

For Office Use Only:

File Number	<u>ANPL2023054</u>	Application Fee	<u>\$1711.00</u>
Related File Number	<u>SPPL2016053</u>	Conservation Authority Fee	<u>\$514.15</u>
Pre-consultation Meeting	<u>N/A</u>	Well & Septic Info Provided	<u>Yes</u>
Application Submitted	<u>Jan. 26. 2023</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>Feb. 25. 2023</u>	Public Notice Sign	<u>-</u>

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner _____

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
 - Individual wells
 - Communal wells
 - Other (describe below)
-

Sewage Treatment

- Municipal sewers
 - Septic tank and tile bed in good working order
 - Communal system
 - Other (describe below)
-

Storm Drainage

- Storm sewers
 - Other (describe below)
 - Open ditches
-

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street:

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

K. Declaration

I, Joel Delleman of Delleman Designs & Caprentry Corp.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Joel Delleman

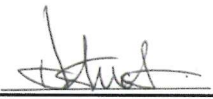


Owner/Applicant/Agent Signature


In Waterford ON

This 26th day of January

A.D., 2023



A Commissioner, etc.

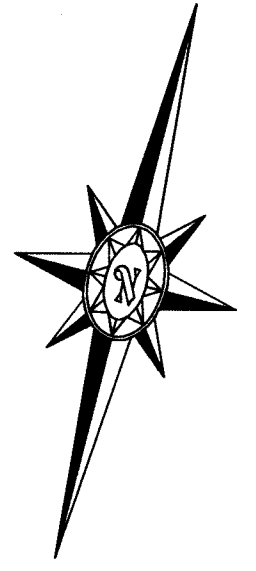
Hanne Yager, Norfolk County.
Feb. 15/2023 

Hannelore Tenley Yager, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires November 21, 2025.

SITE PLAN
OF PART OF
LOT 4
CONCESSION 1
IN THE GEOGRAPHIC
TOWNSHIP OF WOODHOUSE
IN
NORFOLK COUNTY
SCALE: 1 : 600

6 0 24 METRES

JEWITT AND DIXON LTD.



PIN 50209-0319 (LT)
PART 1, PLAN 37R-394

PART 3, PLAN 37R-10953

PIN 50209-0306 (LT)
DUNCAN FRANK AMOS
APRIL DALE GROSE

PIN 50209-0292 (LT)

PIN 50209-0292 (LT)
CONCESSION

G E O G R A P H I C T O W N S H I P O F W O O D H O U S E

PART 2, PLAN 37R-10953
PIN 50209-0468 (LT)
DUNCAN FRANK AMOS
APRIL DALE GROSE

PART 3, PLAN 37R-10953
PIN 50209-0306 (LT)
DUNCAN FRANK AMOS
APRIL DALE GROSE

PART 1, PLAN 37R-10953
PIN 50209-0469 (LT)

PIN 50209-0319 (LT)
PART 1, PLAN 37R-394

LOT
CONCESSION

PIN 50209-0292 (LT)

LOT

LOT

PIN 50209-0307 (LT)

PIN 50209-0307 (LT)

PIN 50209-0401 (LT)
ROAD ALLOWANCE BETWEEN CONCESSION 1 AND THE BROKEN FRONT CONCESSION (KNOWN AS RADICAL ROAD)

SURVEYORS CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 7th DAY OF MARCH, 2022.

DATED: MARCH 15, 2022

[Signature]
C. DIXON, O.L.S.
FOR JEWITT & DIXON LTD.

LEGEND

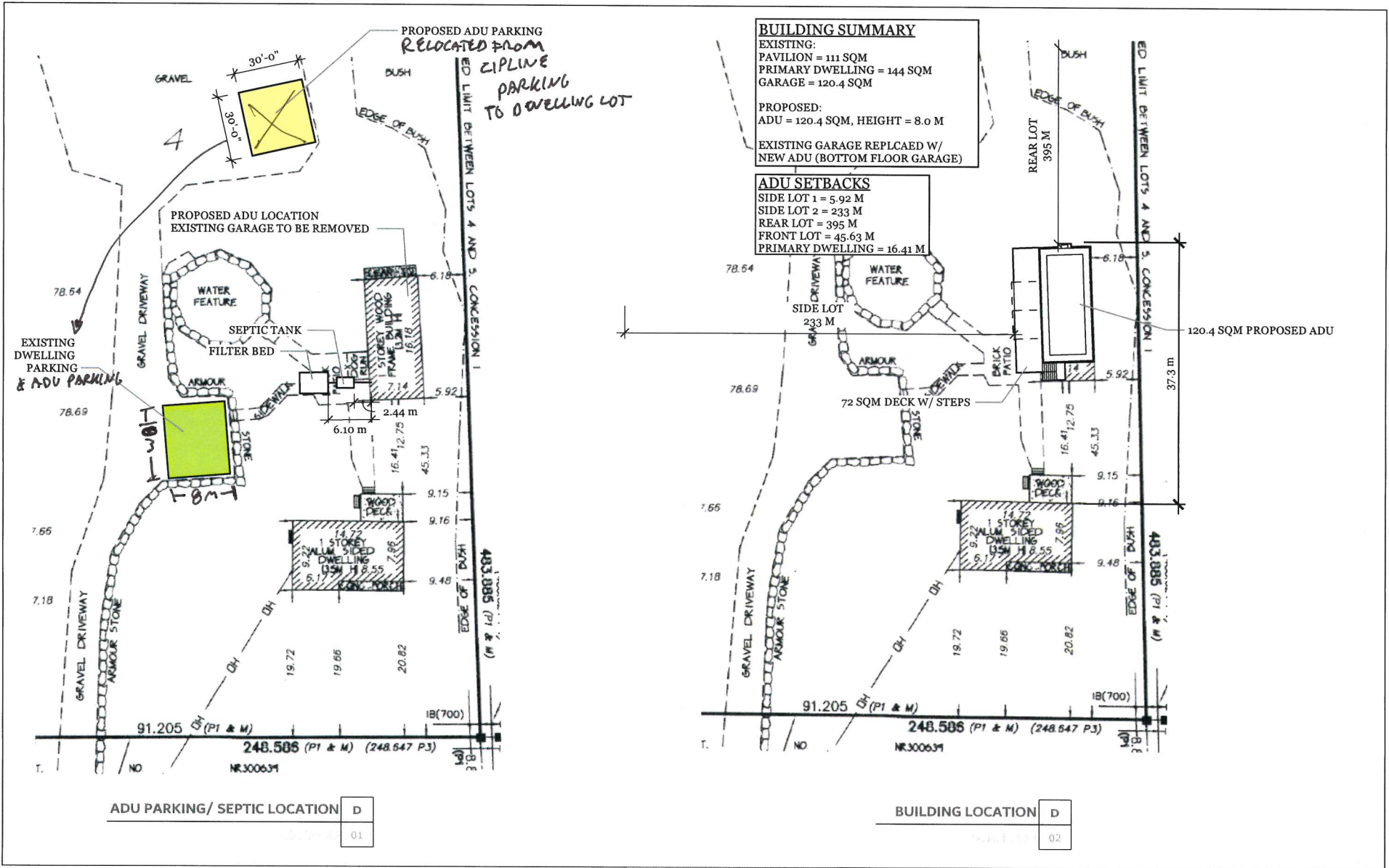
2.5cm X 2.5cm X 1.2m STANDARD IRON BARS	SHOWN	-	SIB
2.5cm X 2.5cm X 0.6m STANDARD IRON BARS	SHOWN	-	SSIB
1.6cm X 1.6cm X 0.6m IRON BARS	SHOWN	-	IB
1.6cm ROUND X 0.6m IRON BARS	SHOWN	-	IB Ø
DEED LINES	SHOWN	---	
ROAD LINES	SHOWN	---	
FOUND IRON BARS	SHOWN	■	PLANTED IRON BARS SHOWN - □

JEWITT AND DIXON LTD.
J. B. DODD, O.L.S.
WITNESS MONUMENT
PLAN 37R-6109
PLAN BY H.V. JEWITT, O.L.S., DATED
MAY 25, 1954 (W02.61-62)(ROSSELL)
PLAN BY H.V. JEWITT, O.L.S., DATED
JULY 7, 1984 (W015.53) ATTACHED TO
INST. No. NR300639 (PIN 50209-0401)
PLAN 37R-394

SHOWN (700)
SHOWN (996)
SHOWN (W1)
SHOWN (P1)
SHOWN (P2)
SHOWN (P3)
SHOWN (P4)

JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS
R.R.1, SIMCOE, ONTARIO, N3Y 4J9
(51 PARK ROAD)
PHONE: (519) 426-0842 FAX: (519) 426-1034
E-mail: surveyors@amtelecom.net

F.W. - J. DEARDEN
BOOK - LL-FILE
CALC. - J.L. MCKAY
PLAN - J.L. MCKAY
CHECK - K. HUSTED
CLIENT - AMOS
JOB No. - 12-110
22-3347-SK



BUILDING SUMMARY
 EXISTING:
 PAVILION = 111 SQM
 PRIMARY DWELLING = 144 SQM
 GARAGE = 120.4 SQM
 PROPOSED:
 ADU = 120.4 SQM, HEIGHT = 8.0 M
 EXISTING GARAGE REPLACED W/
 NEW ADU (BOTTOM FLOOR GARAGE)

ADU SETBACKS
 SIDE LOT 1 = 5.92 M
 SIDE LOT 2 = 233 M
 REAR LOT = 395 M
 FRONT LOT = 45.63 M
 PRIMARY DWELLING = 16.41 M

ADU PARKING/ SEPTIC LOCATION	D
	01

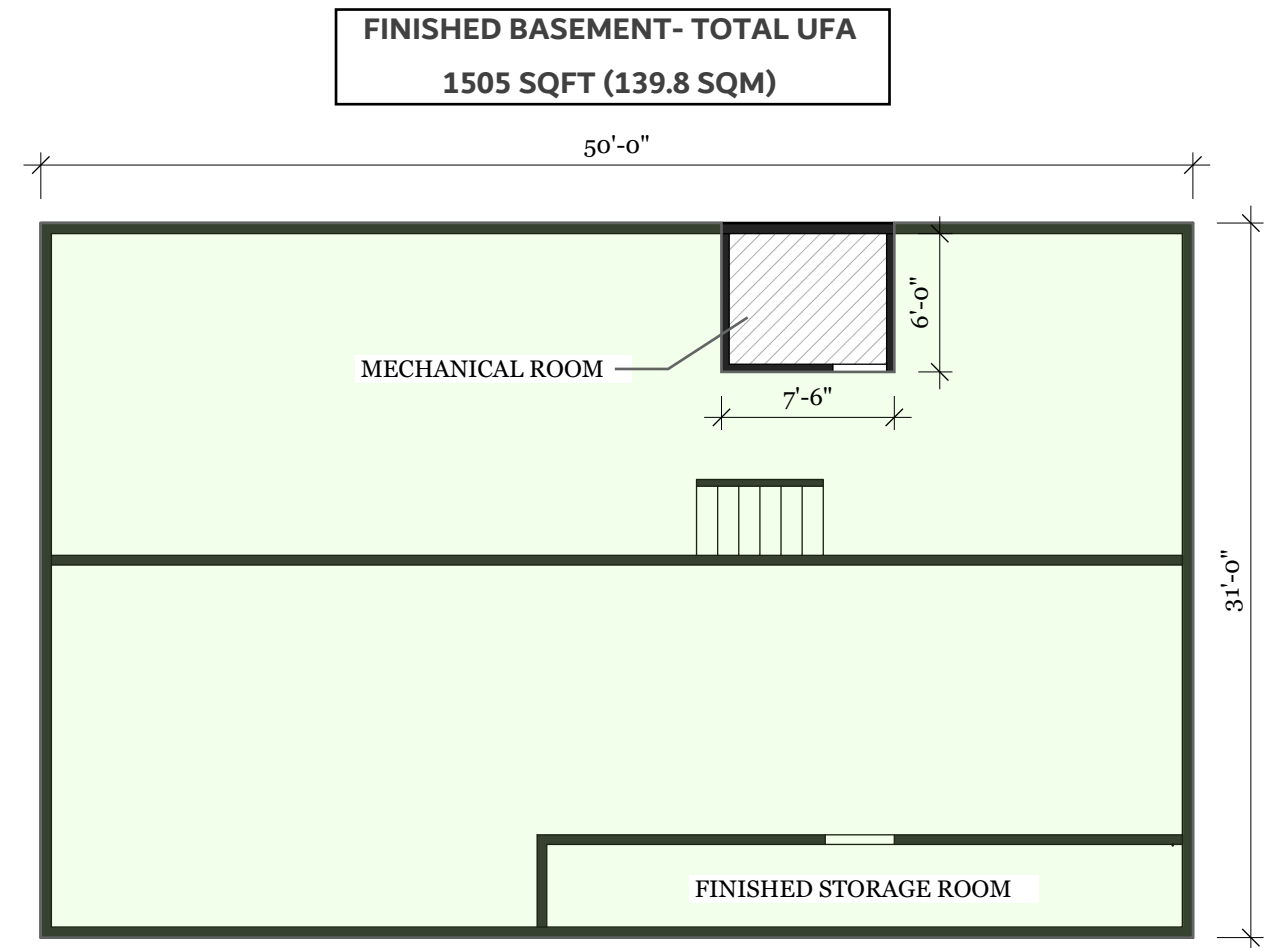
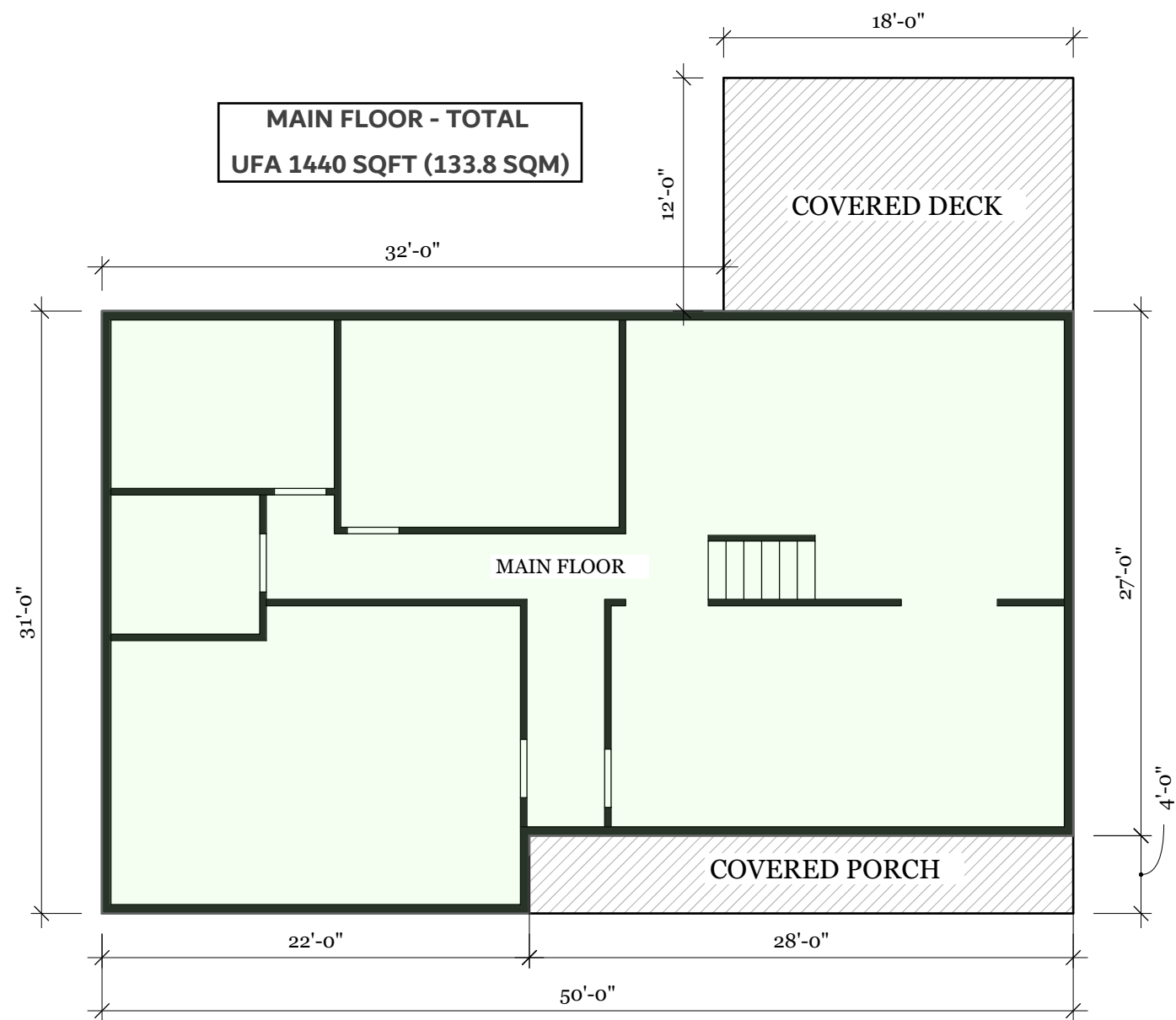
BUILDING LOCATION	D
	02

Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover



REVISIONS		REMARKS
1	30 /10 /22	Issued For Coordination
2	08 /12 /22	Issued For Permit
3
4
5

10
A



UFA
 EXISTING DWELLING UFA = 133.8 (MAIN FLOOR) + 139.8 (FINISHED BASEMENT) = 273.8 SQM
 MAXIMUM UFA OF PROPOSED ADU = 45% OF 273.8 SQM = 123.1 SQM
 PROPOSED ADU = 115.4 SQM (MAIN FLOOR) 115.4 SQM < 123.1 (45%)

UFA OF EXISTING DWELLING **P**

Scale: 1:100 01

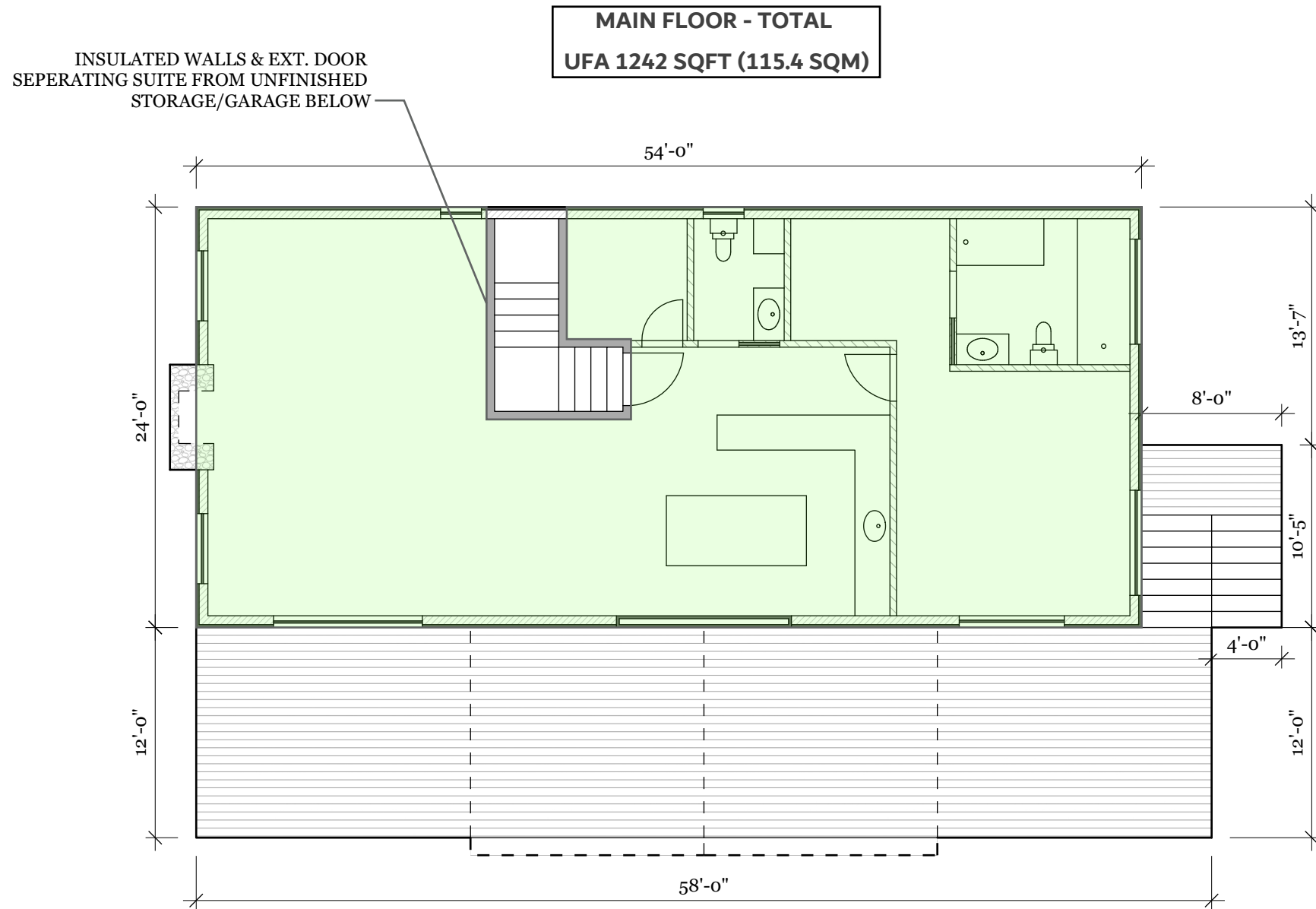
Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover



REVISIONS	
DD/MM/YY	REMARKS
1 30 /10/22	Issued For Coordination
2 08 /12 /22	Issued For Permit
3 --- /--- /---	...
4 --- /--- /---	...
5 --- /--- /---	...

A 02



UFA
 EXISTING DWELLING UFA = 133.8 (MAIN FLOOR) + 139.8 (FINISHED BASEMENT) = 273.8 SQM
 MAXIMUM UFA OF PROPOSED ADU = 45% OF 273.8 SQM = 123.1 SQM
 PROPOSED ADU = 115.4 SQM (MAIN FLOOR) 115.4 SQM < 123.1 (45%)

PROPOSED ADU UFA **P**
 Scale: 1:100 02

Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover



REVISIONS	
DD/MM/YY	REMARKS
1 30/10/22	Issued For Coordination
2 08/12/22	Issued For Permit
3 ---/---/---	...
4 ---/---/---	...
5 ---/---/---	...

A 03



Long Point Region Conservation Authority

PERMIT No. LPRCA-262/22
FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES
(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:			
Owner:	<u>Duncan and April Amos</u>	Telephone:	<u>519-770-5463</u>
Address:	<u>321 Radical Road</u>	Postal Code:	<u>N3Y 4K2</u>
	<u>Port Dover ON</u>		
Agent:	<u>Joel Delleman</u>	Telephone:	<u>519-377-7276</u>
Address:	<u>546 Old Highway 24</u>	Postal Code:	<u></u>
	<u>Waterford ON</u>		
Location/Address of works: <u>321 Radical Road - 331033703030200</u>			
Lot:	<u>Pt 4</u>	Con:	<u>1</u>
		Municipality:	<u>Norfolk County</u>
Description of Works:	To demolish the existing single story 120m ² accessory structure and construct a two-story structure in the same foot print, a 73m ² second story deck, and septic system approximately 60m from a Provincially Significant Wetland. The first floor of the structure will be a garage/non-habitable space and the second floor will be a dwelling unit.		
Type of fill:	<u>n/a</u>		

This permit is valid on the above location only for the period of:
DATE: November 28, 2022 to November 28, 2024

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

<u>SPECIFIC CONDITIONS:</u>
1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated November 23, 2022 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -
Office Use Only

Owner's Name: _____

Mailing Address:

Street Address _____ P.O. Box _____ Apartment/Unit # _____

City/Town _____ Province _____ Postal Code _____

Primary Phone: _____ Alternate Phone: _____ Email: _____

Agent's Name: _____ Check if same as above

Mailing Address:

Street Address _____ P.O. Box _____ Apartment/Unit # _____

City/Town _____ Province _____ Postal Code _____

Primary Phone: _____ Alternate Phone: _____ Email: _____

Location of Proposed Work

Lot: _____ Concession/Plan: _____ Municipality: _____

Municipal Address: _____

Street Address

Tax Assessment Roll Number: _____

Proposed work: (Check all appropriate boxes)

- Place, dump, or remove fill
- Site grading
- Construct a new building or structure
- Alter or renovate an existing building or structure
- Construct a septic system
- Construct erosion control or shoreline protection
- Construct new or replace existing watercourse crossing
- Other: (please describe) _____

Quantity of fill: _____

Proposed square footage: _____

Existing square footage: _____

Description of Proposed Works: _____

PROPOSED START DATE: _____ PROPOSED COMPLETION DATE: _____

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.

Applicant Signature

Date

Agent Signature

Date

**Development, Interference with Wetlands and Alterations to Shorelines and Watercourses
Ontario Regulation 178/06**

PROPERTY OWNER AUTHORIZATION

Subject Property _____

Property Location _____

Municipal Address or Lot and Concession or Lot and Plan

Municipality _____

Community _____

I/We _____

Hereby authorize _____

To provide as my agent any required authorizations or consents, to submit the enclosed application to the Long Point Region Conservation Authority, and to appear on my behalf at any hearing(s) of the application and to provide any information or material required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulation 178/06 as amended.

Signature of Owner: _____



Date: _____

APPLICATION FORM INSTRUCTIONS

- Owner** The legal owner(s) of the property where the proposed development or alteration will be carried out.
- Applicant** If the applicant is not the same as the property owner, written authorization is required from all property owners on whose property the proposed work will be carried out. The authorization(s) must be submitted with the application.
- Agent** If the applicant has assigned another party as an agent to act on the applicant's behalf for the project, written authorization from the applicant is required so stating.
- Quantity of Fill** Approximate quantity expressed in cubic metres, cubic yards, truck loads (12 yards) or tandem truck loads (18 yards)
- Floor area** For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks or porches.

