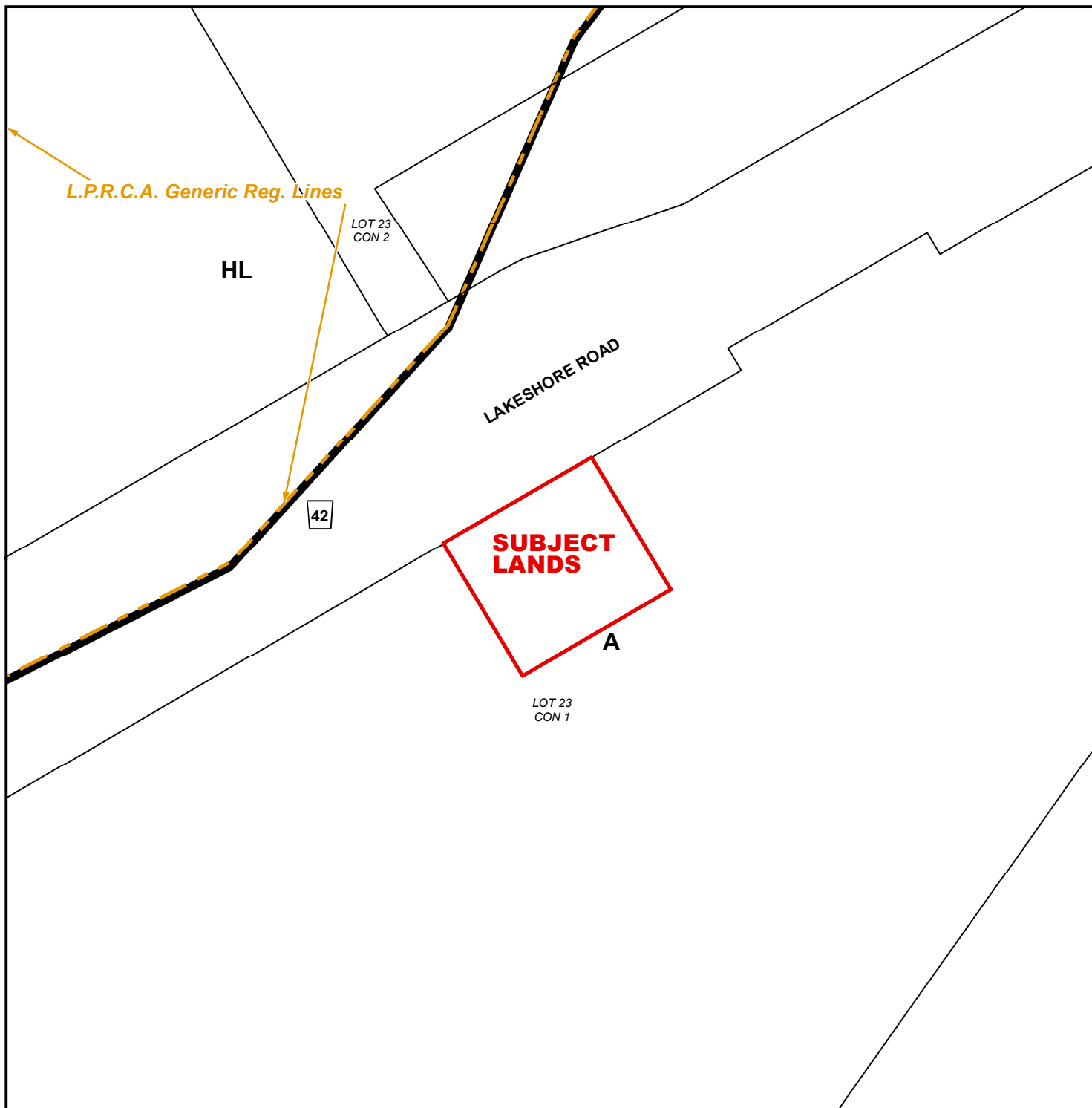
3/8/2023





20 10 0 20 40 60 80 Meters

MAP B
ZONING BY-LAW MAP
Geographic Township of SOUTH WALSINGHAM

ANPL2023068



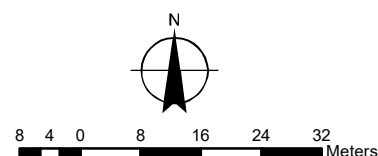
LEGEND

-  Subject Lands