APPLICATION CHECKLIST

Office Use Only Application # LPRCA- _____ List Issued: _____

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

- | <u>Applicable</u> | <u>Submitted</u> | |
|-------------------|--------------------------|--|
| ✓ | <input type="checkbox"/> | A completed, signed and dated application form; |
| ✓ | <input type="checkbox"/> | Written authorization (if the applicant is not the owner of the property where the work is being done) |
| ✓ | <input type="checkbox"/> | Written authorization (if the property owner is assigning another party as an agent for the project); |
| ✓ | <input type="checkbox"/> | Application fee (see fee schedule, fees subject to change without notice); |
| ✓ | <input type="checkbox"/> | A scaled and detailed site plan; |
| ✓ | <input type="checkbox"/> | A scaled cross-sectional drawing and floor plans; |

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

- | | | |
|---|--------------------------|---|
| ✓ | <input type="checkbox"/> | Legal description of the property (e.g. roll number, lot, concession, municipality); |
| ✓ | <input type="checkbox"/> | Scale, date, and directional arrow; |
| ✓ | <input type="checkbox"/> | Dimensions of the property (a copy of a legal survey may be required); |
| ✓ | <input type="checkbox"/> | Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property; |
| ✓ | <input type="checkbox"/> | Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting) |

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas) |
| <input type="checkbox"/> | <input type="checkbox"/> | Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands) |
| <input type="checkbox"/> | <input type="checkbox"/> | Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations). |
| <input type="checkbox"/> | <input type="checkbox"/> | Complex and large-scale proposals may require additional technical studies and plans. |

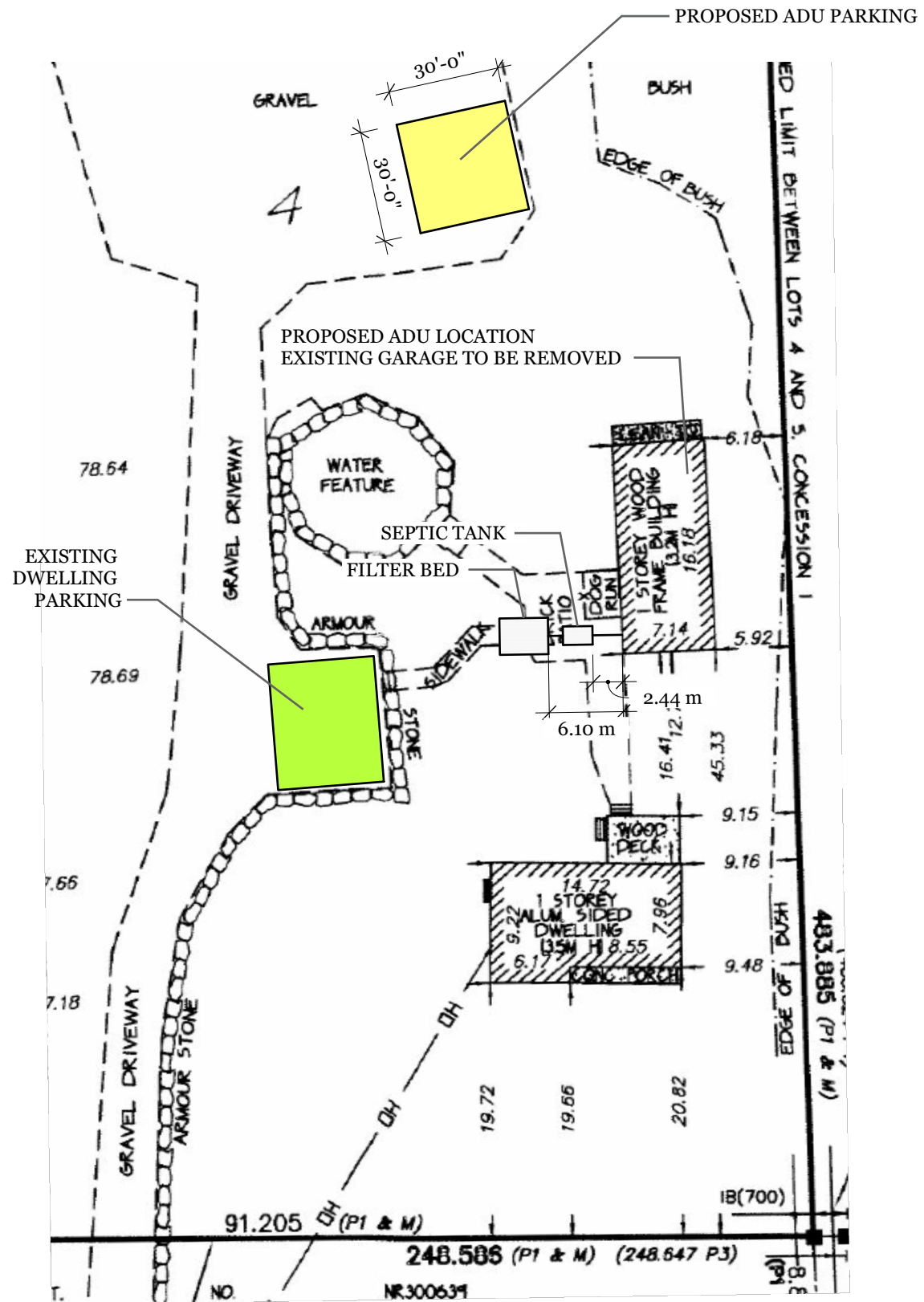
For Office Use Only	
Application Submitted:	
Complete Application:	
Application Fee:	Paid:
Board Approval Required Date of Board Meeting:	

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.



BUILDING SUMMARY

EXISTING:
PAVILION = 111 SQM
PRIMARY DWELLING = 144 SQM
GARAGE = 120.4 SQM

PROPOSED:
ADU = 120.4 SQM, HEIGHT = 8.0 M

EXISTING GARAGE REPLCAED W/ NEW ADU (BOTTOM FLOOR GARAGE)

UFA

EXISTING DWELLING UFA = 133.8 (MAIN FLOOR) + 139.8 (FINISHED BASEMENT) = 273.8 SQM
MAXIMUM UFA OF PROPOSED ADU = 45% OF 273.8 SQM = 123.1 SQM
PROPOSED ADU = 115.4 SQM (MAIN FLOOR) 115.4 SQM < 123.1 (45%)

ADU SETBACKS

SIDE LOT 1 = 5.92 M
SIDE LOT 2 = 233 M
REAR LOT = 395 M
FRONT LOT = 45.63 M
PRIMARY DWELLING = 16.41 M

PROPOSED ADU PARKING	D
Scale: 1:500	01

Owner: Duncan Amos & April Grose

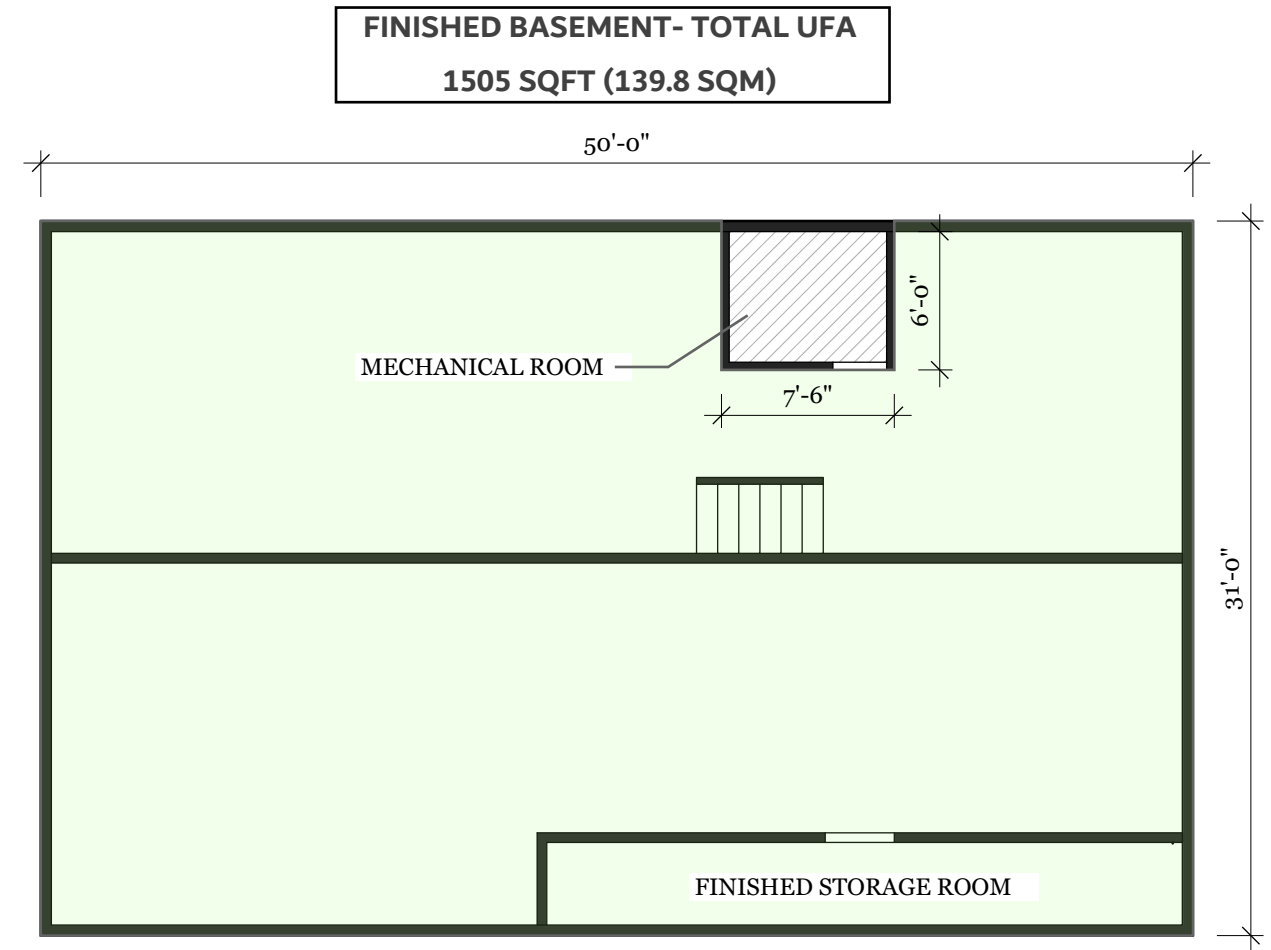
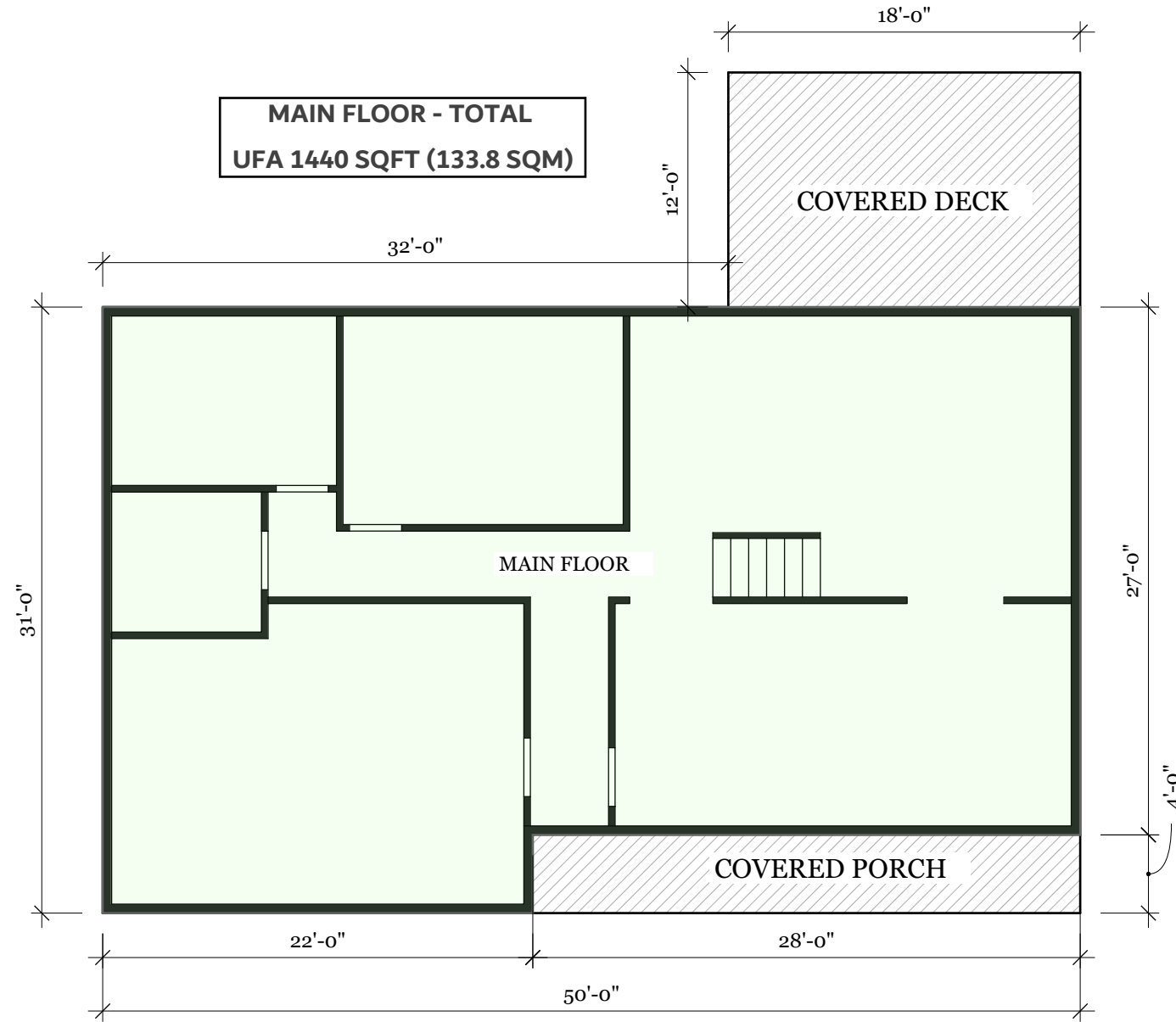
Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 30/10/22	Issued For Coordination	
2	...	
3	...	
4	...	
5	...	

00

A



UFA OF EXISTING DWELLING P

Scale: 1:100 01

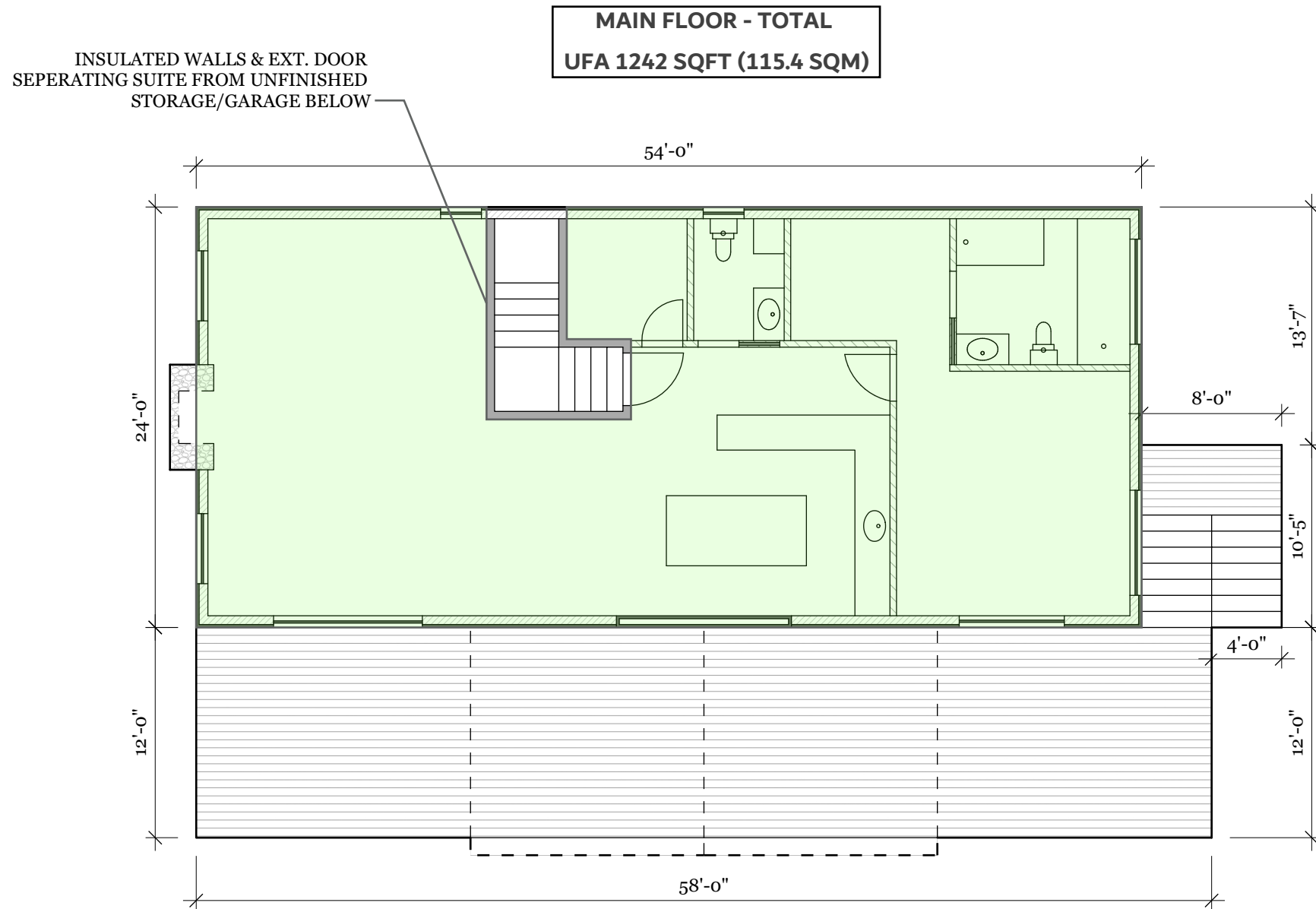
Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 30/10/22	Issued For Coordination	
2 ---/---/---	...	
3 ---/---/---	...	
4 ---/---/---	...	
5 ---/---/---	...	

A 01



PROPOSED ADU UFA **P**
Scale: 1:100 02

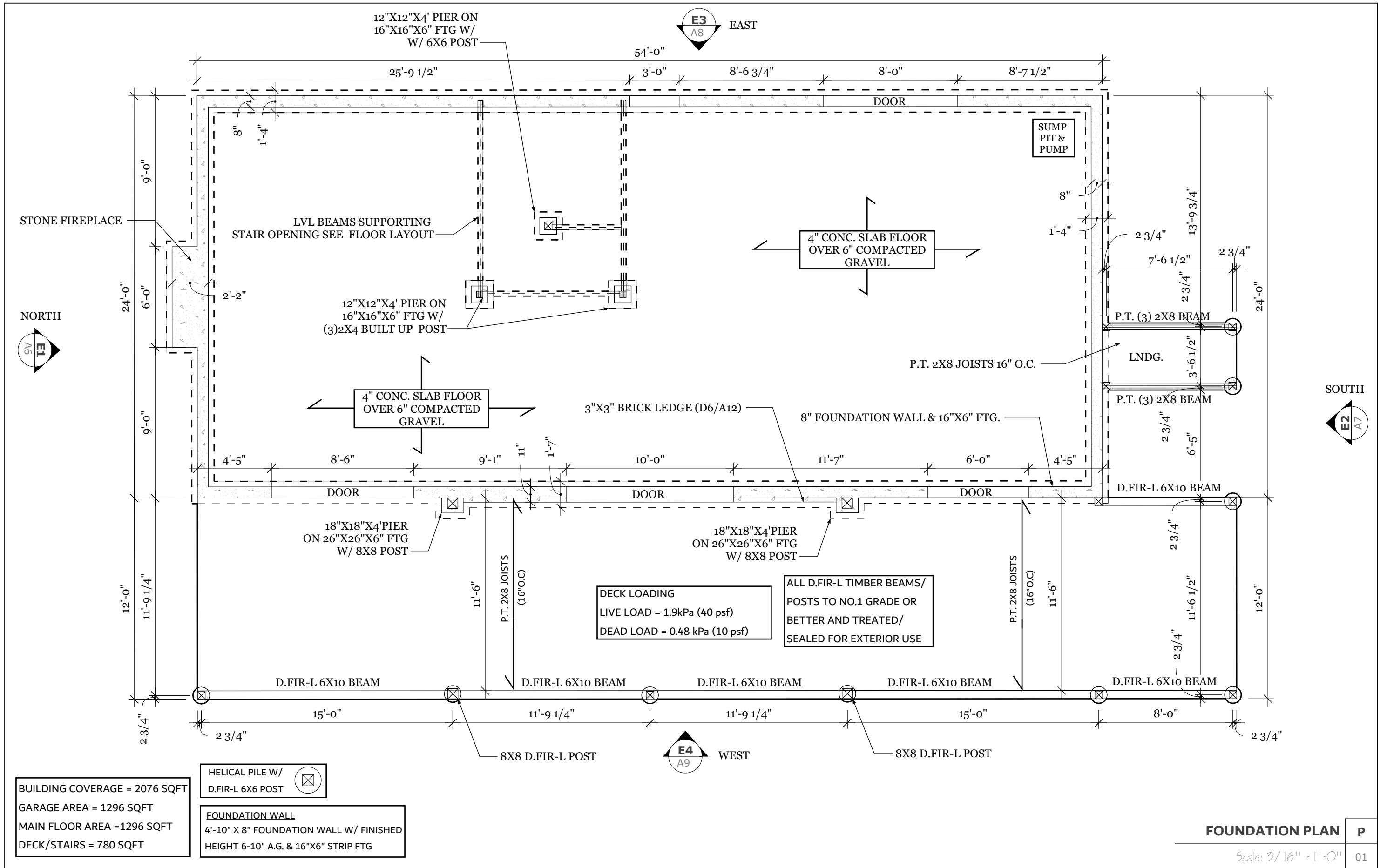
Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover



REVISIONS	
DD/MM/YY	REMARKS
1 30/10/22	Issued For Coordination
2 ---/---/---	...
3 ---/---/---	...
4 ---/---/---	...
5 ---/---/---	...

A 02



BUILDING COVERAGE = 2076 SQFT
 GARAGE AREA = 1296 SQFT
 MAIN FLOOR AREA = 1296 SQFT
 DECK/STAIRS = 780 SQFT

HELICAL PILE W/
 D.FIR-L 6X6 POST

FOUNDATION WALL
 4'-10" X 8" FOUNDATION WALL W/ FINISHED
 HEIGHT 6-10" A.G. & 16"X6" STRIP FTG

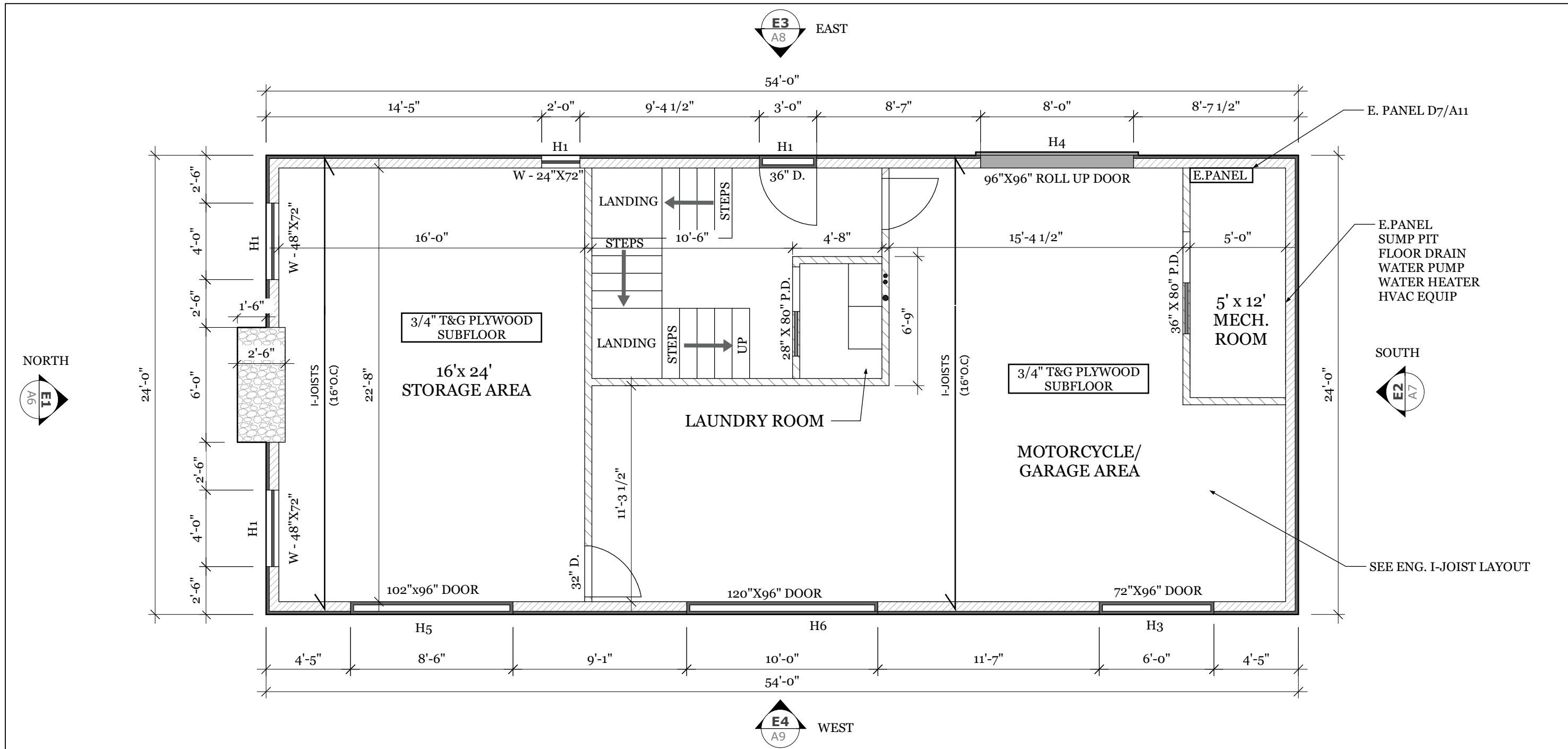
FOUNDATION PLAN P
 Scale: 3/16" = 1'-0" 01

Owner: Amos Family
 Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
---	...	
---	...	
---	...	

A 01



FLOOR PLAN NOTES:

GENERAL:

- 1) ALL FOUNDATION & FRAMING AS PER O.B.C REQUIREMENTS OR ATTACHED ENG. SPECS
- 2) ALL BEAMS TO BE FLUSH FRAMED W/ JOISTS ON HANGERS ACCORDINGLY
- 3) SUMP & UTILITY LOCATIONS TO BE DETERMIND ON SITE AT TIME OF CONSTRUCTION

STAIRS:

- 1) PROVIDE HANDRAIL/GUARD ON ALL OPEN SIDES
- 2) MAX RISE 7 7/8" PROPOSED RUN 10"

INTERIOR LINTELS/HEADERS: 2(2X8) - 4' MAX SPAN, 2(2X10) - 5' MAX SPAN

NAME	SIZE	#
H1	(2) 2X8 SPF	8
H2	(3) 2X8 SPF	3
H3	(3) 2X10 SPF	2
H4	5 1/4" X 9 1/2" LVL	2
H5	5 1/4" X 11 7/8" LVL	1
H6	5/14" X 14" LVL	1

GARAGE/STORAGE

P

Scale: 3/16" = 1'-0"

02

Owner: Amos Family

Address: 321 Radical Rd, Port Dover

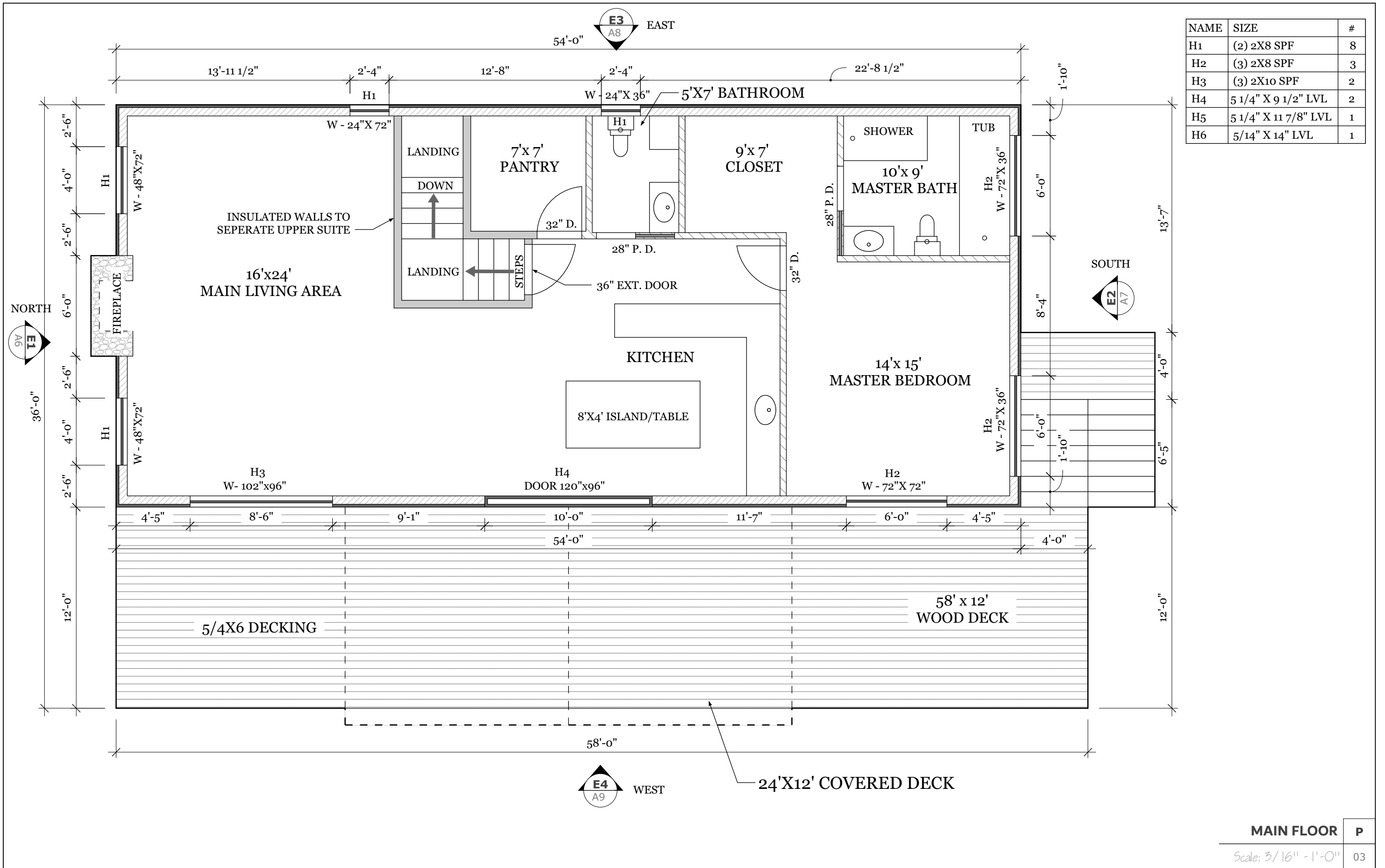


REVISIONS

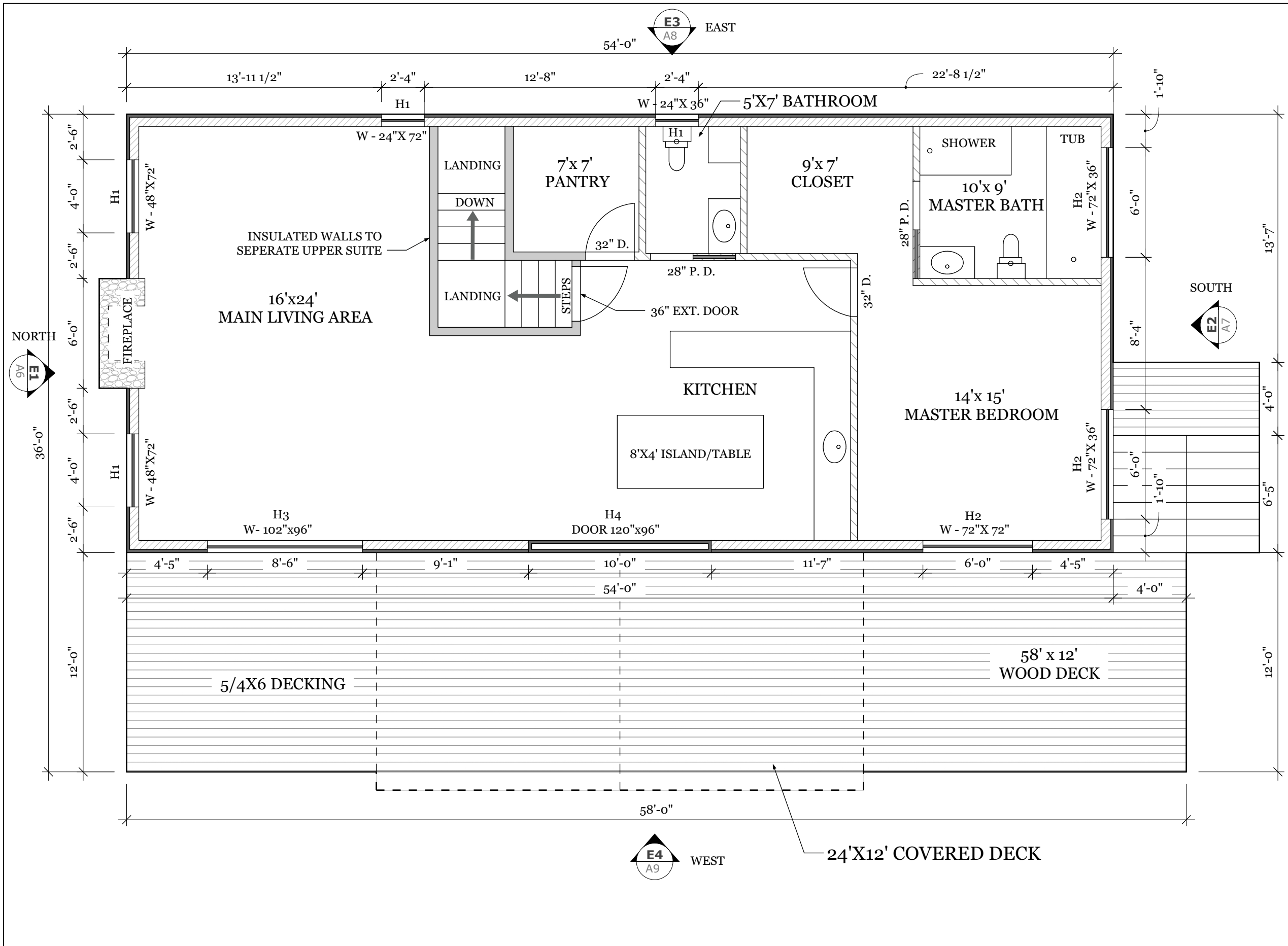
DD/MM/YY	REMARKS
03/10/22	Issued For Review
02/11/22	Issued For Coordination
---	---
---	---
---	---

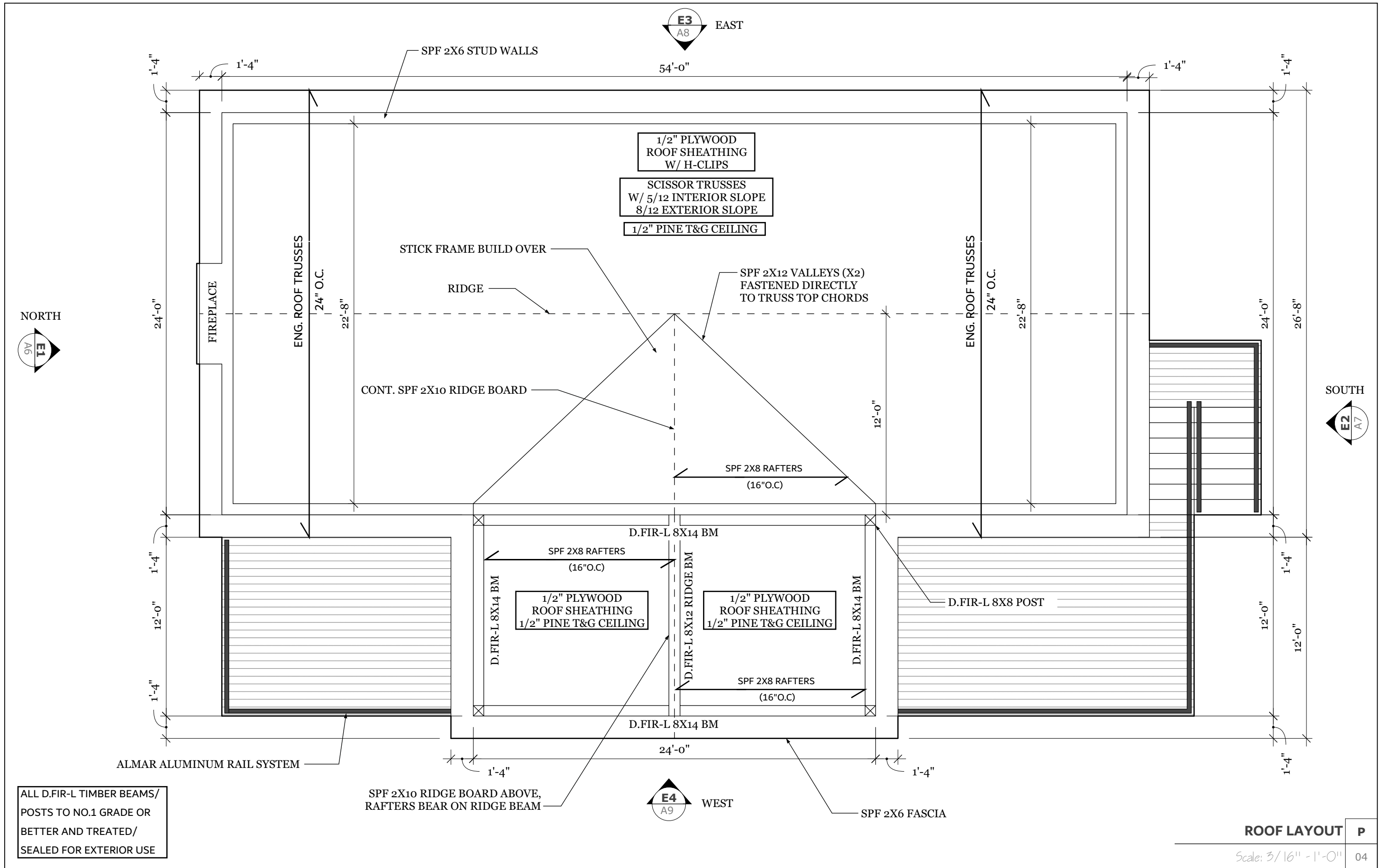
A 02

A



NAME	SIZE	#
H1	(2) 2X8 SPF	8
H2	(3) 2X8 SPF	3
H3	(3) 2X10 SPF	2
H4	5 1/4" X 9 1/2" LVL	2
H5	5 1/4" X 11 7/8" LVL	1
H6	5/14" X 14" LVL	1





ALL D.FIR-L TIMBER BEAMS/
POSTS TO NO.1 GRADE OR
BETTER AND TREATED/
SEALED FOR EXTERIOR USE

ROOF LAYOUT P

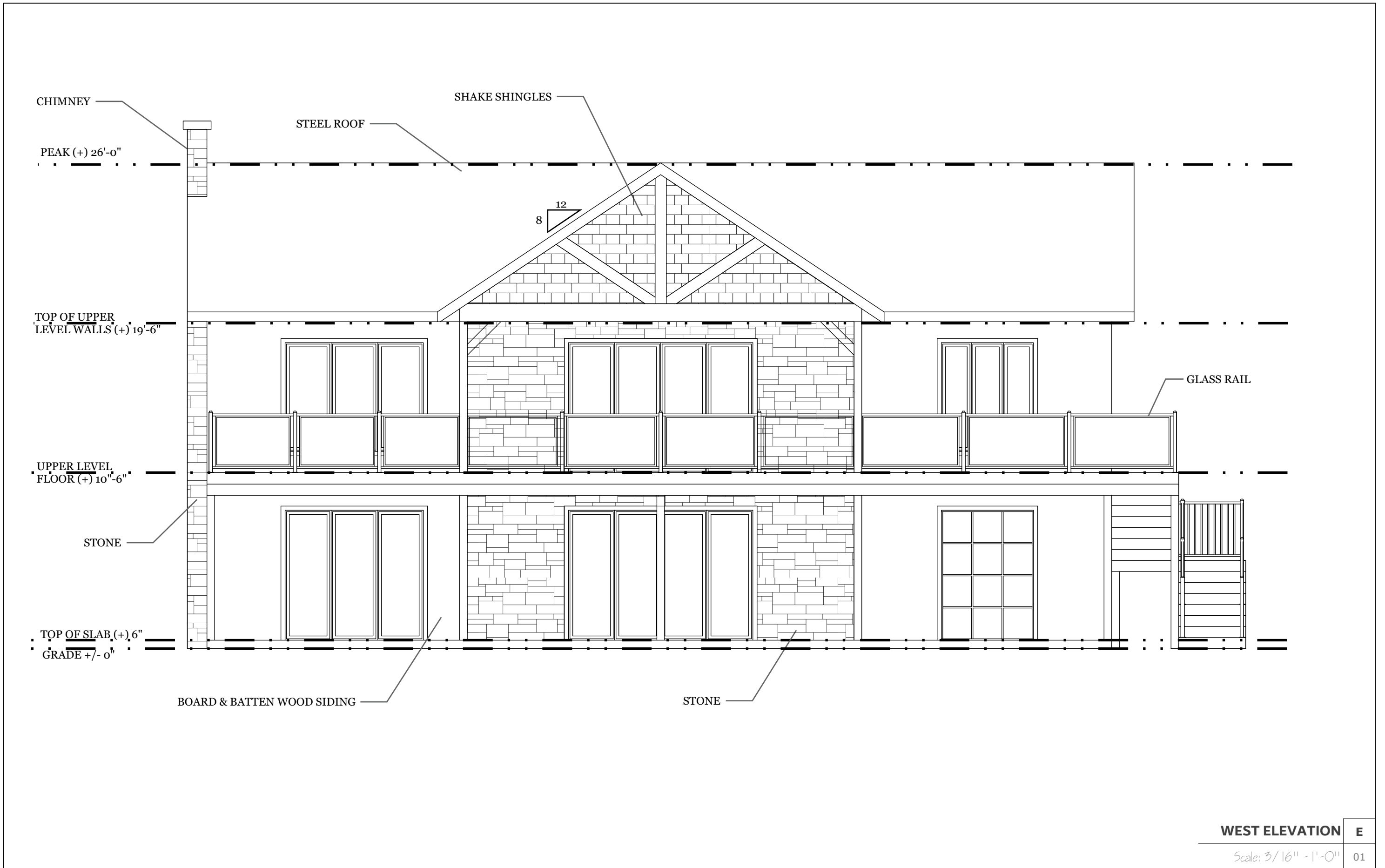
Scale: 3/16" = 1'-0" 04

Owner: Amos Family
Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1	03/10/22	Issued For Review
2	02/11/22	Issued For Coordination
3	---/---/---	...
4	---/---/---	...
5	---/---/---	...

A 04



WEST ELEVATION E

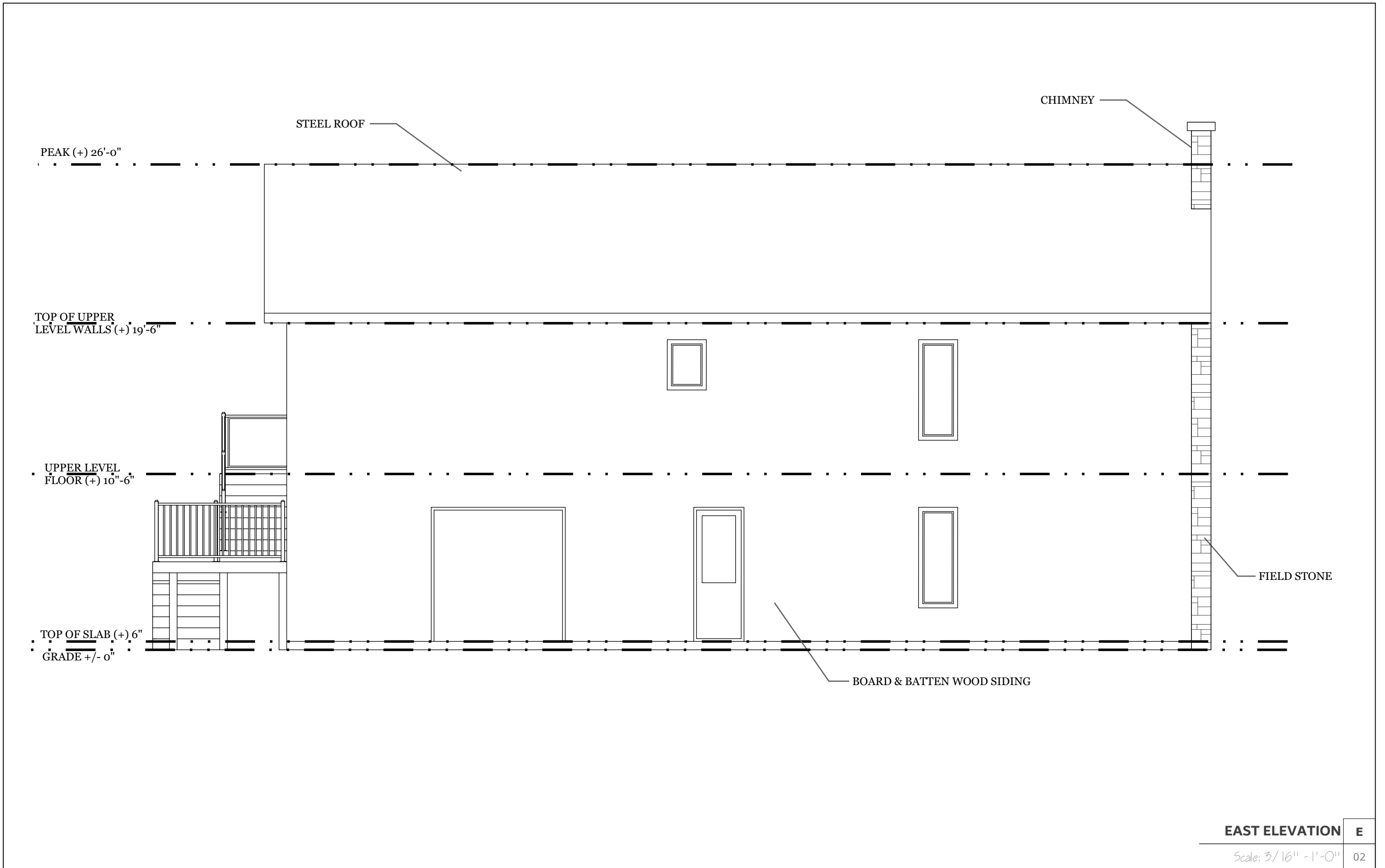
Scale: 3/16" = 1'-0" 01

Owner: Amos Family
 Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

A 05



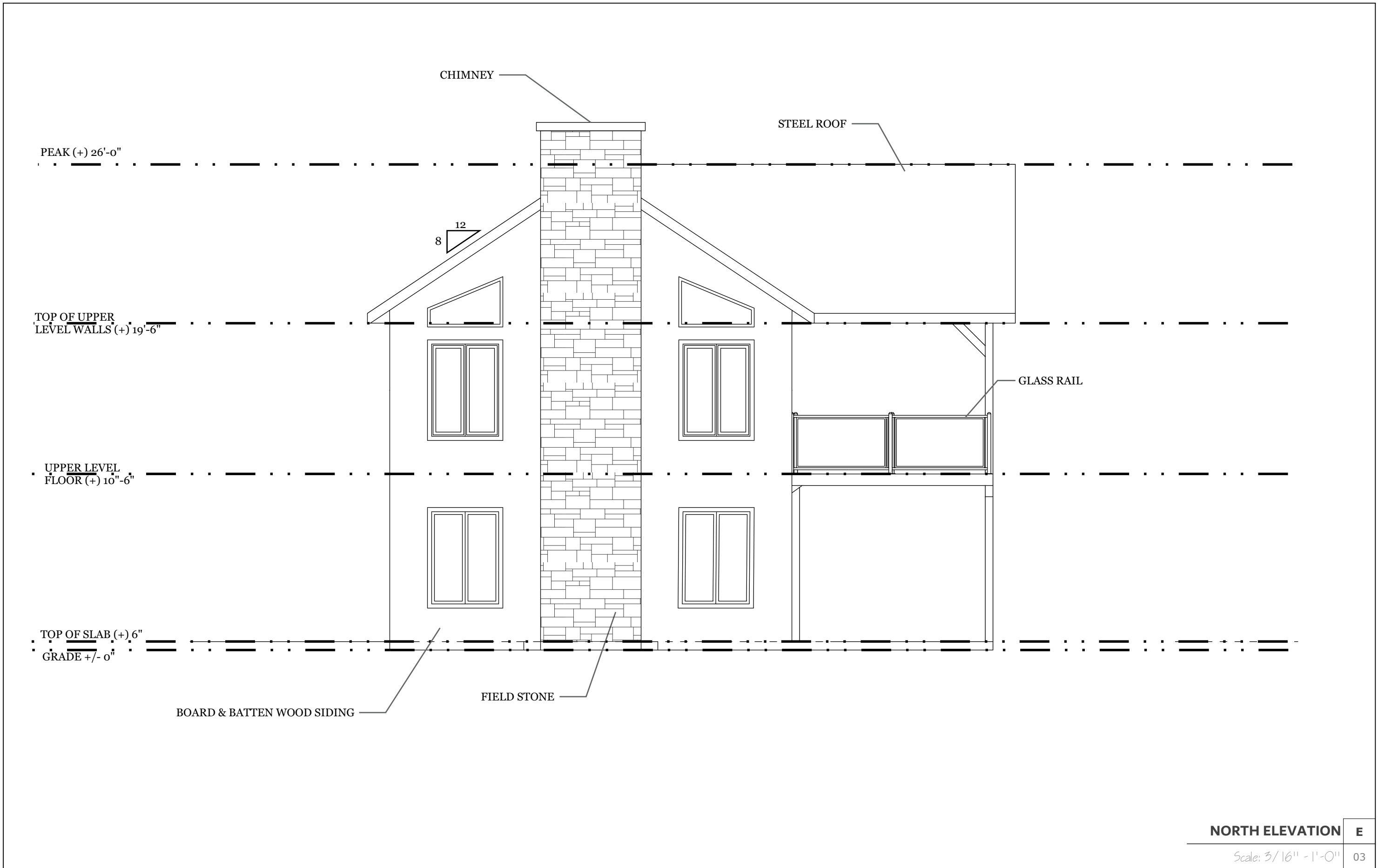
Owner: Amos Family

Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

A 06



NORTH ELEVATION **E**

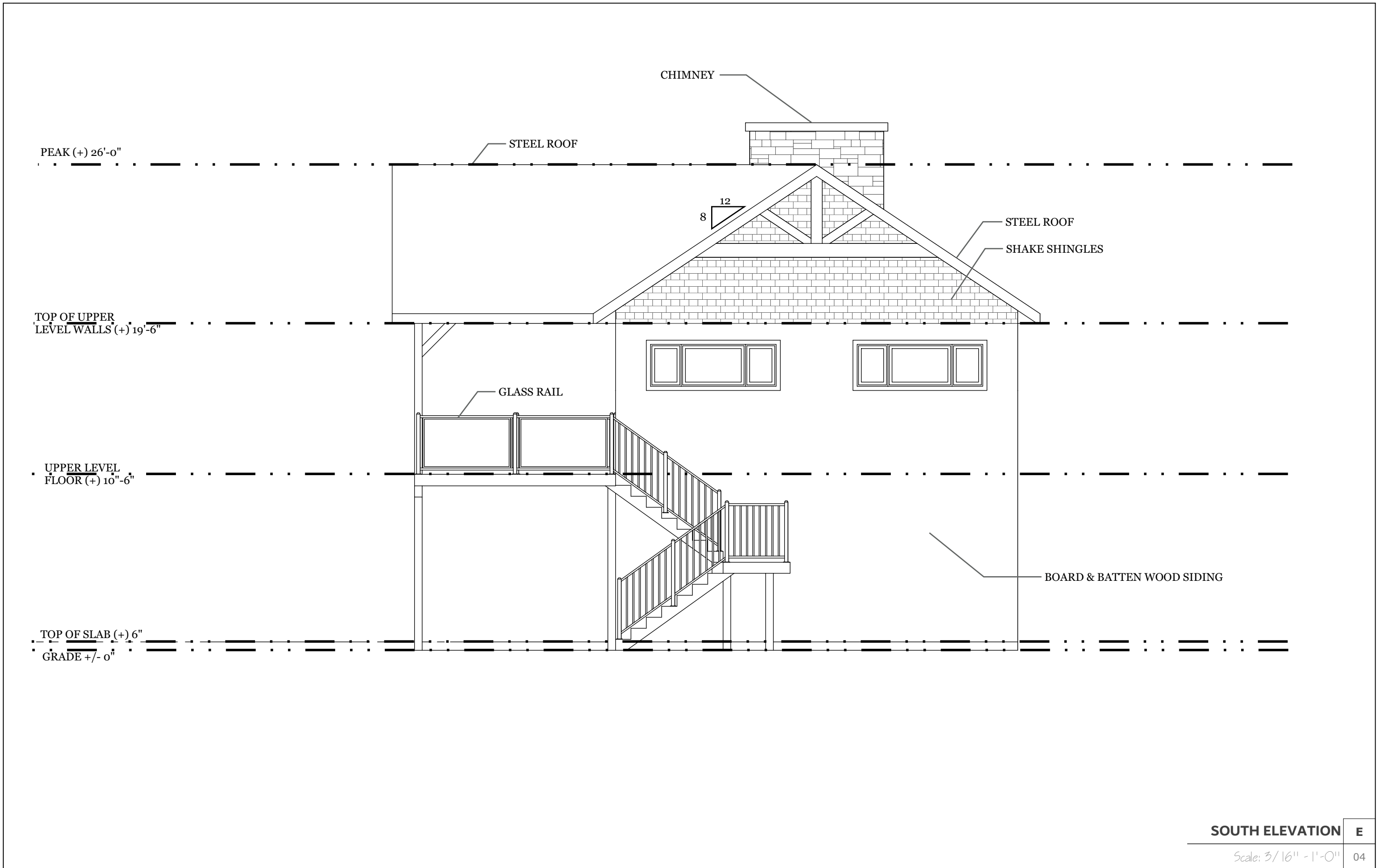
Scale: 3/16" = 1'-0" 03

Owner: Amos Family
 Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

A 07



SOUTH ELEVATION **E**

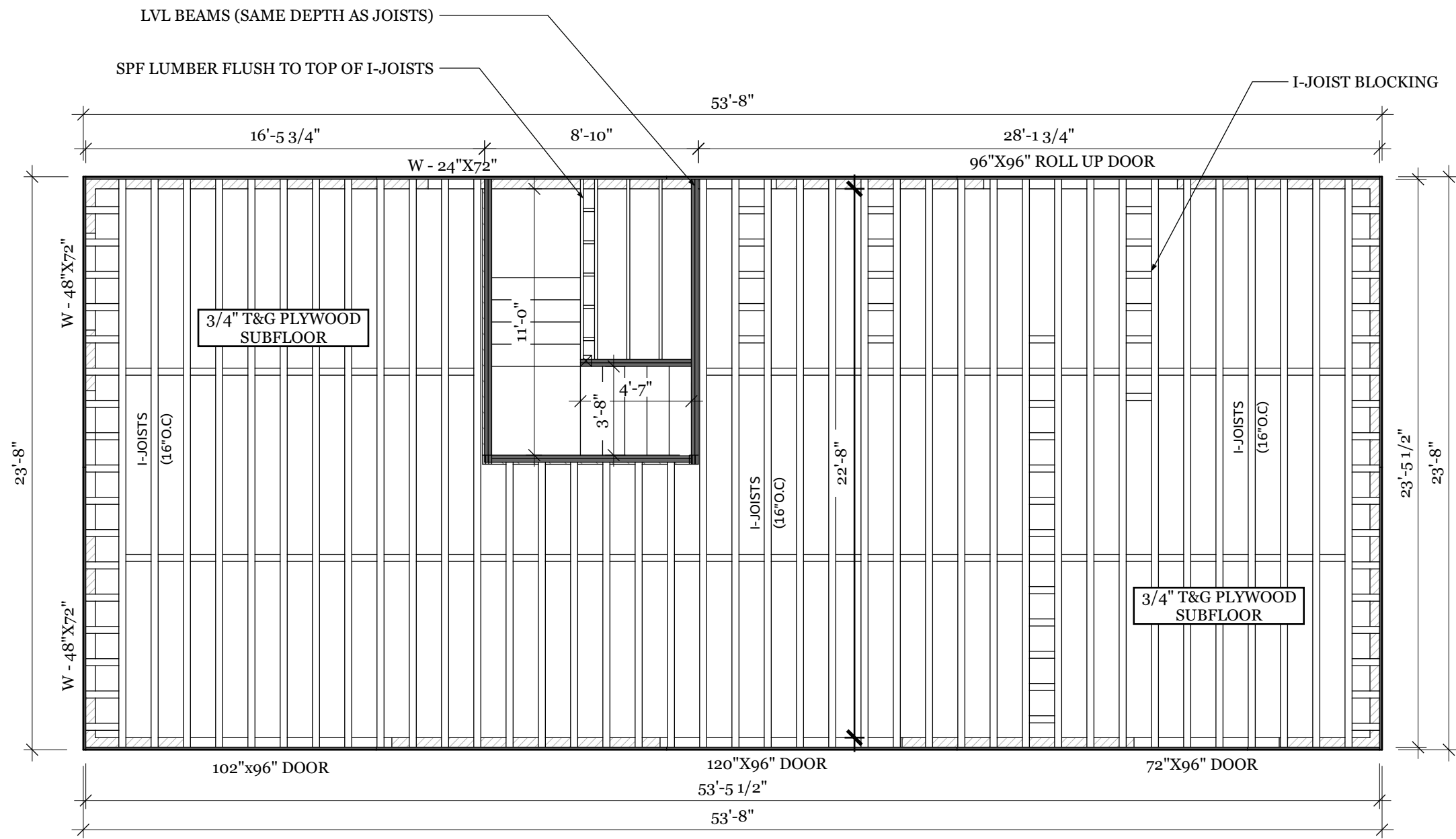
Scale: 3/16" = 1'-0" 04

Owner: Amos Family
 Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

A 08



I-JOIST FLOOR LAYOUT **D**

Scale: 3/16" = 1'-0" 01

Owner: Amos Family

Address: 321 Radical Rd, Port Dover



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 --/--/--	...	
4 --/--/--	...	
5 --/--/--	...	