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

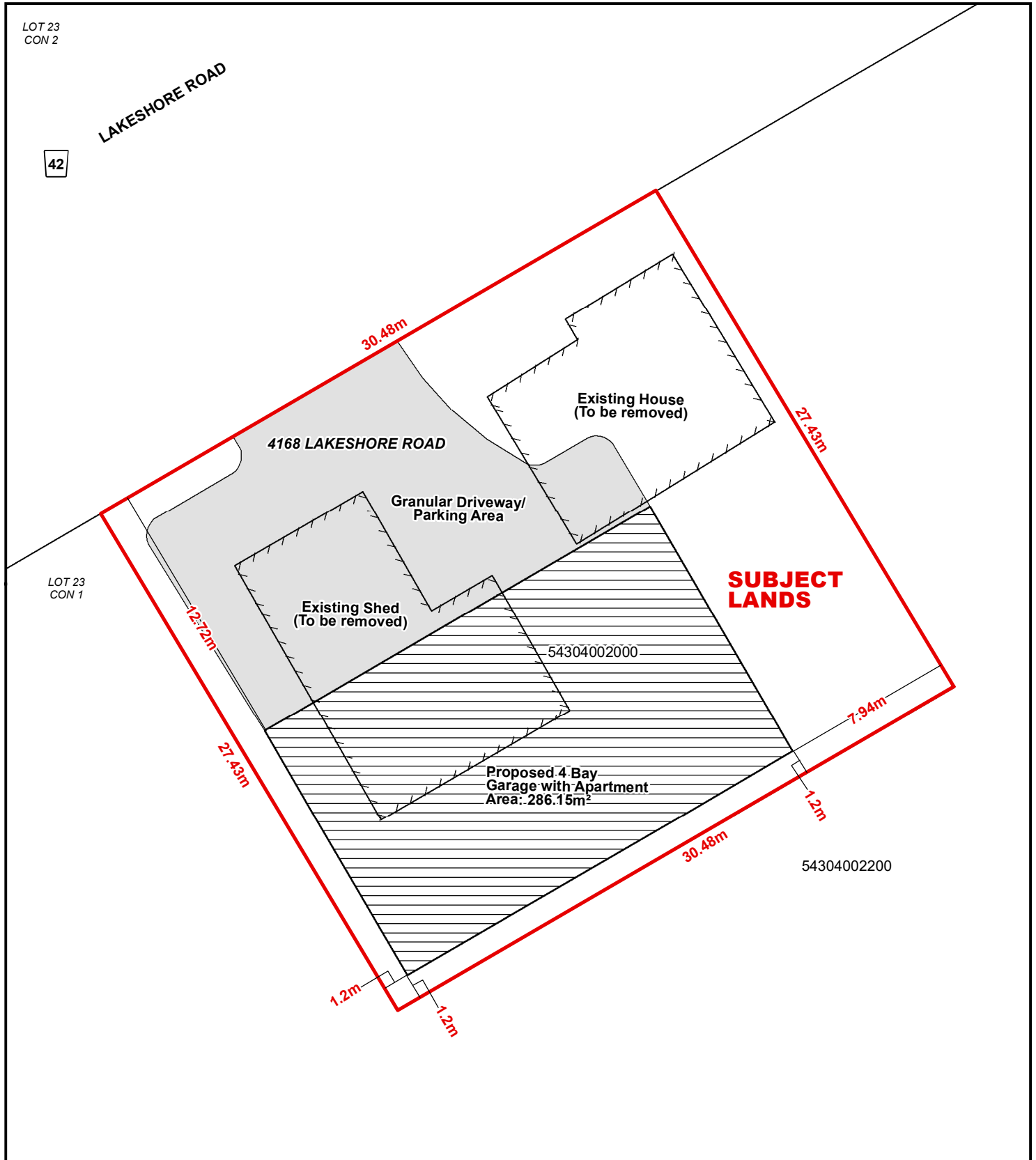
3/8/2023

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone



CONCEPTUAL PLAN

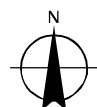
Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands

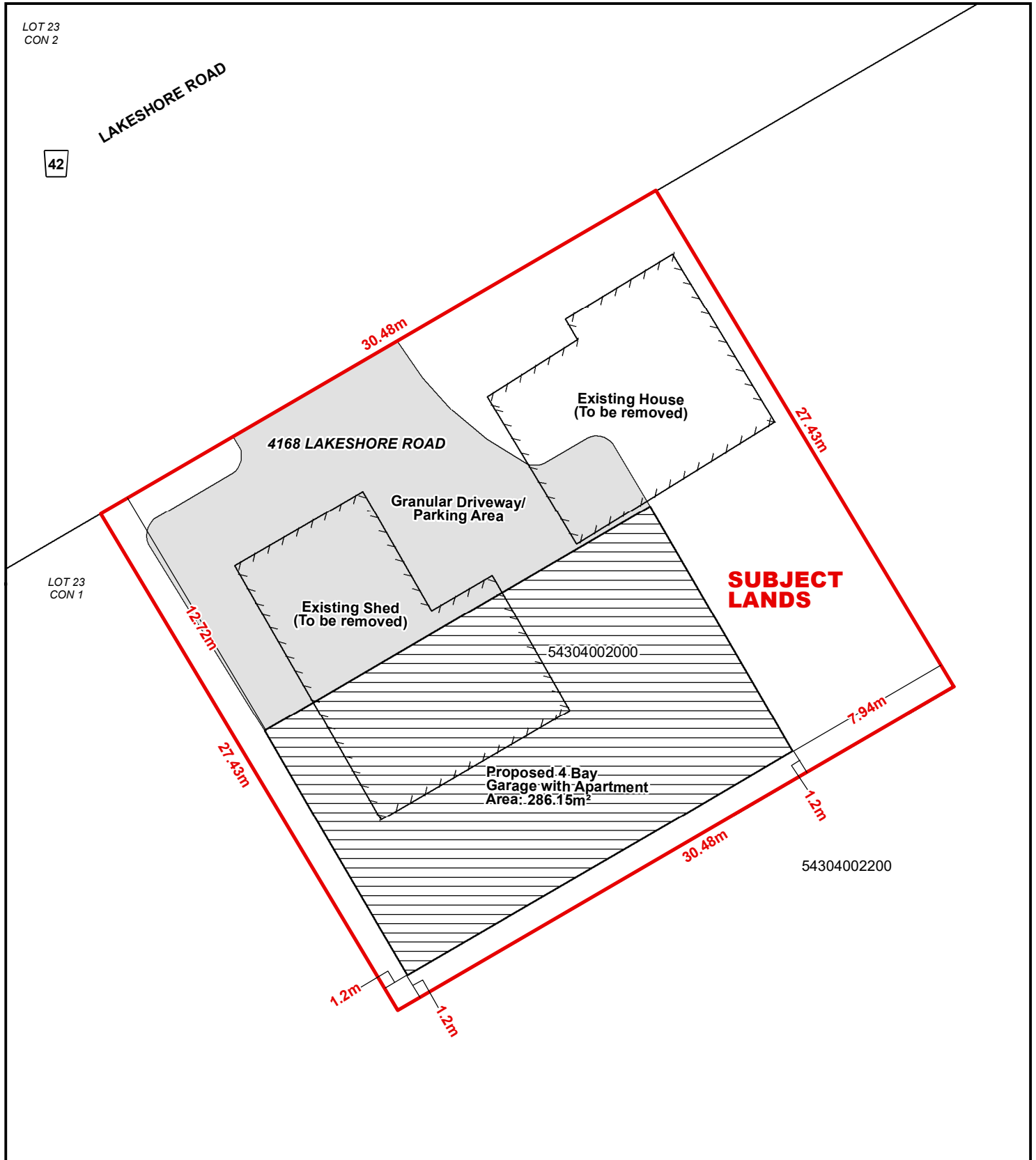
3/8/2023




2 1 0 2 4 6 8 Meters

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

 Subject Lands

3/8/2023