A 09

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*


For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>NORFOLK COUNTY</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name <u>321 RADICAL ROAD - SIMCOE</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N3Y 4K2</u>	Plan number/other description	
Project value est. \$ <u>\$ 12,000.⁰⁰</u>		Area of work (m ²) <u>35 m²</u>	
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building <u>CLASS 4 SEPTIC SYSTEM</u>		Current use of building <u>CLASS 4 SEPTIC SYSTEM</u>	
Description of proposed work <u>INSTALL A CLASS 4 SEPTIC SYSTEM CONSISTING OF A NEW L CONCRETE SEPTIC TANK AND A FILTER BED USING INFILTRATOR ED-3G CHAMBERS</u>			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input checked="" type="checkbox"/> Authorized agent of owner			
Last name <u>DOVE</u>		First name <u>ED</u>	Corporation or partnership <u>STEALTH ENVIRONMENTAL INC.</u>
Street address <u>1809 8TH CONCESSION ROAD - LANGTON</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N0E 1G0</u>	Province <u>ONTARIO</u>	E-mail <u>EdDove@stealthenvironmental.ca</u>
Telephone number <u>(519) 426-7108</u>		Fax ()	Cell number <u>(519) 420-0266</u>
D. Owner (if different from applicant)			
Last name <u>AMOS</u>		First name <u>DUNCAN</u>	Corporation or partnership
Street address <u>321 RADICAL ROAD - SIMCOE</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N3Y 4K2</u>	Province <u>ONTARIO</u>	E-mail
Telephone number ()		Fax ()	Cell number ()

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()	Cell number ()	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I, <u>ED DOVE - SREALTH ENVIRONMENTAL INC.</u> declare that:				
(print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
<u>NOVEMBER 15/2022</u>		<u>[Signature]</u>		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

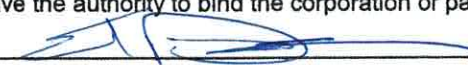
Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information			
Building number, street name 321 RADICAL ROAD		Unit no.	Lot/con.
Municipality NORFOLK COUNTY	Postal code	Plan number/ other description	
B. Individual who reviews and takes responsibility for design activities			
Name ED DOVE		Firm STEALTH ENVIRONMENTAL INC.	
Street address 1809 8 TH CONCESSION ROAD - LANGTON		Unit no.	Lot/con.
Municipality NORFOLK COUNTY	Postal code N9E 1G0	Province ONTARIO	E-mail Ed.Dove@stealthenvironmental.ca
Telephone number (519) 426-7108	Fax number ()	Cell number (519) 420-0266	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings <input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection <input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input checked="" type="checkbox"/> On-site Sewage Systems			
Description of designer's work DESIGN AND INSTALLATION OF A NEW SEPTIC SYSTEM TO SERVICE THE NEW ACCESSORY DWELLING			
D. Declaration of Designer			
I, <u>ED DOVE</u> declare that (choose one as appropriate): (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>38259</u> Firm BCIN: <u>38413</u>			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
<input type="checkbox"/> The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
<u>NOVEMBER 15/2022</u>			
Date		Signature of Designer	

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name 321 RADICAL ROAD		Unit number	Lot/con.
Municipality NORFOLK COUNTY	Postal code N3Y 4K2	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input checked="" type="checkbox"/> Yes (Continue to Section C)		<input type="checkbox"/> No (Continue to Section E) <input type="checkbox"/> Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name STEALTH ENVIRONMENTAL INC.		BCIN 38413	
Street address 1809 8 TH CONCESSION ROAD - LANGSTON		Unit number	Lot/con.
Municipality NORFOLK COUNTY	Postal code N0E 1G0	Province ONTARIO	E-mail Ed.Dove@stealthenvironmental.ca
Telephone number (519) 426-7108	Fax ()	Cell number (519) 420-0266	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s) ED DOVE		Building Code Identification Number (BCIN) 38259	
E. Declaration of Applicant:			
I, <u>ED DOVE - STEALTH ENVIRONMENTAL INC.</u> declare that: (print name)			
<input type="checkbox"/> I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;			
OR			
<input type="checkbox"/> I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
<u>NOVEMBER 15/22</u> Date		 Signature of applicant	

Project Address: 321 RADICAL ROAD

Septic Permit System Summary / Overview		
Applicable Law Documents Attached (check all applicable)	<input type="checkbox"/> Conservation Authority Approval <input type="checkbox"/> Source Water Protection <input type="checkbox"/> Construction in Hazard Lands	<input type="checkbox"/> Site Plan Approval <input type="checkbox"/> Minor Variance <input type="checkbox"/> Grading Plan (raised beds)
Total Number of Bedrooms <u>1</u>	Total Number of Fixture Units _____	
Total Finished Floor Area _____ m ² _____ sq.ft		Daily Design Flow (Q) (litre/day) _____
<input type="checkbox"/> Residential (dwelling) <input type="checkbox"/> Camp for the Housing of Workers <input type="checkbox"/> Other occupancy (Identify) _____		
Water Supply: <input type="checkbox"/> Municipal <input type="checkbox"/> Dug Well <input checked="" type="checkbox"/> Drilled well <input type="checkbox"/> Shallow Well Point <input type="checkbox"/> Other: _____	Type of Native Soil: <u>SAND</u> <input checked="" type="checkbox"/> Soils Analysis attached Percolation rate ('T' time): <u>8</u> Depth to water table: <u>Just 30 FT</u> Slope of land in tile bed area <u>1</u> %	Type of Imported Fill: <input type="checkbox"/> Soils Analysis attached Percolation rate ("t" time): _____
Class of System <input type="checkbox"/> Class 2 – Greywater <input checked="" type="checkbox"/> Class 4 – Leaching Bed System <input type="checkbox"/> Class 5 – Holding Tank		
System Components (Complete all that apply)	<input checked="" type="checkbox"/> Septic tank capacity (L) <u>3600 L</u> <input type="checkbox"/> Pump capacity (L) _____ <input type="checkbox"/> Distribution Box _____ <input type="checkbox"/> Other (please specify) _____ <input type="checkbox"/> Advance Treatment Unit capacity: (L) _____ Manufacture and Model _____	
Method of Distribution Pipe Detection	<input checked="" type="checkbox"/> magnetic means <input type="checkbox"/> tracer wire (14 gauge TW solid copper light coloured plastic coated) <input type="checkbox"/> other means (please specify) _____	
Complete A, B, C, D, E, or F – Class 4 Systems Only		
A. ABSORPTION TRENCH <input type="checkbox"/> In- ground <input type="checkbox"/> Raised <input type="checkbox"/> Distribution pipe <input type="checkbox"/> Leaching chambers <input type="checkbox"/> Type I <input type="checkbox"/> Type II Length of pipe _____ m <input type="checkbox"/> Mantel Required Mantel Area _____ m ²	B. FILTER BED <input checked="" type="checkbox"/> In- ground <input type="checkbox"/> Raised Effective Area: _____ m ² Contact Area: _____ m ² <input checked="" type="checkbox"/> Distribution pipe <input type="checkbox"/> Leaching chambers <input type="checkbox"/> Type I <input type="checkbox"/> Type II <input type="checkbox"/> Mantel Required Mantel Area _____	C. SHALLOW BURIED TRENCH Type: _____ Length of chamber: _____ m
D. ADVANCE TREATMENT SYSTEM (BMEC & CAN/BNQ) <input type="checkbox"/> BMEC authorization provided <input type="checkbox"/> CAN/BNQ authorization provided <input type="checkbox"/> Service agreement provided Mantel area: _____ m ² Stone layer area: _____ m ² Sand layer area: _____ m ² <input type="checkbox"/> System specifications provided <input type="checkbox"/> Manufacturer's installation manual provided	E. TYPE A DISPERSAL BED <input type="checkbox"/> In- ground <input type="checkbox"/> Raised Length of pipe _____ m Mantel Area _____ m ² Stone layer area: _____ m ² Sand layer area: _____ m ²	F. TYPE B DISPERSAL BED <input type="checkbox"/> In- ground <input type="checkbox"/> Raised Stone layer area _____ m ² Linear loading rate <input type="checkbox"/> 40 L/m <input type="checkbox"/> 50 L/m

Worksheet A: Dwellings - Daily Design Flow Calculations (Q)

A) Residential Occupancy		(Q) Litres	Total
Number of Bedrooms	1 Bedroom	750	750
	2 Bedrooms	1100	
	3 Bedrooms	1600	
	4 Bedrooms	2000	
	5 Bedrooms	2500	
Subtotal (A)			750

B) Plus Additional Flow for:			
Note: Use the largest additional flow calculation to determine Daily Design Flow (Q). If none apply Subtotal (B) is zero.			
	Quantity	(Q) Litres	Total
Either	Each bedroom over 5	500	
Or	Floor space for each 10m ² over 200m ² up to 400m ²	100	
	Floor space for each 10m ² over 400m ² up to 600m ²	75	
	Floor space for each 10m ² over 600m ²	50	
Or	Each Fixture Unit over 20 fixture Units (Total of Worksheet B - 20 = Quantity)	2	100
Subtotal (B)			
Subtotal A+B=Daily Design Flow (Q)			

Worksheet B: Dwellings Fixture Unit Count

Fixtures	Units		How Many?	Total
Bath group (toilet, sink, tub or shower) with flush tank	6.0	X	2	= 12
Bathtub only(with or without shower)	1.5	X		=
Shower stall	1.5	X		=
Wash basin / Lavatory (1.5 inch trap)	1.5	X	1	= 1.5
Water closet (toilet) tank operated	4.0	X	1	= 4.0
Bidet	1.0	X		=
Dishwasher	1.0	X		=
Floor Drain (3 inch trap)	3.0	X		=
Sink (with/without garbage grinder, domestic and other small type single, double or 2 single with a common trap)	1.5	X	1	= 1.5
Domestic washing machine	1.5	X		= 1.5
Combination sink and laundry tray single or double (installed on 1.5 inch trap)	1.5	X		= 1.5
Other:				
Total Number of Fixture Units:				22

1. Refer to Ontario Building Code Division B Table 7.4.9.3 for a complete listing of fixture types and units.
2. Where the laundry waste is not more than 20% of the total daily design flow, it may discharge to the sewage system. OBC 8.1.3.1(2)
3. Sump pumps are not to be connected to the sewage system. Connection to sewage system may lead to a hydraulic failure of the system.

Worksheet C: Other occupancies types

Camp for the Housing of Workers	Number of Employees	(Q) Litres	Total
Note: building size, number of bedrooms and fixture count are not required for a Camp for the Housing of Workers		250	
Daily Design Flow (Q)			

Other Occupancy Daily Design Flow Calculation (Q)

To calculate the daily design flow for occupancies, please refer to Ontario Building Code Division B – Part 8 Table 8.2.1.3.B

Establishment	Operator Example: number of seats, per floor area, number of employees/students	Volume Litres	Total
Daily Design Flow (Q)			

Work Sheet D: Septic Tank Size

Minimum septic tank size permitted by the Ontario Building Code is 3600 litres.

Occupancy type	Daily Design Flow (Q)	Minimum tank size (L)
Residential Occupancy house, apartment, camp for housing of workers	850 x 2 =	1,700L
All Other Occupancies	x 3 =	

Worksheet E: Leaching Bed Calculations (Class 4)

Part 1: Complete All	
Type of leaching bed (select one)	
<input type="checkbox"/> A. Absorption trench	<input checked="" type="checkbox"/> B. Filter Bed
<input type="checkbox"/> D. Advance Treatment System	<input type="checkbox"/> E. Type A Dispersal Bed
	<input type="checkbox"/> C. Shallow Buried Trench
	<input type="checkbox"/> F. Type B Dispersal Bed
Percolation rate of native soil (T): <u>8</u>	
Name of licensed testing agency: <u>NORFOLK SOILS ANALYSIS</u>	
<input checked="" type="checkbox"/> In ground system	Height raised above original grade (metres)
<input type="checkbox"/> Raised Bed system	
Mantel (if applicable) <input type="checkbox"/> Imported <input type="checkbox"/> Native Soil	
Q/loading rate = _____ m ²	Configured as: _____ m X _____ m

Part 2: Complete One of A, B, C, D, E, F									
<input type="checkbox"/> A. Absorption Trench									
Total length of distribution pipe	Conventional (Q x T) + 200 = _____ m Type I leaching chambers (Q x T) + 200 = _____ m Type II leaching chambers (Q x T) + 300 = _____ m Configured as: _____ runs of _____ m Total: _____ m								
<input checked="" type="checkbox"/> B. Filter Bed									
Effective Area If Q ≤ 3000 litres per day use Q + 75 If Q > 3000 litres per day use Q + 50 Level II-IV treatment units, use Q + 100 Distribution Pipe Contact Area = (Q x T) + 850 Mantel (see Part 1)	Effective area: <u>850</u> (Q) + <u>75</u> (75, 50, or 100) = <u>11.33</u> m ² Configured as: <u>3</u> m x <u>4</u> m Number of beds <u>1</u> Number of runs: <u>3</u> Spacing of runs: <u>Every Spaced</u> m Contact Area: (<u>850</u> (Q) X <u>8</u> (T)) + 850 = <u>8</u> m ² <u>N/A</u> m ²								
<input type="checkbox"/> C. Shallow Buried Trench									
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:15%;">Percolation time (T) of soil in minutes:</th> <th style="width:15%;">Length of distribution pipe (metres)</th> </tr> <tr> <td>1 < T ≤ 20</td> <td>Q + 75 metres</td> </tr> <tr> <td>20 < T ≤ 50</td> <td>Q + 50 metres</td> </tr> <tr> <td>50 < T < 125</td> <td>Q + 30 metres</td> </tr> </table>	Percolation time (T) of soil in minutes:	Length of distribution pipe (metres)	1 < T ≤ 20	Q + 75 metres	20 < T ≤ 50	Q + 50 metres	50 < T < 125	Q + 30 metres	(L) = _____ (Q) ÷ _____ (75, 50, 30) = _____ m Configured as: _____ runs of _____ m Total: _____ m
Percolation time (T) of soil in minutes:	Length of distribution pipe (metres)								
1 < T ≤ 20	Q + 75 metres								
20 < T ≤ 50	Q + 50 metres								
50 < T < 125	Q + 30 metres								
<input type="checkbox"/> D. Advance Treatment System									
Provided BMEC or CAN/BNQ approval, and manufacturer's system design documentation.									
<input type="checkbox"/> E. Type A Dispersal Bed									
Stone Layer If Q ≤ 3000 litres per day, use Q + 75 If Q > 3000 litres per day, use Q + 50 Sand Layer 1 < T ≤ 15 use (Q x T) + 850 T > 15 use (Q x T) + 400	Stone Layer = _____ (Q) + _____ (75 or 50) = _____ m ² Sand Layer = (_____ (Q) x _____ (T)) + (850 or 400) = _____ m ²								
<input type="checkbox"/> F. Type B Dispersal Bed									
Area = (Q X T) ÷ 400 Linear Loading Rate (LLR) T < 24 minutes, use 50 L/min If T ≥ 24 minutes, use 40 L/min	Area = (_____ (Q) x _____ (T)) ÷ 400 = _____ m ² Pump chamber capacity = _____ L Length (Q + LLR) = _____ m Bed configuration = _____ m x _____ m = _____ m ² Number of Beds = _____								
Distribution Pipe	Configured as: _____ runs of _____ m Total: _____ m								

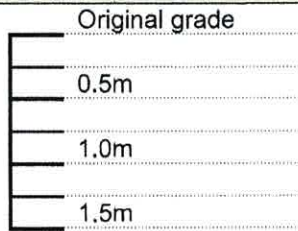
Worksheet F: Cross Sectional Drawings

Subsoil Investigation – Test pit

1. Soil sample to be taken at a depth of
2. Test pit to be a minimum 0.9m

Indicate level of rock and ground water level below original grade.

OVER 30 FT TO
WATER TABLE

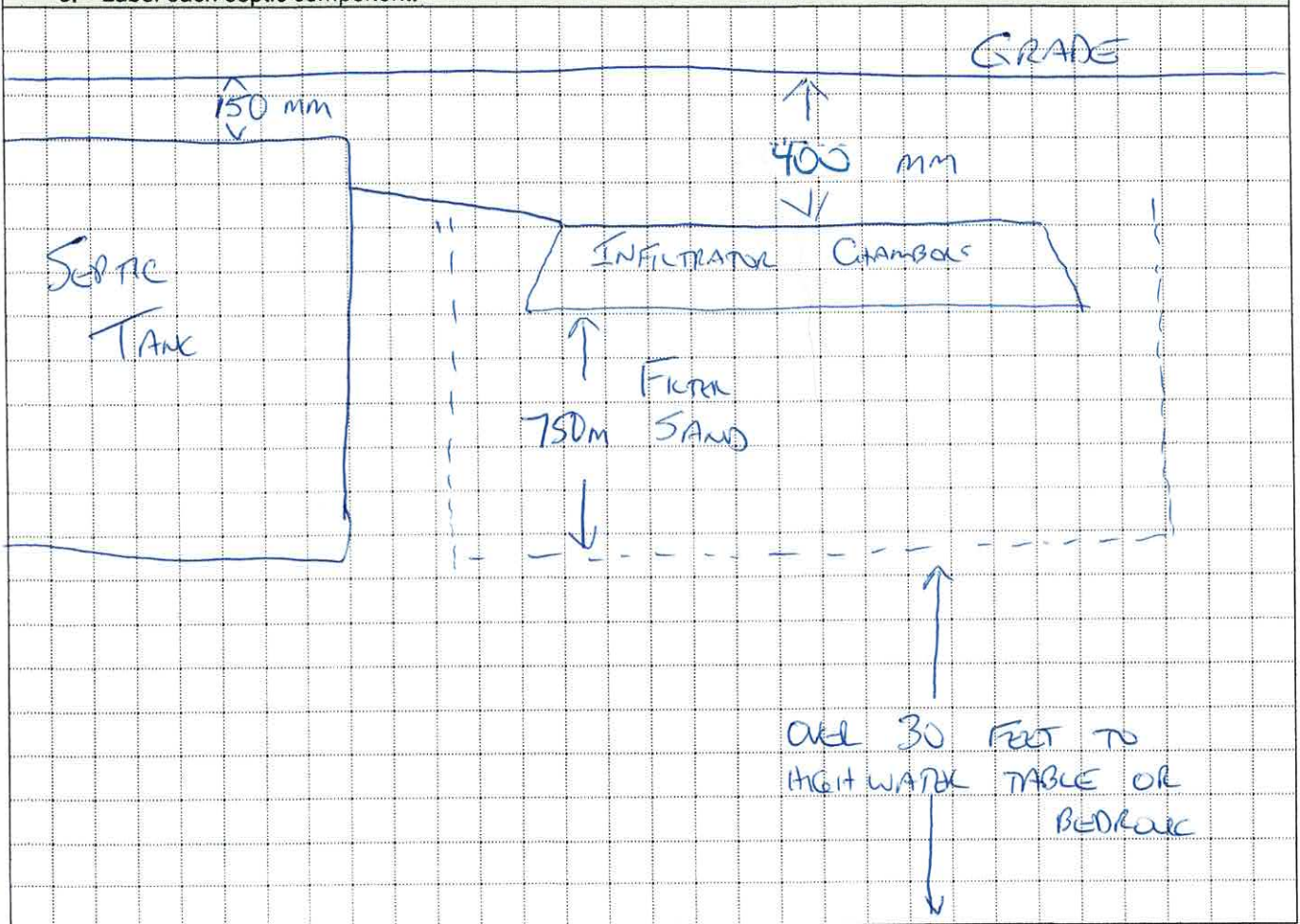


Soil and subgrade investigation. Indicate soil types

SAND

Cross sectional drawings are required for all septic systems

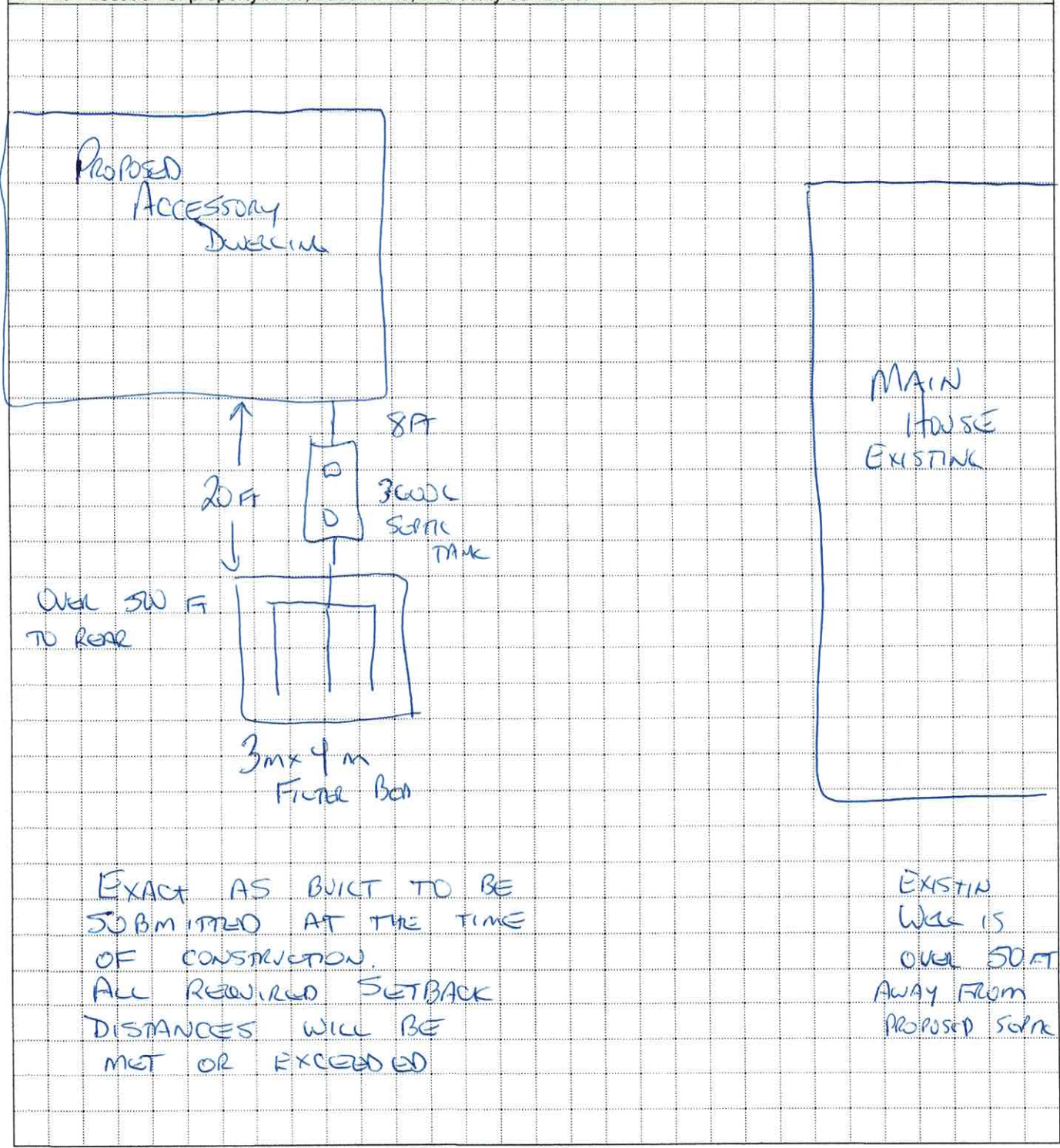
1. Location of existing grade.
2. Measurements to each component, distances to water table
3. Label each septic component.



Worksheet G: Septic Plot Plan

Please provide the following information on this work sheet:

1. Location of sewage system and its components (e.g. tank, leaching bed, pump chamber)
2. Location of all buildings, pools and wells on the property and neighbouring properties
3. Locate and show minimum clearances for treatment units and distribution piping of items. Ontario Building Code, Division B, Table 8.2.1.6.A. and 8.2.1.6.B.
4. Location of property lines, easements, and utility corridors.



EXACT AS BUILT TO BE
SUBMITTED AT THE TIME
OF CONSTRUCTION.
ALL REQUIRED SETBACK
DISTANCES WILL BE
MET OR EXCEEDED

EXISTING
WELL IS
OVER 50 FT
AWAY FROM
PROPOSED SEPTIC

NORFOLK SOILS ANALYSIS

(a division of 002068251 Ontario Inc.)

55 Gibson Drive, Simcoe ON N3Y3L1, 519 410 6111, email: norfolksoils@gmail.com

April 8, 2022

Invoice 2022043

To: Stealth Environmental Inc
1809 8th Concession Road
Langton ON N0E 1G0

Project: Soils Analysis: Property Owner; Duncan Amos, 321 Radical Road, Simcoe ON, Norfolk County

Soils analysis in accordance with Section 8.2.1.2 of the Ontario Building Code, The Unified soil Classification System, and ASTM D6913 of which the distribution graph representing the sample provided is attached.

Based on the testing of the materials as provided for testing, It is our opinion that the **Percolation Rate is $T = 8$ min/cm**. The drainage characteristics of the soil for the proposed septic system appears to be suitable for an in-ground leeching bed system.

The Laboratory Classification of the soils SP – Poorly graded sands, with moderate fines <12% specifically 5.74% of soil passing the No #200 sieve.

The Coefficient of Uniformity = 6.43
Coefficient of Curvature = 0.74

I trust this meets with your requirements for the soil sample provided.

Yours Truly,

D Free

D. R. Free, MBA, CPA, CET
BCIN 109582



Encls

Sieve Analysis Data Sheet

ASTM D422-63(2007)

Project Name: SA2022043 Tested By: DRF Date: 2022-04-08

Location: 321 Radical Road, Simcoe ON, Norfolk County Checked By: DRF Date: 2022-04-08
BCIN 109582

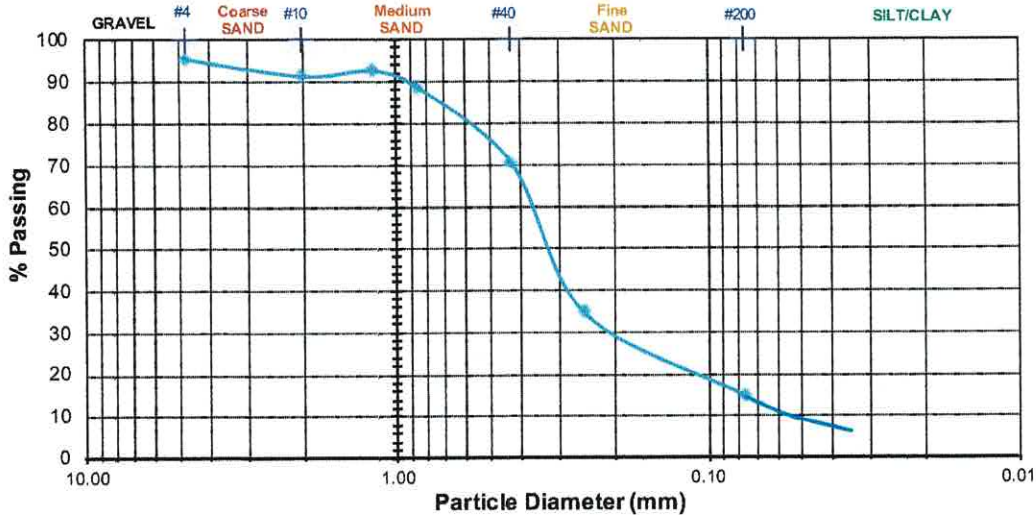
Client: Stealth Environmental Inc Property Owner: Duncan Amos
1809 8th Concession Road
Langton ON N0E 1G0

Boring No: NA Test Number: 1
 Sample Depth: NA Gnd Elev.: NA

USCS Soil Classification: SP - Poorly Graded Sands with fines <12%
 AASHTO Soil Classification: A-1-a

Weight of Container (g): 76.1 Weight of Container & Soil (g): 609.3
 Weight of Dry Sample (g): 477.8 Moisture Content %: 10.4%

Sieve Number	Diameter (mm)	Mass of Sieve (g)	Mass of Sieve & Soil (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
#4	4.75	749.6	771.9	22.3	4.7	95.3
#10	2.00	670.0	712.1	42.1	8.8	91.2
#16	1.18	653.0	666.9	13.9	2.9	92.4
#30	0.85	582.6	601.5	18.9	4.0	88.5
#50	0.43	561.6	648.9	87.3	18.3	70.2
#100	0.25	529.2	699.8	170.6	35.7	34.5
#200	0.075	512.1	607.4	95.3	19.9	14.5
Pan		283.1	310.5	27.4	5.7	0.0
TOTAL:				477.8	100.0	



Grain Size Distribution Curve Results:

% Gravel: 0.000 D₁₀: 0.056 C_u: 6.43
 % Sand: 94.265 D₃₀: 0.210 C_c: 0.741
 % Fines: 5.735 D₆₀: 0.360
 100.000



Notice to Reader & Limitations:

These test results are unique to this soil sample and for the client as identified on the date for which the tests were performed. These test results cannot be used by any other party other than the client stated above within the text of this report without the consultants prior written approval.

Application for a Permit to Construct or Demolish

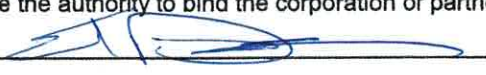
This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>NORFOLK COUNTY</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name <u>321 RADICAL ROAD - SIMCOE</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N3Y 4K2</u>	Plan number/other description	
Project value est. \$ <u>\$ 12,000.⁰⁰</u>		Area of work (m ²) <u>35 m²</u>	
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building <u>CLASS 4 SEPTIC SYSTEM</u>		Current use of building <u>CLASS 4 SEPTIC SYSTEM</u>	
Description of proposed work <u>INSTALL A CLASS 4 SEPTIC SYSTEM CONSISTING OF A NEW L CONCRETE SEPTIC TANK AND A FILTER BED USING INFILTRATOR ED-3G CHAMBERS</u>			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input checked="" type="checkbox"/> Authorized agent of owner			
Last name <u>DOVE</u>		First name <u>ED</u>	Corporation or partnership <u>STEALTH ENVIRONMENTAL INC.</u>
Street address <u>1809 8TH CONCESSION ROAD - LANGTON</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N0E 1G0</u>	Province <u>ONTARIO</u>	E-mail <u>EdDove@stealthenvironmental.ca</u>
Telephone number <u>(519) 426-7108</u>		Fax ()	Cell number <u>(519) 420-0266</u>
D. Owner (if different from applicant)			
Last name <u>AMOS</u>		First name <u>DUNCAN</u>	Corporation or partnership
Street address <u>321 RADICAL ROAD - SIMCOE</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N3Y 4K2</u>	Province <u>ONTARIO</u>	E-mail
Telephone number ()		Fax ()	Cell number ()

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality		Postal code	Province	E-mail
Telephone number ()		Fax ()	Cell number ()	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I, <u>ED DOVE - SREALTH ENVIRONMENTAL INC.</u> declare that:				
(print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
<u>NOVEMBER 15/2022</u>		<u>[Signature]</u>		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name 321 RADICAL ROAD		Unit number	Lot/con.
Municipality NORFOLK COUNTY	Postal code N3Y 4K2	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input checked="" type="checkbox"/> Yes (Continue to Section C)		<input type="checkbox"/> No (Continue to Section E) <input type="checkbox"/> Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name STEALTH ENVIRONMENTAL INC.		BCIN 38413	
Street address 1809 8 TH CONCESSION ROAD - LANGSTON		Unit number	Lot/con.
Municipality NORFOLK COUNTY	Postal code N0E 1G0	Province ONTARIO	E-mail Ed.Dove@stealthenvironmental.ca
Telephone number (519) 426-7108	Fax ()	Cell number (519) 420-0266	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s) ED DOVE		Building Code Identification Number (BCIN) 38259	
E. Declaration of Applicant:			
I, <u>ED DOVE - STEALTH ENVIRONMENTAL INC.</u> declare that: (print name)			
<input type="checkbox"/> I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;			
OR			
<input type="checkbox"/> I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
<u>NOVEMBER 15/22</u> Date		 Signature of applicant	

Project Address: 321 RADICAL ROAD

Septic Permit System Summary / Overview		
Applicable Law Documents Attached (check all applicable)	<input type="checkbox"/> Conservation Authority Approval <input type="checkbox"/> Source Water Protection <input type="checkbox"/> Construction in Hazard Lands	<input type="checkbox"/> Site Plan Approval <input type="checkbox"/> Minor Variance <input type="checkbox"/> Grading Plan (raised beds)
Total Number of Bedrooms <u>1</u>	Total Number of Fixture Units _____	
Total Finished Floor Area _____ m ² _____ sq.ft		Daily Design Flow (Q) (litre/day) _____
<input type="checkbox"/> Residential (dwelling) <input type="checkbox"/> Camp for the Housing of Workers <input type="checkbox"/> Other occupancy (Identify) _____		
Water Supply: <input type="checkbox"/> Municipal <input type="checkbox"/> Dug Well <input checked="" type="checkbox"/> Drilled well <input type="checkbox"/> Shallow Well Point <input type="checkbox"/> Other: _____	Type of Native Soil: <u>SAND</u> <input checked="" type="checkbox"/> Soils Analysis attached Percolation rate ('T' time): <u>8</u> Depth to water table: <u>Just 30 FT</u> Slope of land in tile bed area <u>1</u> %	Type of Imported Fill: <input type="checkbox"/> Soils Analysis attached Percolation rate ("t" time): _____
Class of System <input type="checkbox"/> Class 2 – Greywater <input checked="" type="checkbox"/> Class 4 – Leaching Bed System <input type="checkbox"/> Class 5 – Holding Tank		
System Components (Complete all that apply)	<input checked="" type="checkbox"/> Septic tank capacity (L) <u>3600 L</u> <input type="checkbox"/> Pump capacity (L) _____ <input type="checkbox"/> Distribution Box _____ <input type="checkbox"/> Other (please specify) _____ <input type="checkbox"/> Advance Treatment Unit capacity: (L) _____ Manufacture and Model _____	
Method of Distribution Pipe Detection	<input checked="" type="checkbox"/> magnetic means <input type="checkbox"/> tracer wire (14 gauge TW solid copper light coloured plastic coated) <input type="checkbox"/> other means (please specify) _____	
Complete A, B, C, D, E, or F – Class 4 Systems Only		
A. ABSORPTION TRENCH <input type="checkbox"/> In- ground <input type="checkbox"/> Raised <input type="checkbox"/> Distribution pipe <input type="checkbox"/> Leaching chambers <input type="checkbox"/> Type I <input type="checkbox"/> Type II Length of pipe _____ m <input type="checkbox"/> Mantel Required Mantel Area _____ m ²	B. FILTER BED <input checked="" type="checkbox"/> In- ground <input type="checkbox"/> Raised Effective Area: _____ m ² Contact Area: _____ m ² <input checked="" type="checkbox"/> Distribution pipe <input type="checkbox"/> Leaching chambers <input type="checkbox"/> Type I <input type="checkbox"/> Type II <input type="checkbox"/> Mantel Required Mantel Area _____	C. SHALLOW BURIED TRENCH Type: _____ Length of chamber: _____ m
D. ADVANCE TREATMENT SYSTEM (BMEC & CAN/BNQ) <input type="checkbox"/> BMEC authorization provided <input type="checkbox"/> CAN/BNQ authorization provided <input type="checkbox"/> Service agreement provided Mantel area: _____ m ² Stone layer area: _____ m ² Sand layer area: _____ m ² <input type="checkbox"/> System specifications provided <input type="checkbox"/> Manufacturer's installation manual provided	E. TYPE A DISPERSAL BED <input type="checkbox"/> In- ground <input type="checkbox"/> Raised Length of pipe _____ m Mantel Area _____ m ² Stone layer area: _____ m ² Sand layer area: _____ m ²	F. TYPE B DISPERSAL BED <input type="checkbox"/> In- ground <input type="checkbox"/> Raised Stone layer area _____ m ² Linear loading rate <input type="checkbox"/> 40 L/m <input type="checkbox"/> 50 L/m

Worksheet A: Dwellings - Daily Design Flow Calculations (Q)

A) Residential Occupancy		(Q) Litres	Total
Number of Bedrooms	1 Bedroom	750	750
	2 Bedrooms	1100	
	3 Bedrooms	1600	
	4 Bedrooms	2000	
	5 Bedrooms	2500	
Subtotal (A)			750

B) Plus Additional Flow for:			
Note: Use the largest additional flow calculation to determine Daily Design Flow (Q). If none apply Subtotal (B) is zero.			
	Quantity	(Q) Litres	Total
Either	Each bedroom over 5	500	
Or	Floor space for each 10m ² over 200m ² up to 400m ²	100	
	Floor space for each 10m ² over 400m ² up to 600m ²	75	
	Floor space for each 10m ² over 600m ²	50	
Or	Each Fixture Unit over 20 fixture Units (Total of Worksheet B - 20 = Quantity)	2	100
Subtotal (B)			
Subtotal A+B=Daily Design Flow (Q)			

Worksheet B: Dwellings Fixture Unit Count

Fixtures	Units		How Many?	Total
Bath group (toilet, sink, tub or shower) with flush tank	6.0	X	2	= 12
Bathtub only(with or without shower)	1.5	X		=
Shower stall	1.5	X		=
Wash basin / Lavatory (1.5 inch trap)	1.5	X	1	= 1.5
Water closet (toilet) tank operated	4.0	X	1	= 4.0
Bidet	1.0	X		=
Dishwasher	1.0	X		=
Floor Drain (3 inch trap)	3.0	X		=
Sink (with/without garbage grinder, domestic and other small type single, double or 2 single with a common trap)	1.5	X	1	= 1.5
Domestic washing machine	1.5	X		= 1.5
Combination sink and laundry tray single or double (installed on 1.5 inch trap)	1.5	X		= 1.5
Other:				
Total Number of Fixture Units:				22

1. Refer to Ontario Building Code Division B Table 7.4.9.3 for a complete listing of fixture types and units.
2. Where the laundry waste is not more than 20% of the total daily design flow, it may discharge to the sewage system. OBC 8.1.3.1(2)
3. Sump pumps are not to be connected to the sewage system. Connection to sewage system may lead to a hydraulic failure of the system.

Worksheet C: Other occupancies types

Camp for the Housing of Workers	Number of Employees	(Q) Litres	Total
Note: building size, number of bedrooms and fixture count are not required for a Camp for the Housing of Workers		250	
Daily Design Flow (Q)			

Other Occupancy Daily Design Flow Calculation (Q)

To calculate the daily design flow for occupancies, please refer to Ontario Building Code Division B – Part 8 Table 8.2.1.3.B

Establishment	Operator Example: number of seats, per floor area, number of employees/students	Volume Litres	Total
Daily Design Flow (Q)			

Work Sheet D: Septic Tank Size

Minimum septic tank size permitted by the Ontario Building Code is 3600 litres.

Occupancy type	Daily Design Flow (Q)	Minimum tank size (L)
Residential Occupancy house, apartment, camp for housing of workers	850 x 2 =	1,700L
All Other Occupancies	x 3 =	

Worksheet E: Leaching Bed Calculations (Class 4)

Part 1: Complete All	
Type of leaching bed (select one)	
<input type="checkbox"/> A. Absorption trench	<input checked="" type="checkbox"/> B. Filter Bed
<input type="checkbox"/> D. Advance Treatment System	<input type="checkbox"/> E. Type A Dispersal Bed
	<input type="checkbox"/> C. Shallow Buried Trench
	<input type="checkbox"/> F. Type B Dispersal Bed
Percolation rate of native soil (T): <u>8</u>	
Name of licensed testing agency: <u>NORFOLK SOILS ANALYSIS</u>	
<input checked="" type="checkbox"/> In ground system	Height raised above original grade (metres)
<input type="checkbox"/> Raised Bed system	
Mantel (if applicable) <input type="checkbox"/> Imported <input type="checkbox"/> Native Soil	
Q/loading rate = _____ m ²	Configured as: _____ m X _____ m

Part 2: Complete One of A, B, C, D, E, F	
<input type="checkbox"/> A. Absorption Trench	
Total length of distribution pipe	<p>Conventional (Q x T) + 200 = _____ m</p> <p>Type I leaching chambers (Q x T) + 200 = _____ m</p> <p>Type II leaching chambers (Q x T) + 300 = _____ m</p> <p>Configured as: _____ runs of _____ m Total: _____ m</p>
<input checked="" type="checkbox"/> B. Filter Bed	
<p>Effective Area</p> <p>If Q ≤ 3000 litres per day use Q + 75</p> <p>If Q > 3000 litres per day use Q + 50</p> <p>Level II-IV treatment units, use Q + 100</p> <p>Distribution Pipe</p> <p>Contact Area = (Q x T) + 850</p> <p>Mantel (see Part 1)</p>	<p>Effective area: <u>850</u> (Q) + <u>75</u> (75, 50, or 100) = <u>11.33</u> m²</p> <p>Configured as: <u>3</u> m x <u>4</u> m</p> <p>Number of beds <u>1</u></p> <p>Number of runs: <u>3</u> Spacing of runs: <u>Every Spaced</u> m</p> <p>Contact Area: (<u>850</u> (Q) X <u>8</u> (T)) + 850 = <u>8</u> m²</p> <p><u>N/A</u> m²</p>
<input type="checkbox"/> C. Shallow Buried Trench	
Percolation time (T) of soil in minutes:	Length of distribution pipe (metres)
1 < T ≤ 20	Q + 75 metres
20 < T ≤ 50	Q + 50 metres
50 < T < 125	Q + 30 metres
(L) = _____ (Q) ÷ _____ (75, 50, 30) = _____ m	
Configured as: _____ runs of _____ m Total: _____ m	
<input type="checkbox"/> D. Advance Treatment System	
Provided BMEC or CAN/BNQ approval, and manufacturer's system design documentation.	
<input type="checkbox"/> E. Type A Dispersal Bed	
<p>Stone Layer</p> <p>If Q ≤ 3000 litres per day, use Q + 75</p> <p>If Q > 3000 litres per day, use Q + 50</p> <p>Sand Layer</p> <p>1 < T ≤ 15 use (Q x T) + 850</p> <p>T > 15 use (Q x T) + 400</p>	<p>Stone Layer = _____ (Q) + _____ (75 or 50) = _____ m²</p> <p>Sand Layer = (_____ (Q) x _____ (T)) + (850 or 400) = _____ m²</p>
<input type="checkbox"/> F. Type B Dispersal Bed	
<p>Area = (Q X T) ÷ 400</p> <p>Linear Loading Rate (LLR)</p> <p>T < 24 minutes, use 50 L/min</p> <p>If T ≥ 24 minutes, use 40 L/min</p>	<p>Area = (_____ (Q) x _____ (T)) ÷ 400 = _____ m²</p> <p>Pump chamber capacity = _____ L</p> <p>Length (Q + LLR) = _____ m</p> <p>Bed configuration = _____ m x _____ m = _____ m²</p> <p>Number of Beds = _____</p>
Distribution Pipe	Configured as: _____ runs of _____ m Total: _____ m

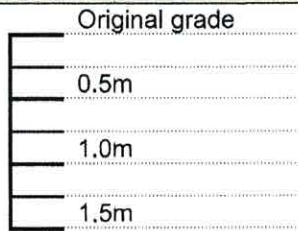
Worksheet F: Cross Sectional Drawings

Subsoil Investigation – Test pit

1. Soil sample to be taken at a depth of
2. Test pit to be a minimum 0.9m

Indicate level of rock and ground water level below original grade.

OVER 30 FT TO
WATER TABLE

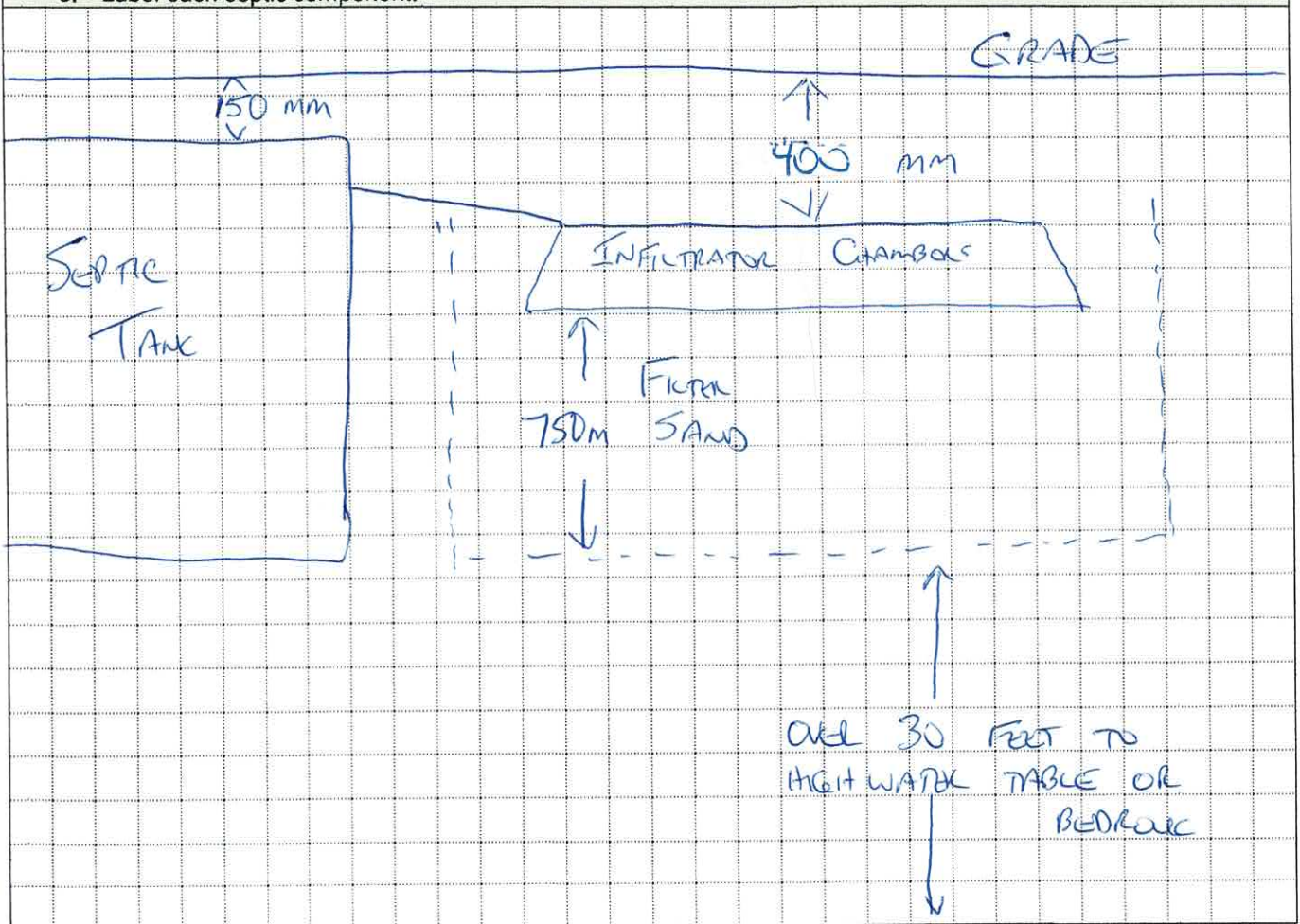


Soil and subgrade investigation. Indicate soil types

SAND

Cross sectional drawings are required for all septic systems

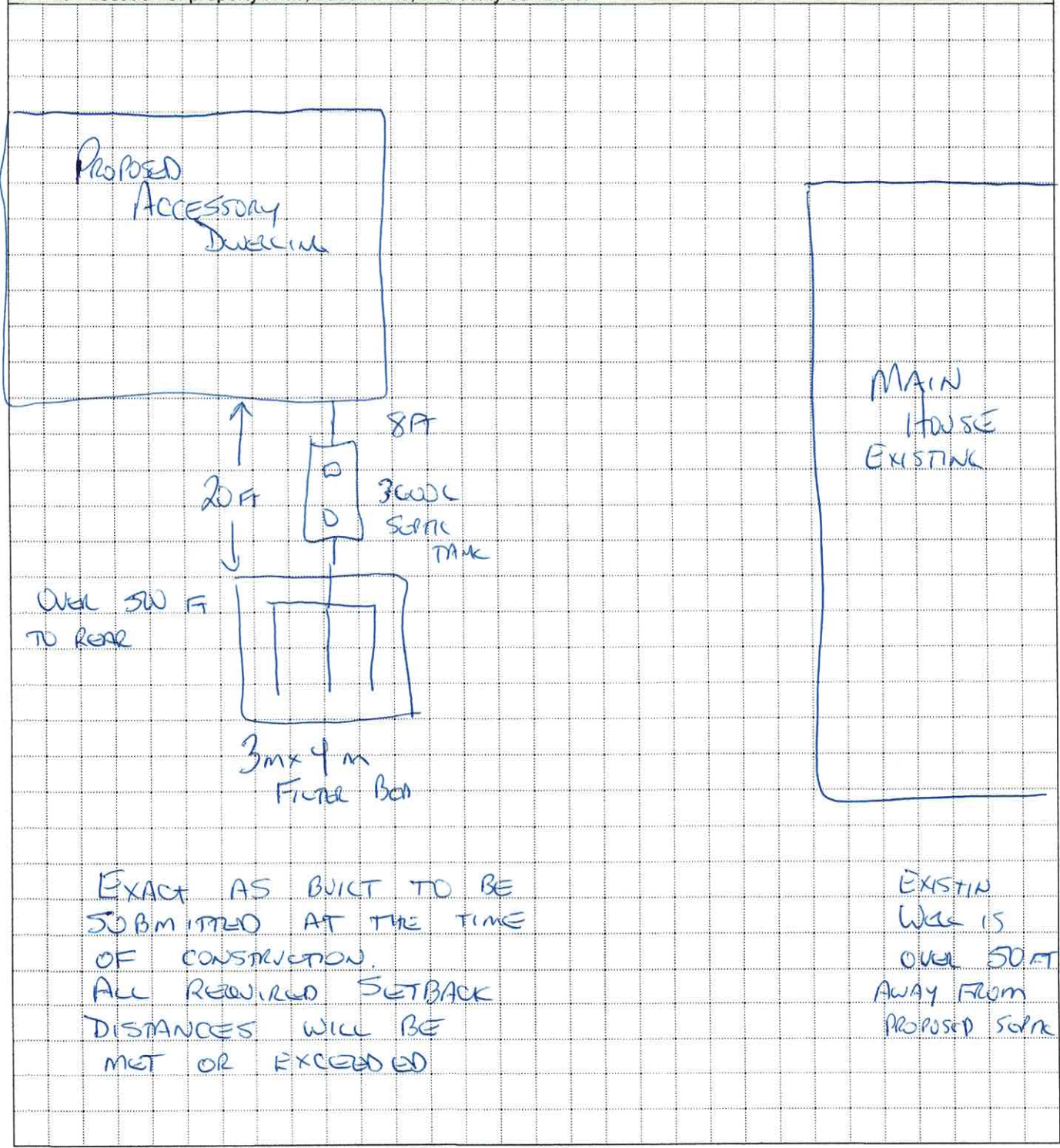
1. Location of existing grade.
2. Measurements to each component, distances to water table
3. Label each septic component.



Worksheet G: Septic Plot Plan

Please provide the following information on this work sheet:

1. Location of sewage system and its components (e.g. tank, leaching bed, pump chamber)
2. Location of all buildings, pools and wells on the property and neighbouring properties
3. Locate and show minimum clearances for treatment units and distribution piping of items. Ontario Building Code, Division B, Table 8.2.1.6.A. and 8.2.1.6.B.
4. Location of property lines, easements, and utility corridors.



NORFOLK SOILS ANALYSIS

(a division of 002068251 Ontario Inc.)

55 Gibson Drive, Simcoe ON N3Y3L1, 519 410 6111, email: norfolksoils@gmail.com

April 8, 2022

Invoice 2022043

To: Stealth Environmental Inc
1809 8th Concession Road
Langton ON N0E 1G0

Project: Soils Analysis: Property Owner; Duncan Amos, 321 Radical Road, Simcoe ON, Norfolk County

Soils analysis in accordance with Section 8.2.1.2 of the Ontario Building Code, The Unified soil Classification System, and ASTM D6913 of which the distribution graph representing the sample provided is attached.

Based on the testing of the materials as provided for testing, It is our opinion that the **Percolation Rate is T = 8 min/cm**. The drainage characteristics of the soil for the proposed septic system appears to be suitable for an in-ground leeching bed system.

The Laboratory Classification of the soils SP – Poorly graded sands, with moderate fines <12% specifically 5.74% of soil passing the No #200 sieve.

The Coefficient of Uniformity = 6.43
Coefficient of Curvature = 0.74

I trust this meets with your requirements for the soil sample provided.

Yours Truly,

D Free

D. R. Free, MBA, CPA, CET
BCIN 109582



Encls

Sieve Analysis Data Sheet

ASTM D422-63(2007)

Project Name: SA2022043 Tested By: DRF Date: 2022-04-08

Location: 321 Radical Road, Simcoe ON, Norfolk County Checked By: DRF BCIN 109582 Date: 2022-04-08

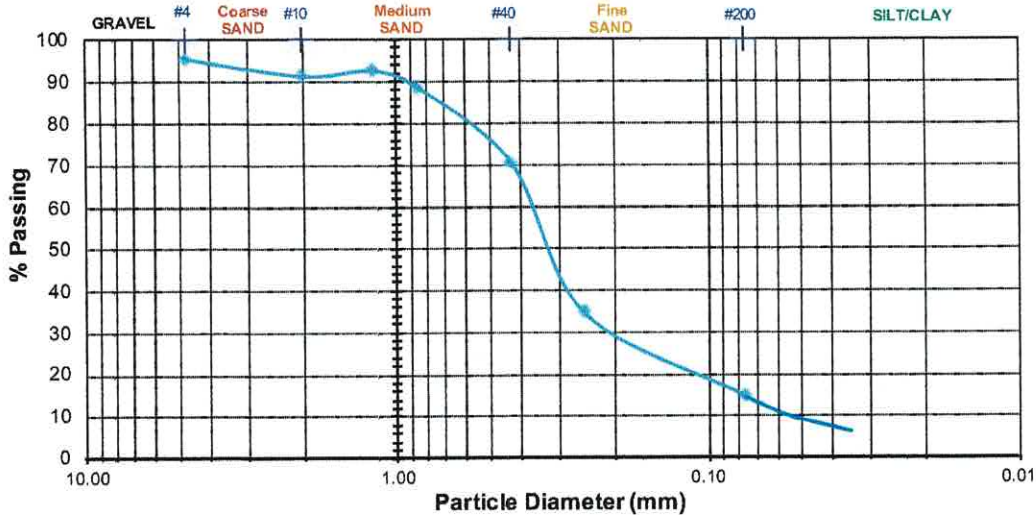
Client: Stealth Environmental Inc Property Owner: Duncan Amos
1809 8th Concession Road
Langton ON N0E 1G0

Boring No: NA Test Number: 1
 Sample Depth: NA Gnd Elev.: NA

USCS Soil Classification: SP - Poorly Graded Sands with fines <12%
 AASHTO Soil Classification: A-1-a

Weight of Container (g): 76.1 Weight of Container & Soil (g): 609.3
 Weight of Dry Sample (g): 477.8 Moisture Content %: 10.4%

Sieve Number	Diameter (mm)	Mass of Sieve (g)	Mass of Sieve & Soil (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
#4	4.75	749.6	771.9	22.3	4.7	95.3
#10	2.00	670.0	712.1	42.1	8.8	91.2
#16	1.18	653.0	666.9	13.9	2.9	92.4
#30	0.85	582.6	601.5	18.9	4.0	88.5
#50	0.43	561.6	648.9	87.3	18.3	70.2
#100	0.25	529.2	699.8	170.6	35.7	34.5
#200	0.075	512.1	607.4	95.3	19.9	14.5
Pan		283.1	310.5	27.4	5.7	0.0
TOTAL:				477.8	100.0	



Grain Size Distribution Curve Results:

% Gravel:	<u>0.000</u>	D ₁₀ :	<u>0.056</u>	C _u :	<u>6.43</u>
% Sand:	<u>94.265</u>	D ₃₀ :	<u>0.210</u>	C _c :	<u>0.741</u>
% Fines:	<u>5.735</u>	D ₆₀ :	<u>0.360</u>		
	100.000				



Notice to Reader & Limitations:

These test results are unique to this soil sample and for the client as identified on the date for which the tests were performed. These test results cannot be used by any other party other than the client stated above within the text of this report without the consultants prior written approval.

GENERAL NOTES:

- CONTRACTOR/INSTALLER TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY DISCREPANCIES
- DRAWINGS TO BE READ AND NOT SCALED
- ALL DESIGN, CONSTRUCTION AND MATERIALS TO CONFORM TO O.B.C. REQUIREMENTS AND LOCAL BY-LAWS
- ROOF TRUSSES DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
- THE ATTACHED SET OF DRAWINGS SHOULD BE USED FOR THIS PROJECT ONLY
- THE CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY BRACING AND SHORING REQUIRED

FOUNDATION WALL & FOOTINGS:

- ALL CONCRETE WORK TO CONFORM TO CSA STANDARDS
- FOOTING MUST REST ON UNDISTURBED SOIL OR ENGINEERED FILL WITH A MIN. BEARING CAPACITY OF 75 KPa
- POURED CONCRETE FOOTING AS INDICATED ON THE FOUNDATION PLANS
- CONTRACTOR TO ENSURE ALL FOUNDATION WALLS HAVE SUFFICIENT LATERAL SUPPORT AT BOTH TOP & BOTTOM AS PER O.B.C. 9.15.4.3. & 9.15.4.4
- ALL TOPSOIL & LOOSE FILL SHALL BE REMOVED FROM BUILDING AREA
- BOTTOM OF EXCAVATED AREAS SHALL BE KEPT FREE OF STANDING WATER & PROTECTED FROM FREEZING
- ALL CONCRETE FOUNDATION WALLS MUST BE MIN. 8" THICK
- SILL PLATES MUST BE ANCHORED TO FOUNDATION WALL WITH 1/2" DIA. ANCHOR BOLTS
- STRIP FOOTINGS TO BE 16" WIDE & 6" DEEP UNLESS NOTED OTHERWISE
- APPROVED GRANULAR FILL UNDER FOOTINGS & FLOOR SLABS SHALL BE COMPACTED IN 8" LAYERS TO 98% STANDARD PROCTOR MAX. DRY DENSITY
- ALL EXTERIOR FOOTINGS SHALL BE MIN. 48" BELOW ADJACENT FINISHED GRADE LEVEL
- REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MIN. YIELD STRENGTH OF 841.2 MPa
- THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL NOT BE LESS THAN:

25 MPa W/ REINFORCEMENT AS NEEDED FOR GARAGE FLOOR

20 MPa FOR FOUNDATION WALL

WOOD FRAMING NOTES:

- ALL LUMBER TO BE NO.1/NO.2 GRADE OR BETTER
- ALL WOOD FRAME CONSTRUCTION TO BE ACCORDING TO O.B.C., 9.23
- ALL MATERIALS MUST CONFORM TO O.B.C., 9.3.2
- JOISTS TO BE BRIDGED/BLOCKED AS NOTED
- ALL FASTENERS OR STEEL CONNECTORS USED FOR PRESSURE TREATED WOOD TO BE TREATED FOR EXTERIOR CONDITIONS AND PRESERVATIVE CORROSION ACCORDINGLY
- LATERAL SUPPORT OF POSTS TO BE ACCORDING TO O.B.C., 9.17.2.2
- WOOD COLUMNS TO BE INSTALLED ACCORDING TO O.B.C., 9.17.4
- JOISTS SHALL HAVE A MIN. 1 1/2" BEARING
- JOISTS UNDER ALL PARTITIONS TO HAVE SOLID BLOCKING OR BRIDGING
- PER-ENGINEERED ROOF TRUSS SYSTEMS MUST BE DESIGNED IN ACCORANCE WITH SECTION 9.23.13.11 ALL UPLIFT CONNECTIONS TO BE PROVIDED BY THE TRUSS DESIGNER
- ROOF SHEATHING TO CONFORM TO O.B.C., 9.23.15
- ALL PINE TIMBERS TO BE TREATED & SEALED FOR EXTERIOR USE

STAIRS, HANDRAILS & GUARDS:

- STAIR DIMENSIONS TO BE ACCORDING TO O.B.C., 9.8.2
- STEP DIMENSIONS TO BE ACCORDING TO O.B.C., 9.8.4
- THE VERTICAL HEIGHT BETWEEN LANDINGS SHALL NOT EXCEED 3.7m
- GUARDS TO BE INSTALLED ACCORDING TO O.B.C, 9.8.8 AND THE MANUFACTURERS SPECIFICATIONS

DOORS & WINDOWS:


- ALL EXTERIOR DOORS SHALL CONFORM TO O.B.C. SUBSECTION 9.6.5. & BE PROVIDED WITH APPROVED WEATHERSTRIPPING & DOUBLE GLAZING FOR SLIDING GLASS DOORS
- ALL GLASS IN DOORS & SIDELITES TO BE MADE OF TEMPERED OR LAMINATED SAFETY GLASS CONFORMING TO CGSB-12-GP-1C, LATEST ADDITION
- ALL WINDOW INSTALLATIONS SHALL CONFORM TO O.B.C. 9.7.
- PROVIDE LOCKING MECHANISM AS PER O.B.C. 9.7.1.6 TO ALL WINDOWS ABOVE 1.8M ABOVE FINISHED EXTERIOR GRADE
- WINDOW PERFORMANCE - MUST HAVE PERFORMANCE OF U-VALUE OF USI 1.6 (U-0.28) OR BETTER. EQUAL ENERGY (ER) REQUIREMENT IS 25.
- DOOR & WINDOW LOCATED WITHIN 2M OF GRADE TO CONFORM TO O.B.C.9.6.6. & 9.7.6. "RESISTANCE TO FORCED ENTRY"
- GARAGE DOORS INTO DWELLING TO BE TIGHT FITTING & WEATHERSTRIPPED, & EQUIPPED WITH A SELF CLOSER

NOTES & CODE REFERENCES

Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 



REVISIONS		
DD/MM/YY	REMARKS	
1	03/10/22	Issued For Review
2	02/11/22	Issued For Coordination
3	07/12/22	Issued For Eng.
4	13/12/22	Issued For Permit
5	--/--/--	...

A 01

A

DAMPROOFING:

- 6 MIL POLYETHELENE FILM, OR OTHER DAMPROOFING MATERIAL SHALL BE PROVIDED BETWEEN ALL WOOD FRAMING MEMBERS NOT PRESSURE TREATED WHICH ARE SUPPORTED ON CONCRETE OR MASONRY IN CONTACT WITH THE GROUND
- NO SUCH DAMPROOFING IS REQUIRED WHERE THE WOOD IS AT LEAST 6" ABOVE THE GROUND

VAPOUR BARRIER:

- PROVIDE CONTINUOUS VAPOUR BARRIER - 6 MIL POLYETHELENE SHEET APPLIED TO THE WARM SIDE OF INSTALLED ASSEMBLIES.
- LAP & SEAL TO SOLID BACKING SURFACES SUCH AS SLAB, STUDS & FLOORING
- OVERLAP JOINTS & SEAL AT SOLID BACKINGS. RETURN MEMBRANE AT WINDOW & DOOR JAMBS, HEADS & SILLS AS REQUIRED
- SEAL MEMBRANE AT ELECTRICAL BOXES, WIRING, PLUMBING INSTALLATIONS, VENT DUCTS & WALL INTERSECTIONS

AIR BARRIER:

- MAINTAIN TYVEK AIR BARRIER CONTINUITY AT THE EXTERIOR BUILDING ENVELOPE
- INTERIOR DRYWALL ON THE EXTERIOR WALL ASSEMBLY MUST BE EFFECTIVELY & CONTINUOUSLY SEALED AT THE CEILING & AT PERIMETER EDGES & OPENINGS
- ALL ELECTRICAL OUTLETS IN THE EXTERIOR WALLS SHALL BE SEALED
- SEAL PERIMETER OF EXTERIOR OF WINDOW & DOOR FRAMES BY FOAMED-IN-PLACE AIR SEALANT IN THE ROUGH OPENING AIR SPACE CAVITY TO CREATE AN EFFECTIVE AIR BARRIER.

EAVE PROTECTION/ FLASHING:

- EAVE PROTECTION TO BE LAID BENEATH THE STARTER STRIP & CONSISTS OF SELF-SEALING COMPOSITE MEMBRANE OF POLYETHELENE & BITUMINOUS MATERIAL
- PROVIDE ADEQUATE FLASHING SYSTEMS TO PREVENT LEAKAGE UNDER ALL CONDITIONS

INSULATION:

INSULATION SHALL CONFORM TO TABLE 3.1.1.2.A (IP), ZONE 1, AFUE > 92%, COMPLIANCE PACKAGE A1, SEE ATTACHED HVAC HEAT & LOSS REPORT

DUCT INSULATION:

- EXHAUST DUCTS SHALL DISCHARGE DIRECTLY TO THE OUTDOORS & WHERE THE EXHAUST DUCT PASSES THROUGH OR IS ADJACENT TO UNHEATED SPACE THE DUCT SHALL BE INSULATED TO PREVENT MOISTURE CONDENSATION IN THE DUCT

VENT COLLAR:

- PROVIDE PREFABRICATED STORM COLLAR, CAULKED TO ALL PLUMBING VENTS ON THE ROOF

HOT WATER TANK

- INSTALLED CONFORMING TO O.B.C. 9.31.4.3. HOT WATER SUPPLY
- INSULATE FIRST 8' OF HOT WATER LINE COMING FROM TANK

BAFFLE BOARD:

- PROVIDE BAFFLE BOARD AT EAVE TO PREVENT THE ROOF INSULATION FROM RESTRICTING AIR FLOW THROUGH VENTS OR VENTED SOFFIT

FASCIA, SOFFIT AND EAVES TROUGH:

- PROVIDE PREFINISHED ALUMINUM GUTTERS WITH RAINWATER LEADERS
- PROVIDE PREFINISHED ALUMINUM VENTED SOFFIT & FASCIA.

SEALANTS:

- CAULKING TO BE PROVIDED FOR ALL EXTERIOR DOORS & WINDOWS BETWEEN RESPECTIVE FRAMES OR TRIMS
- CAULK ALL FINISHED JOINTS & LOCATIONS WHERE WATER COULD PENETRATE THE BUILDING
- SEAL FLOOR & WALL PENETRATIONS
- PROVIDE AIR/VAPOUR SEAL FOR BOXES OR GASKETS AT ELECTRICAL OUTLETS IN EXTERIOR WALLS & CEILINGS

ELECTRICAL:

- ALL ELECTRICAL INSTALLATIONS AS PER MOST CURRENT CANADIAN ELECTRICAL CODE (ESA) & THE 2012 ONTARIO BUILDING CODE (O.B.C.)

SMOKE ALARMS:

- PROVIDE ONE PER FLOOR NEAR THE STAIRS & ONE IN EVERY BEDROOM.
- ALARMS MUST BE INTERCONNECTED TO A DIRECT PERMANENT ELECTRICAL CIRCUIT & INTERCONNECT TO ACTIVATE ALL ALARMS IF ONE SOUNDS

MECHANICAL:

- ALL MECHANICAL MUST CONFORM TO ONTARIO BUILDING CODE (O.B.C.) PART 6
- TO BE DESIGNED & INSTALLED BY HVAC PROFESSIONALS
- SUPPLY DUCTS LOCATED IN CONDITION SPACE SHALL BE SEALED TO A CLASS 'C' SEAL (TRANSVERSE JOINTS) O.B.C 6.2.4.3(12)

BATHROOMS:

- WATER RESISTANT BOARDS: PROVIDE BACKER BOARD DENS SHIELD FULL HEIGHT AS BACKING FOR ALL CERAMIC WALL TILE & SHOWER ENCLOSURE IN BATHROOMS
- FUTURE GRAB BAR REINFORCEMENT: PROVIDE STUD WALL REINFORCEMENT ADJACENT TO SHOWER & TOILET CONFORMING TO O.B.C. 9.5.2.3.

SCOPE OF WORK


- DESIGN OF PROPOSED GARAGE/ RESIDENTIAL SUITE ACCORDING TO O.B.C REQUIREMENTS
- NOTIFY DESIGNER OF ANY DISCREPANCIES FROM DRAWING SET FOR ADDITIONAL REVIEW

NOTES & CODE REFERENCES

Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

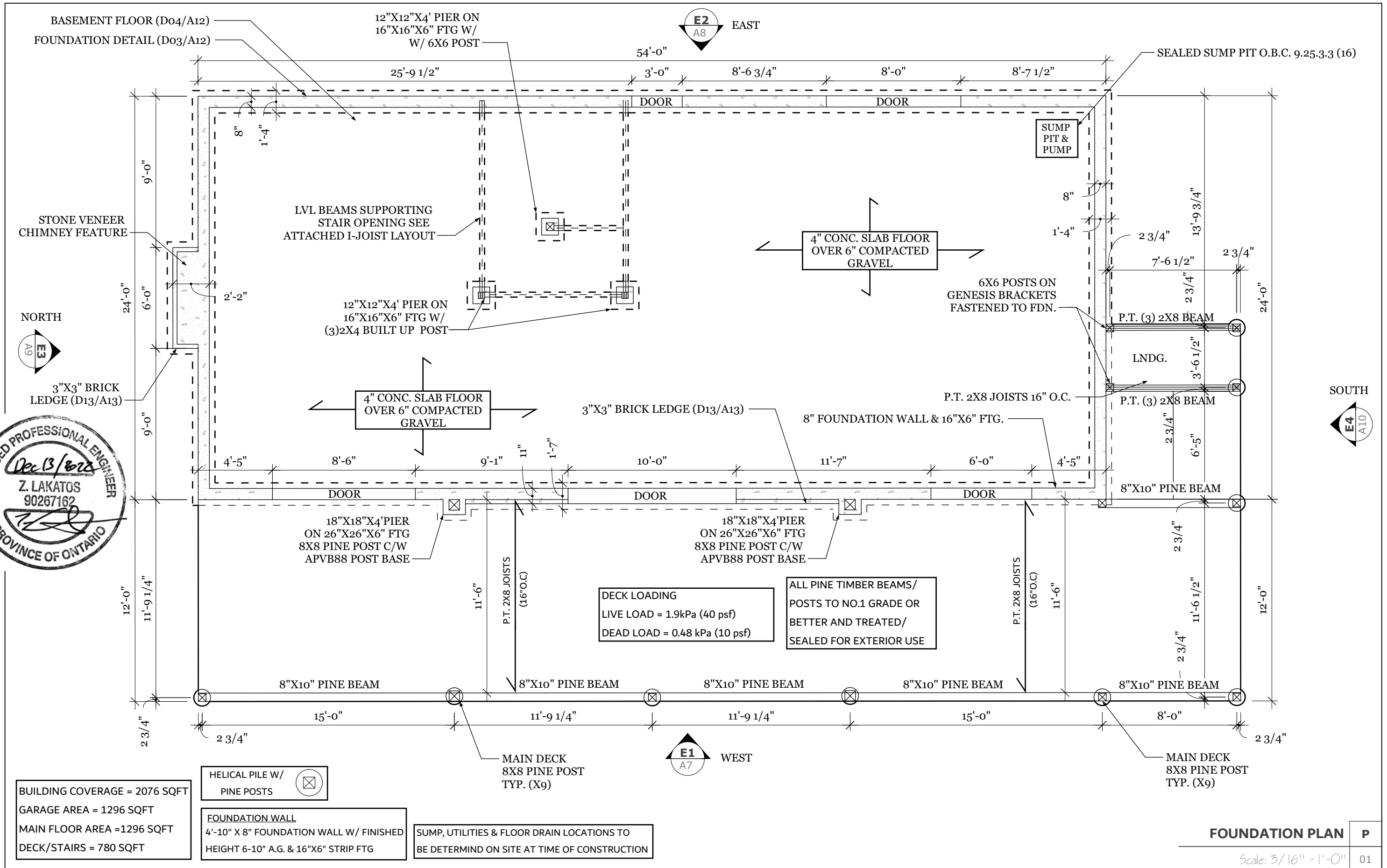
Individual BCIN: 



REVISIONS		
	DD/MM/YY	REMARKS
1	03/10/22	Issued For Review
2	02/11/22	Issued For Coordination
3	07/12/22	Issued For Eng.
4	13/12/22	Issued For Permit
5	--/--/--	...

A 02

A



BUILDING COVERAGE = 2076 SQFT
 GARAGE AREA = 1296 SQFT
 MAIN FLOOR AREA = 1296 SQFT
 DECK/STAIRS = 780 SQFT

HELICAL PILE W/
 PINE POSTS

FOUNDATION WALL
 4'-10" X 8" FOUNDATION WALL W/ FINISHED
 HEIGHT 6'-10" A.G. & 16"X6" STRIP FTG

SUMP, UTILITIES & FLOOR DRAIN LOCATIONS TO
 BE DETERMIND ON SITE AT TIME OF CONSTRUCTION

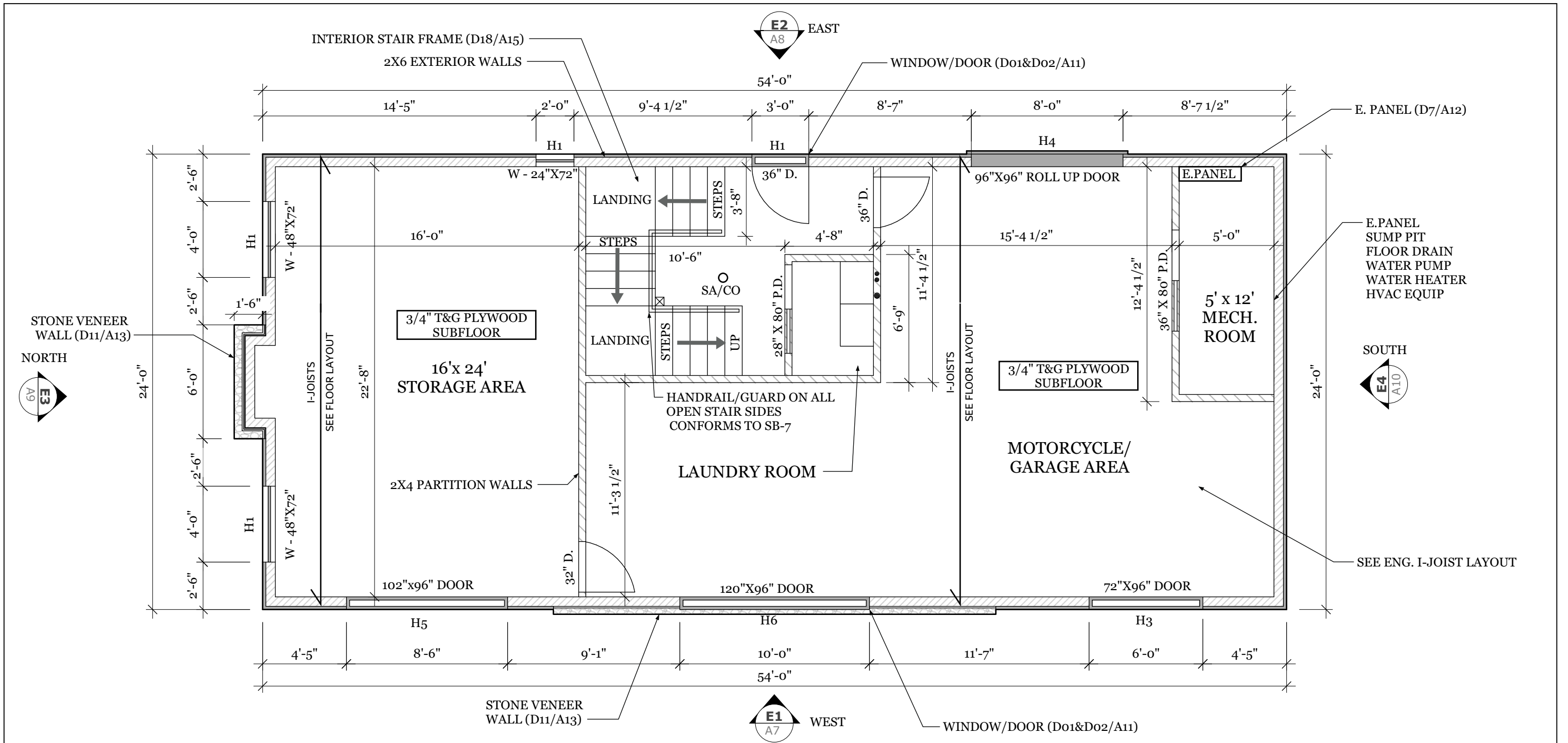
DECK LOADING
 LIVE LOAD = 1.9kPa (40 psf)
 DEAD LOAD = 0.48 kPa (10 psf)

ALL PINE TIMBER BEAMS/
 POSTS TO NO.1 GRADE OR
 BETTER AND TREATED/
 SEALED FOR EXTERIOR USE

FOUNDATION PLAN P

Scale: 3/16" = 1'-0" 01

A 03



EXTERIOR HEADERS

NAME	SIZE	#
H1	(2) 2X8 SPF	8
H2	(3) 2X8 SPF	3
H3	(3) 2X10 SPF	2
H4	5 1/4" X 9 1/2" LVL	2
H5	5 1/4" X 11 7/8" LVL	1
H6	5/14" X 14" LVL	1

FLOOR PLAN NOTES:
GENERAL:
 1) ALL FOUNDATION & FRAMING AS PER O.B.C REQUIREMENTS & ATTACHED ENG. SPECS
 2) ALL BEAMS TO BE FLUSH FRAMED W/ JOISTS ON HANGERS ACCORDINGLY
 3) SUMP & UTILITY LOCATIONS TO BE DETERMIND ON SITE AT TIME OF CONSTRUCTION
STAIRS:
 1) PROVIDE HANDRAIL/GUARD ON ALL OPEN SIDES
 2) MAX RISE 7 7/8" PROPOSED RUN 10"
INTERIOR LINTELS/HEADERS: 2(2X8) - 4' MAX SPAN, 2(2X10) - 5' MAX SPAN

GARAGE/STORAGE P
 Scale: 3/16" = 1'-0" 02

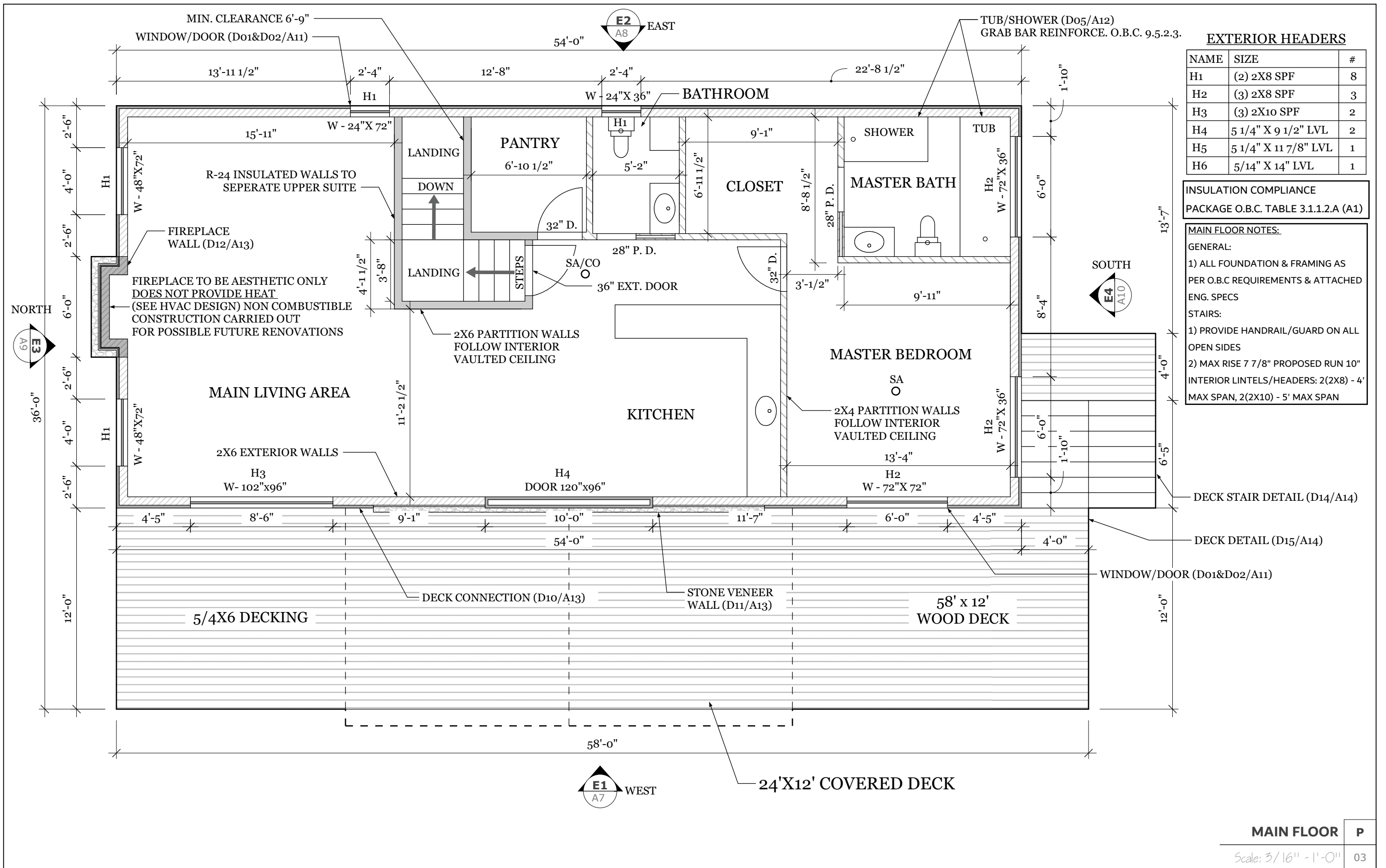
Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:



REVISIONS		
DD/MM/YY	REMARKS	
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
---/---/---	...	


A 04



Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 

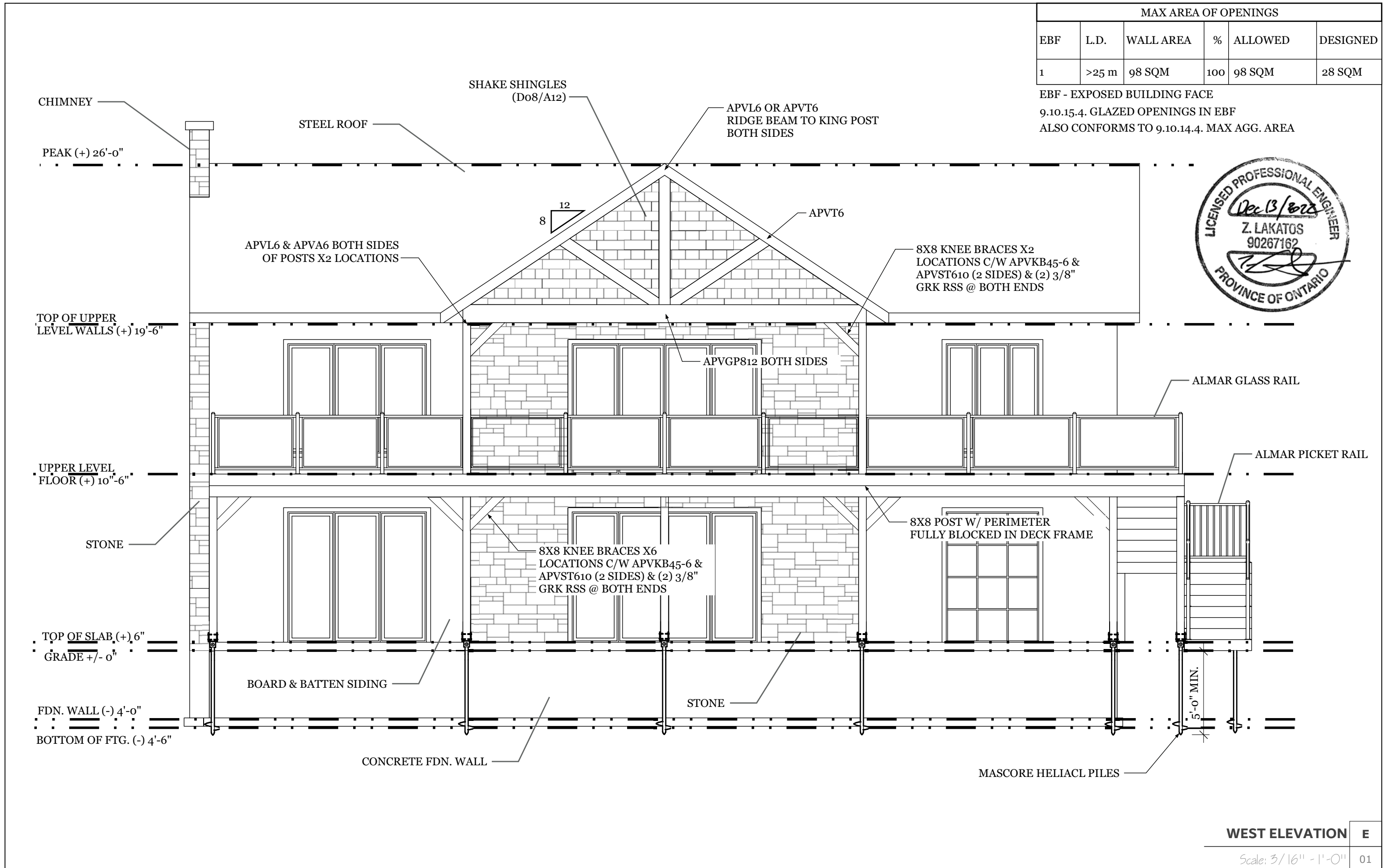


REVISIONS		
DD/MM/YY		REMARKS
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
---/---/---	...	

A 05

MAX AREA OF OPENINGS					
EBF	L.D.	WALL AREA	%	ALLOWED	DESIGNED
1	>25 m	98 SQM	100	98 SQM	28 SQM

EBF - EXPOSED BUILDING FACE
 9.10.15.4. GLAZED OPENINGS IN EBF
 ALSO CONFORMS TO 9.10.14.4. MAX AGG. AREA



WEST ELEVATION E

Scale: 3/16" = 1'-0" 01

Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:

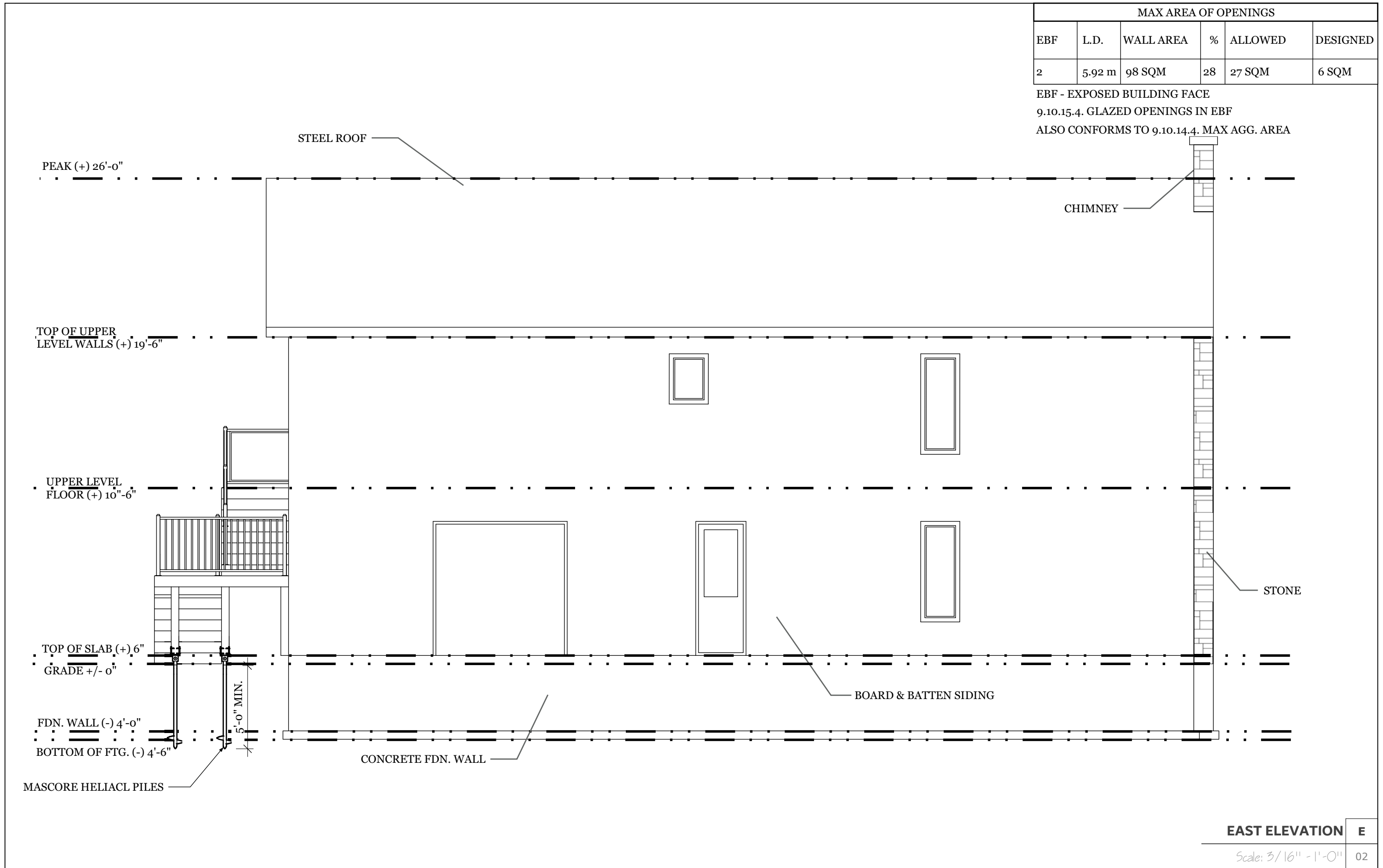


REVISIONS		
DD/MM/YY		REMARKS
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
---/---/---	...	

A 07

MAX AREA OF OPENINGS					
EBF	L.D.	WALL AREA	%	ALLOWED	DESIGNED
2	5.92 m	98 SQM	28	27 SQM	6 SQM

EBF - EXPOSED BUILDING FACE
 9.10.15.4. GLAZED OPENINGS IN EBF
 ALSO CONFORMS TO 9.10.14.4. MAX AGG. AREA



EAST ELEVATION E

Scale: 3/16" = 1'-0" 02

Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:

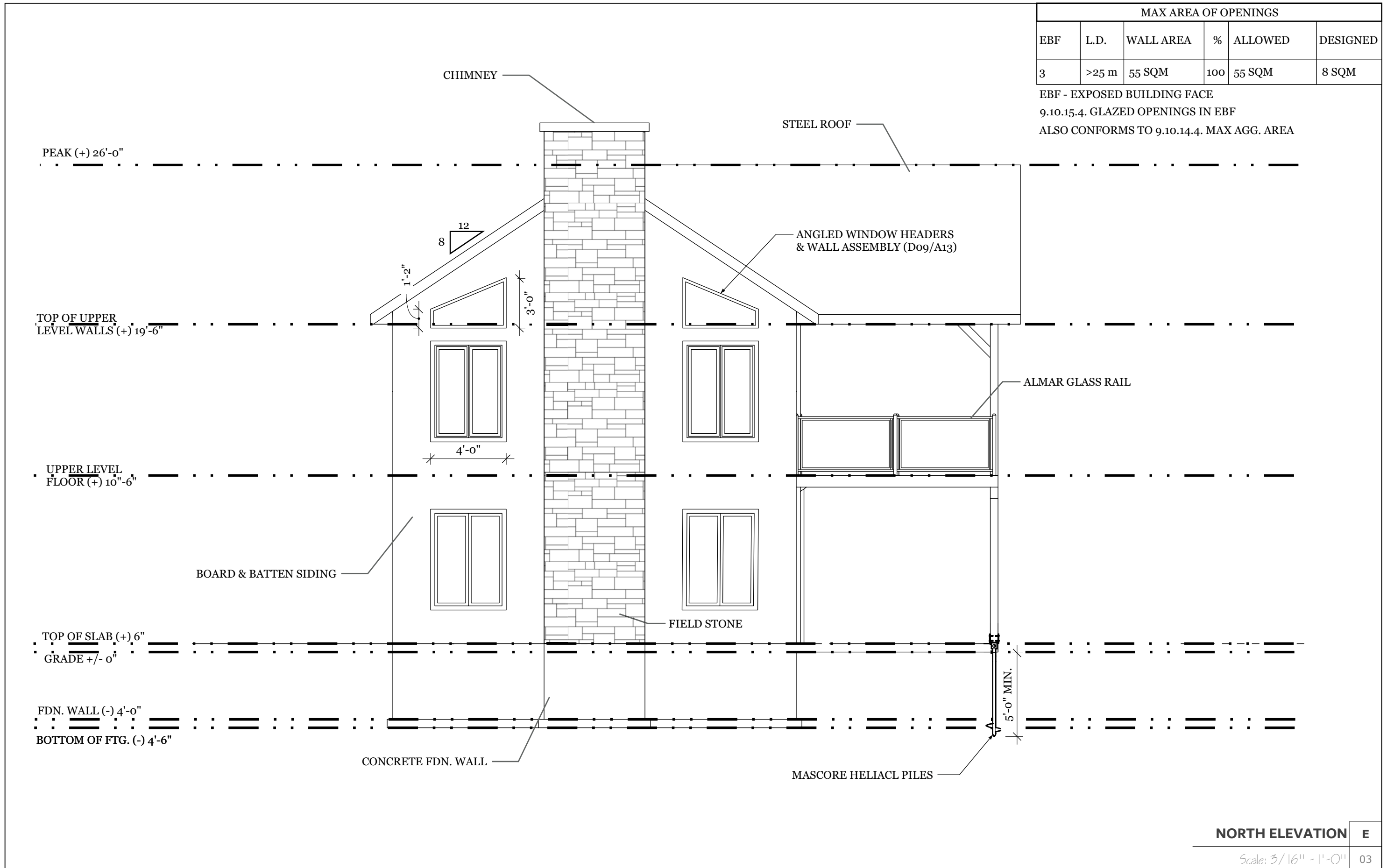


REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 07/12/22	Issued For Eng.	
4 13/12/22	Issued For Permit	
5 --/--/--	...	

A 08

MAX AREA OF OPENINGS					
EBF	L.D.	WALL AREA	%	ALLOWED	DESIGNED
3	>25 m	55 SQM	100	55 SQM	8 SQM

EBF - EXPOSED BUILDING FACE
 9.10.15.4. GLAZED OPENINGS IN EBF
 ALSO CONFORMS TO 9.10.14.4. MAX AGG. AREA



NORTH ELEVATION E

Scale: 3/16" = 1'-0" 03

Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:

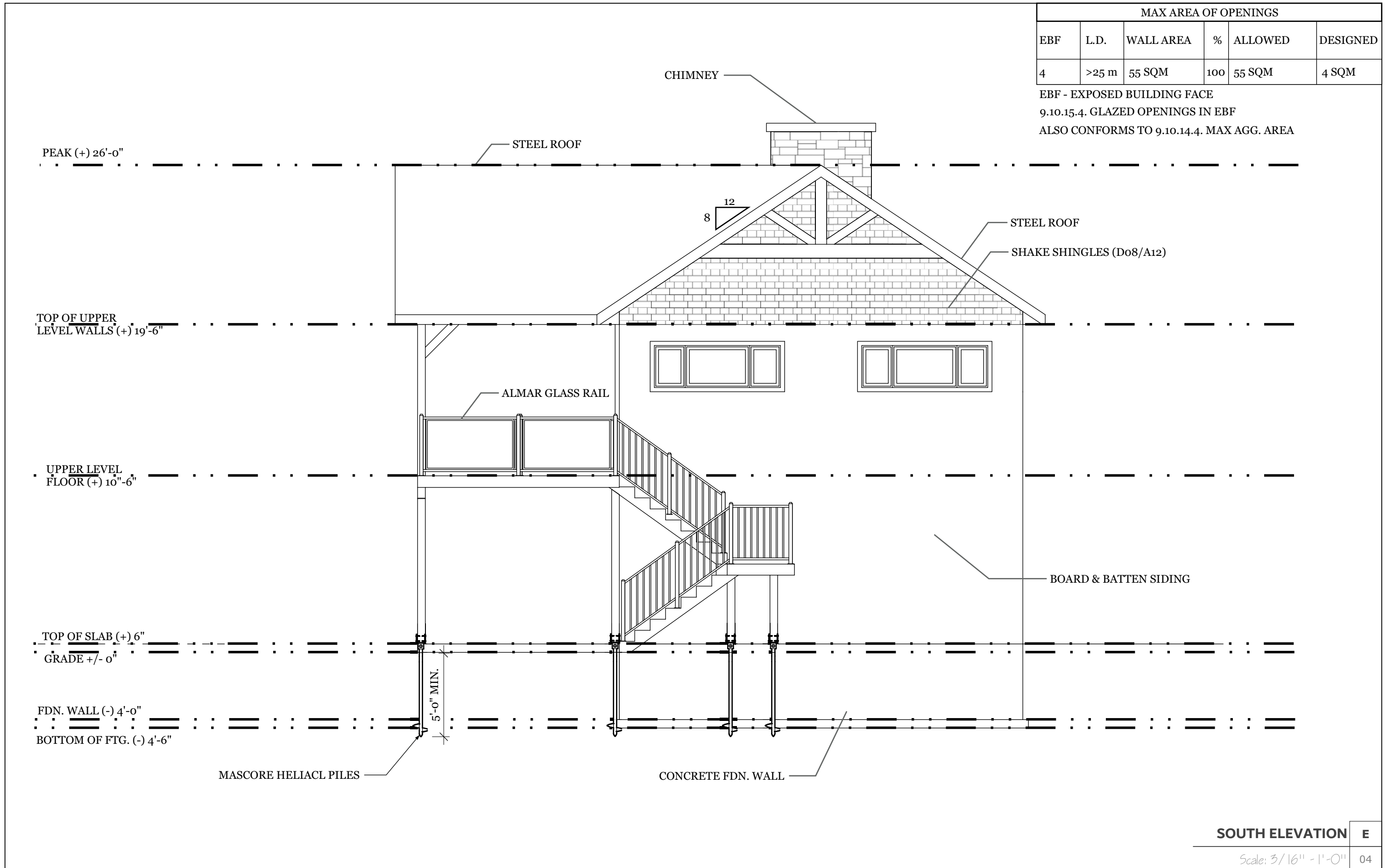


REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 07/12/22	Issued For Eng.	
4 13/12/22	Issued For Permit	
5 --/--/--	...	

A 09

MAX AREA OF OPENINGS					
EBF	L.D.	WALL AREA	%	ALLOWED	DESIGNED
4	>25 m	55 SQM	100	55 SQM	4 SQM

EBF - EXPOSED BUILDING FACE
 9.10.15.4. GLAZED OPENINGS IN EBF
 ALSO CONFORMS TO 9.10.14.4. MAX AGG. AREA



SOUTH ELEVATION E
 Scale: 3/16" = 1'-0" 04

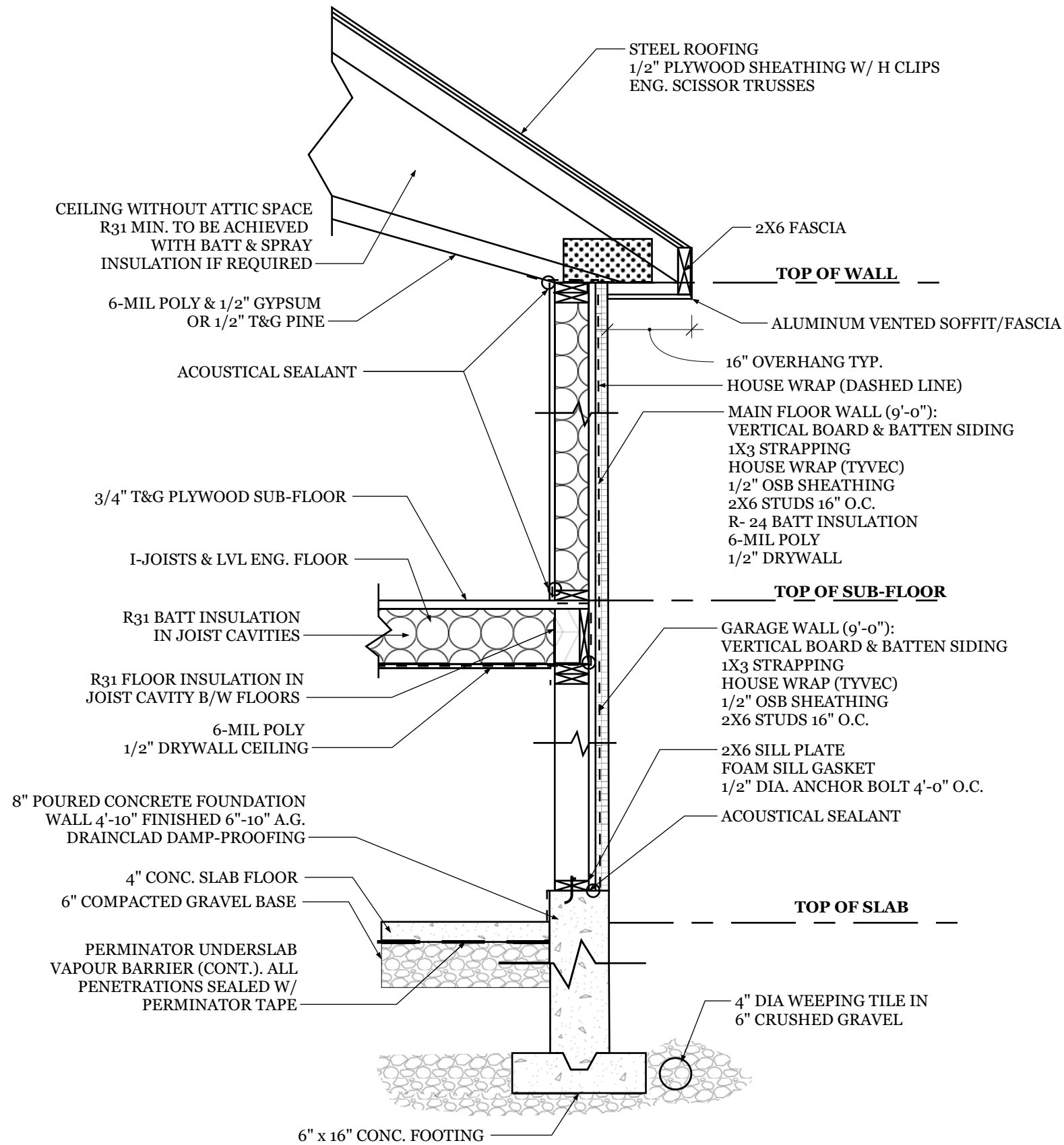
Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:



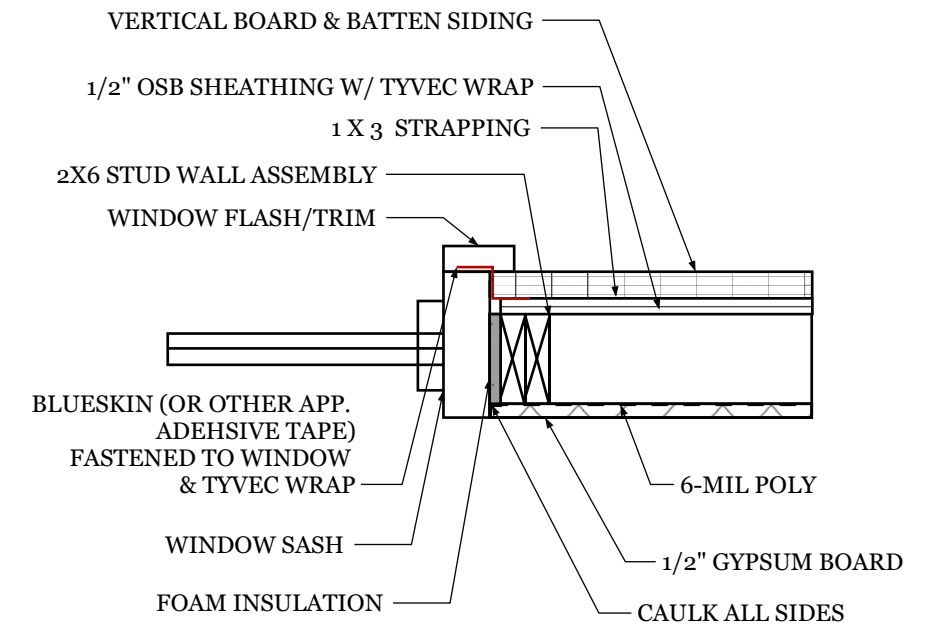
REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 07/12/22	Issued For Eng.	
4 13/12/22	Issued For Permit	
5 --/--/--	...	

A 10



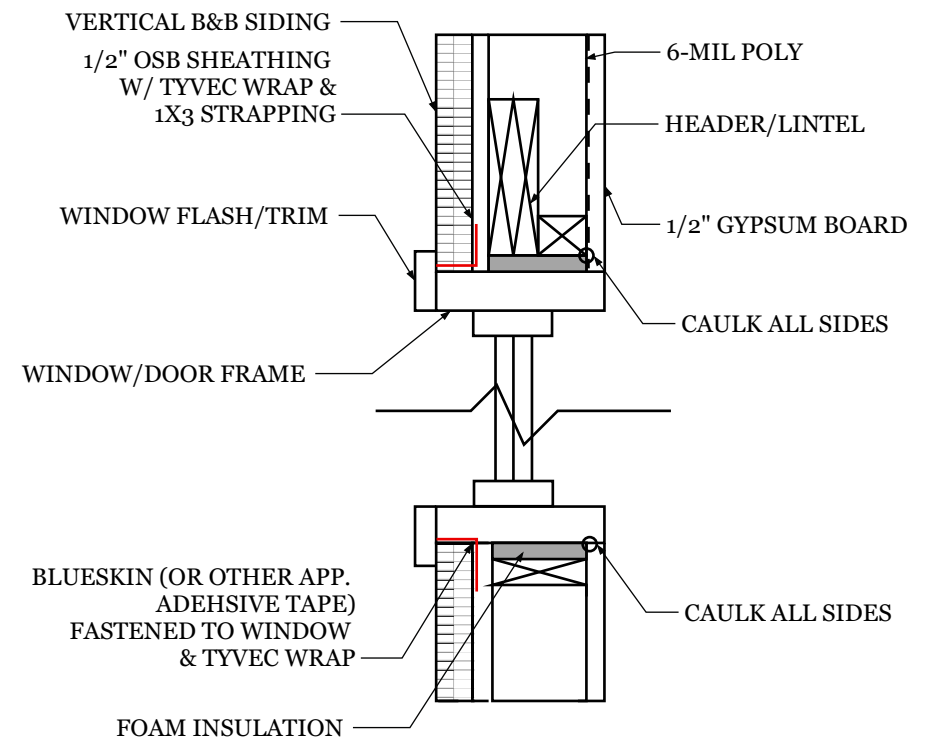
TYPICAL WALL SECTION S

Scale: N/A 01



WINDOW/DOOR (TOP VIEW) D

Scale: N/A 01




WINDOW/DOOR (SIDE VIEW) D

Scale: N/A 02

Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

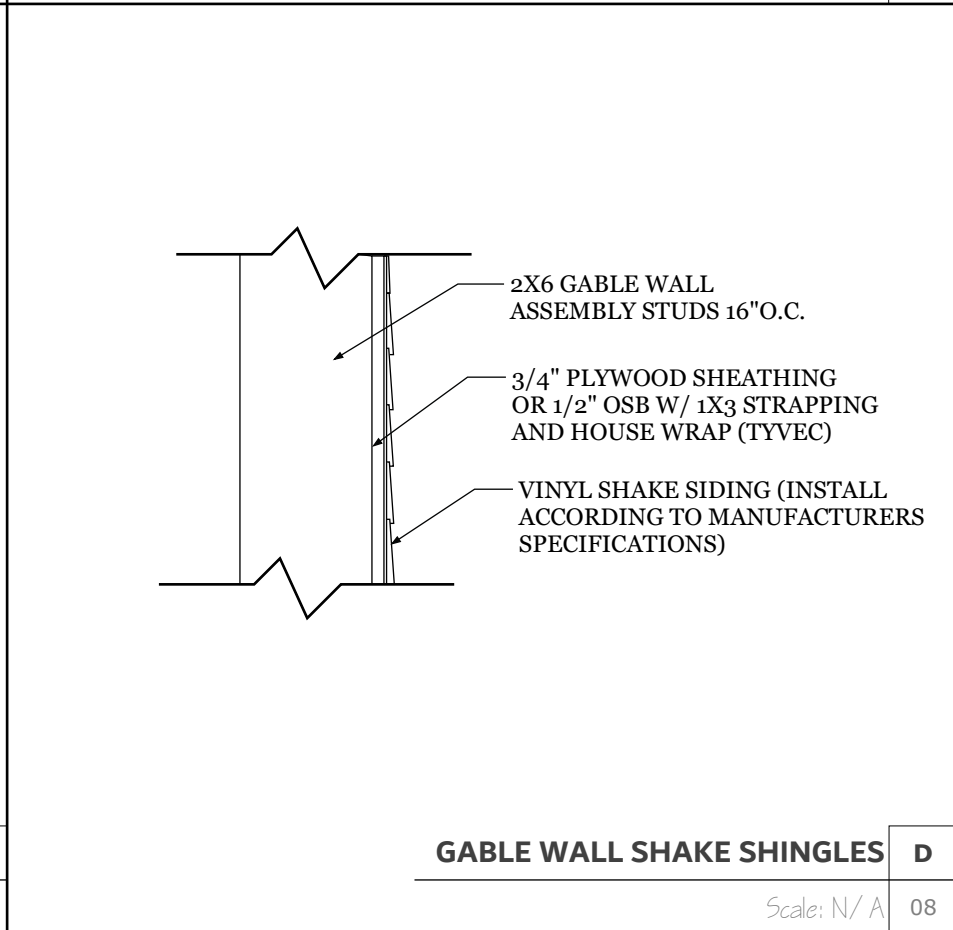
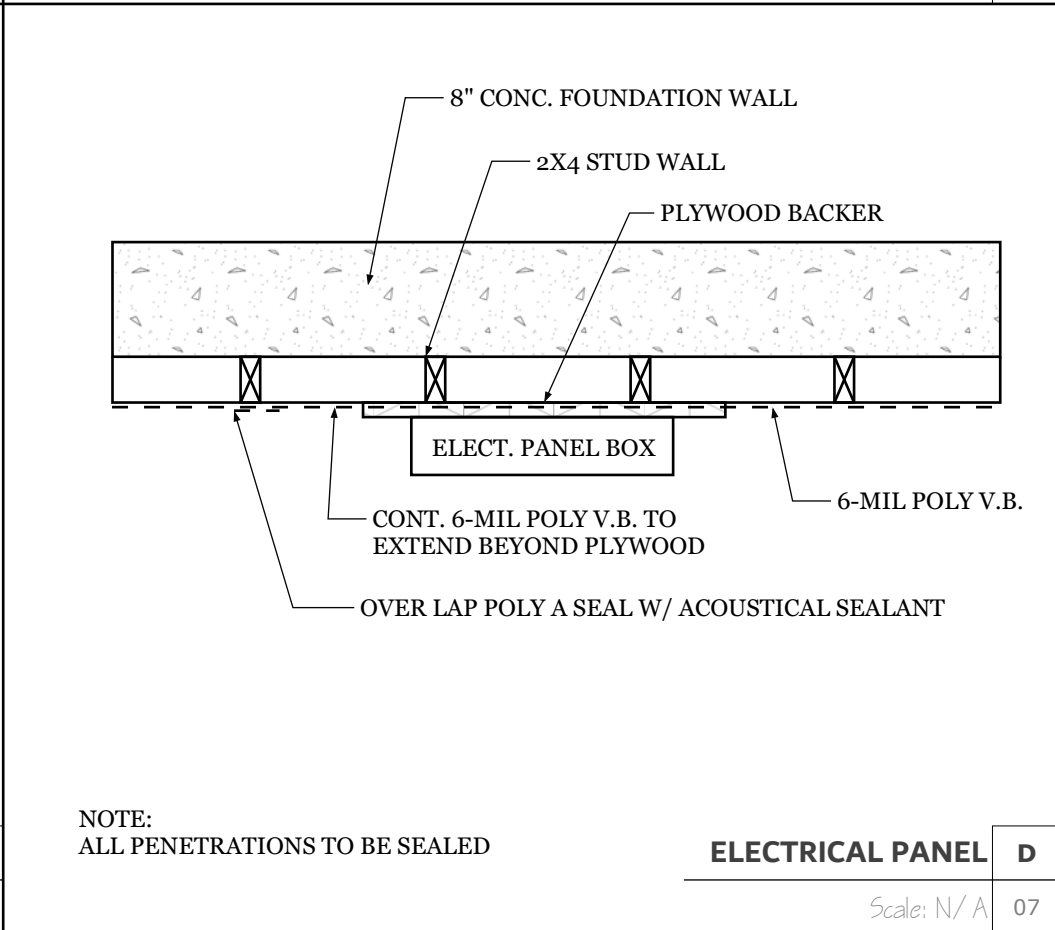
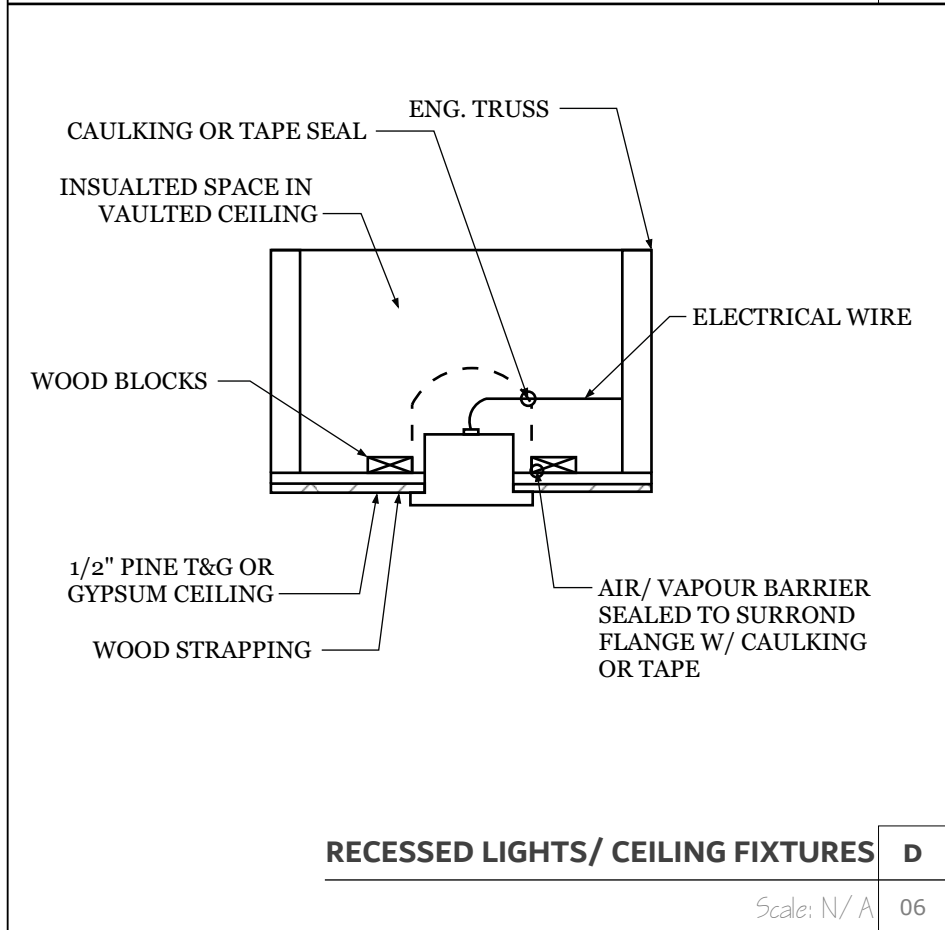
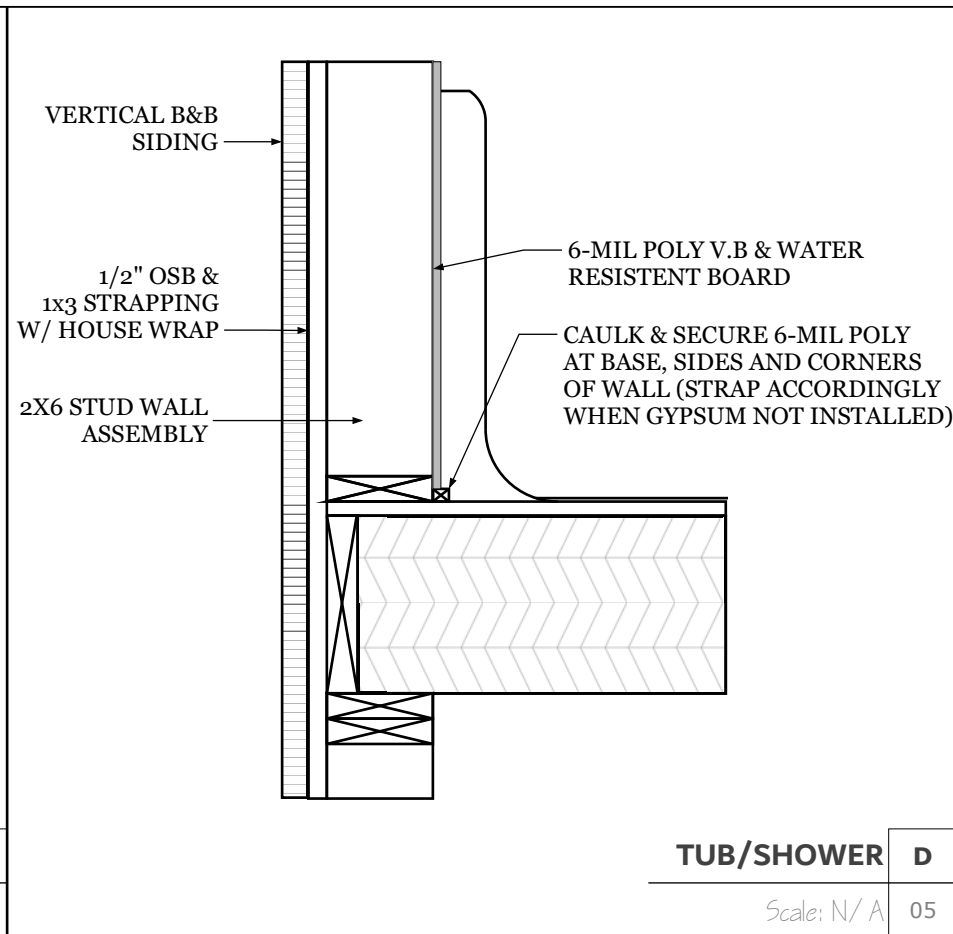
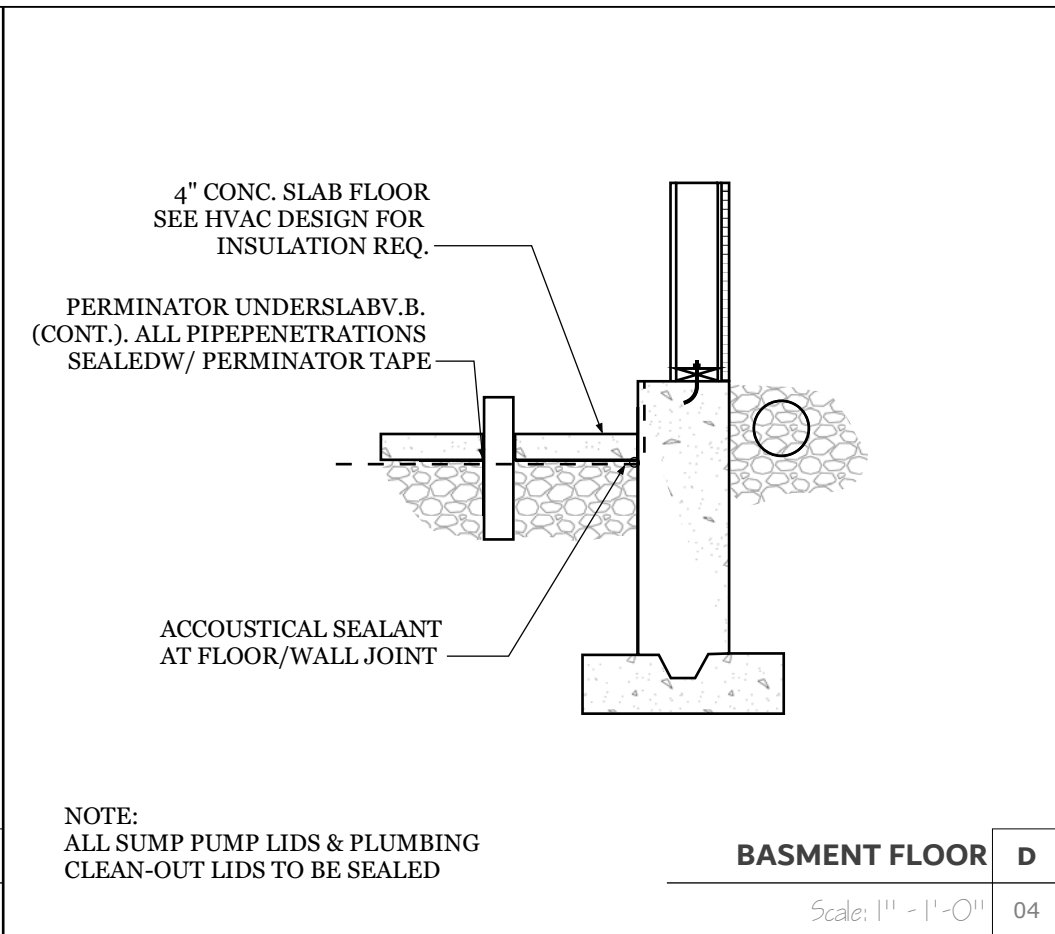
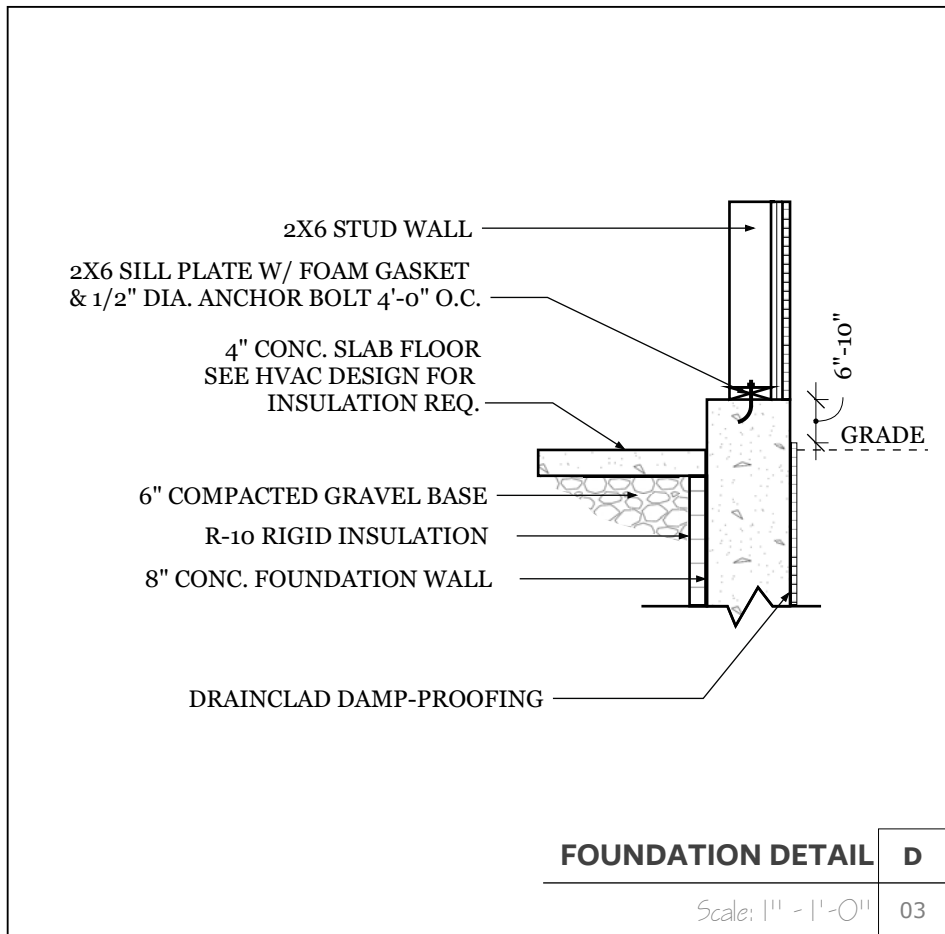
Individual BCIN: 



REVISIONS		
DD/MM/YY	REMARKS	
1	03/10/22	Issued For Review
2	02/11/22	Issued For Coordination
3	07/12/22	Issued For Eng.
4	13/12/22	Issued For Permit
5	--/--/--	...

11

A

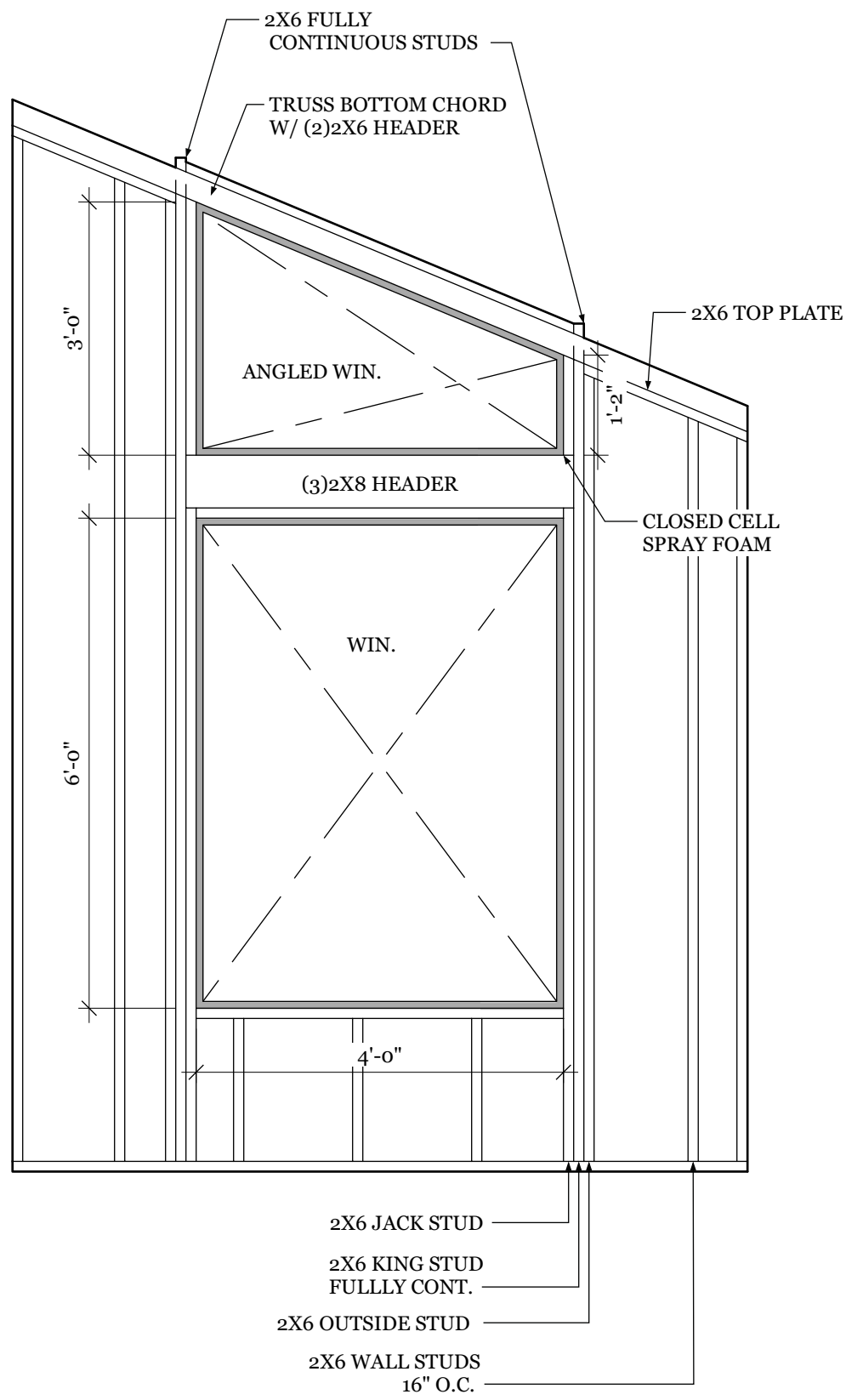


Owner: Duncan Amos & April Grose
Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
Individual BCIN:

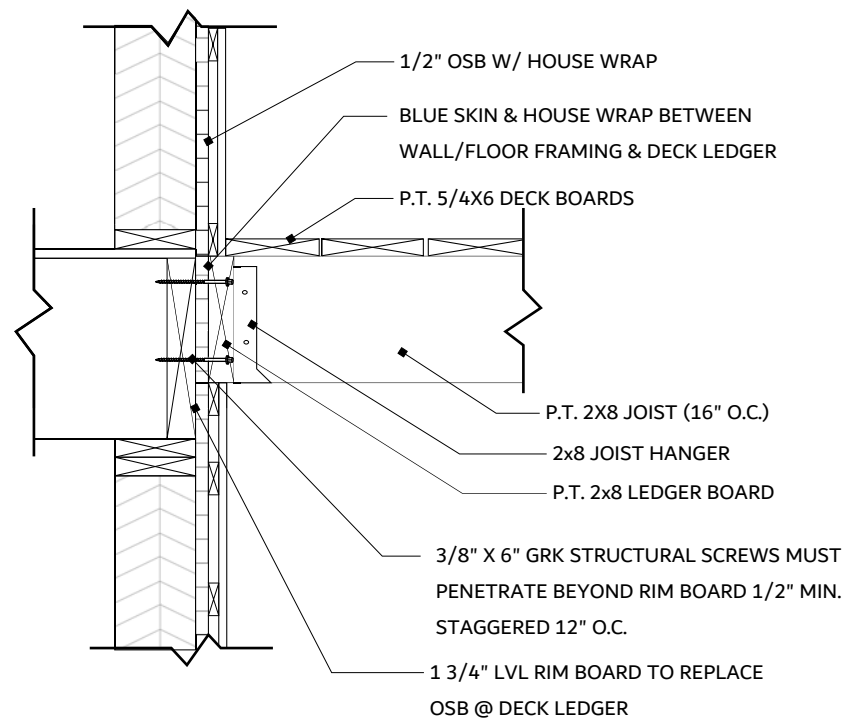


REVISIONS		
DD/MM/YY		REMARKS
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
--/--/--	...	



ANGLED WINDOW HEADERS **D**

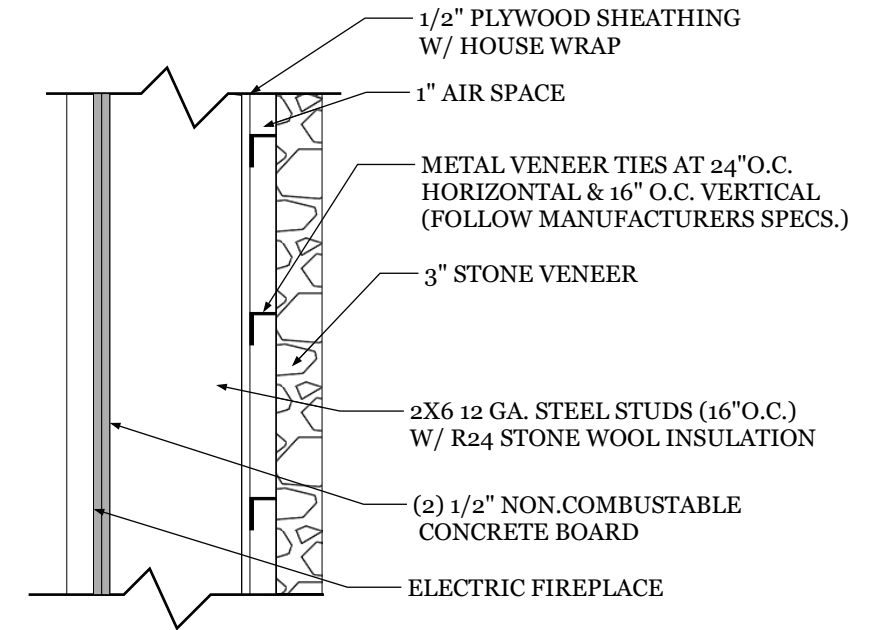
Scale: 1/2" = 1'-0" 09



LEDGER (2) 2X8 FOR STONE VENEER SECTION, LEDGER FASTENED DIRECTLY TO LVL RIM, STONE VENEER ON UPPER WALLS TO BEAR ON DECK

DECK CONNECTION **D**

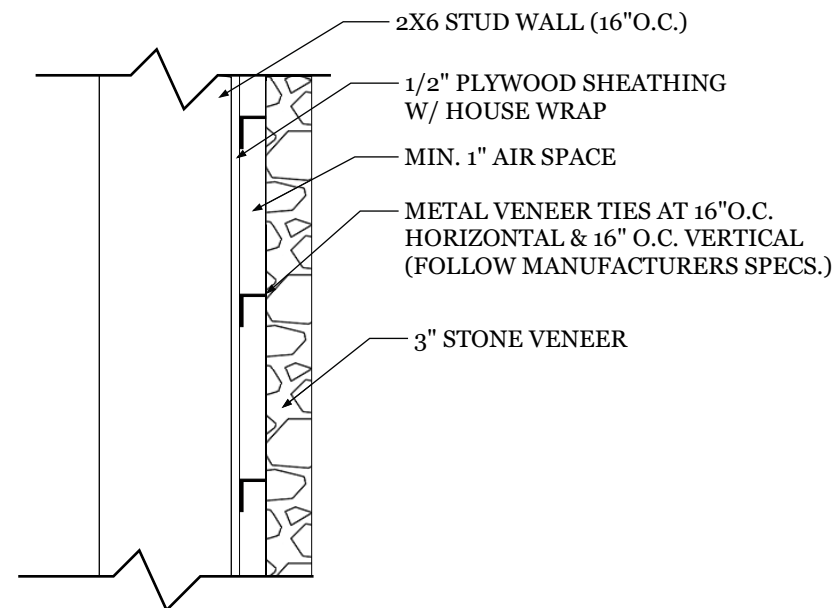
Scale: N/A 10



FIREPLACE TO BE AESTHETIC ONLY DOES NOT PROVIDE HEAT (SEE HVAC DESIGN) NON-COMBUSTIBLE CONSTRUCTION CARRIED OUT FOR POSSIBLE FUTURE RENOVATIONS

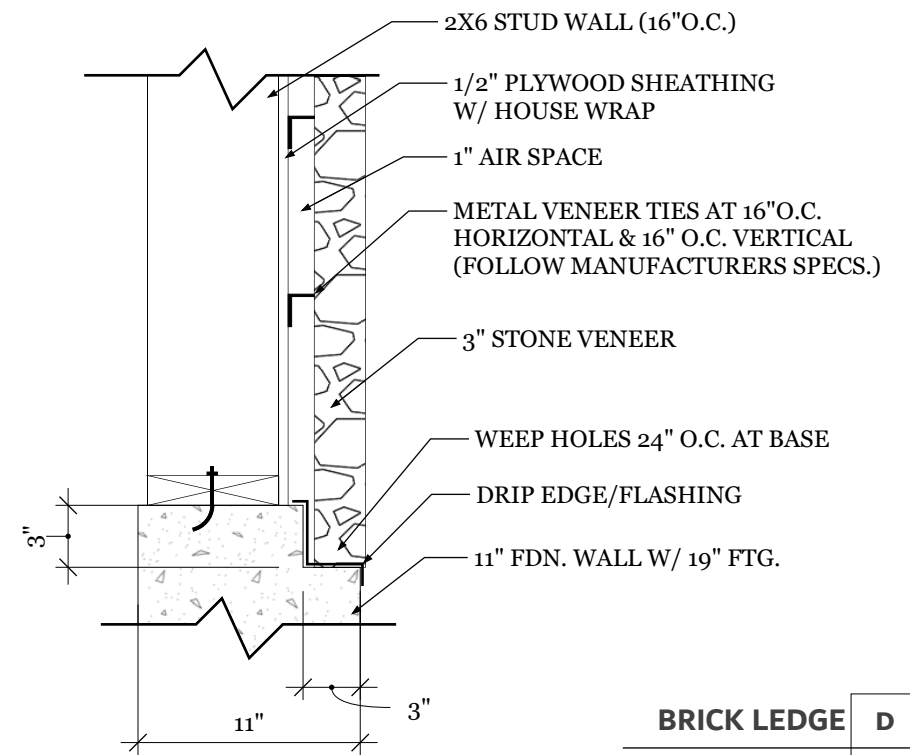
FIREPLACE WALL **D**

Scale: N/A 12



STONE VENEER WALL **D**

Scale: N/A 11



BRICK LEDGE **D**

Scale: N/A 13

Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

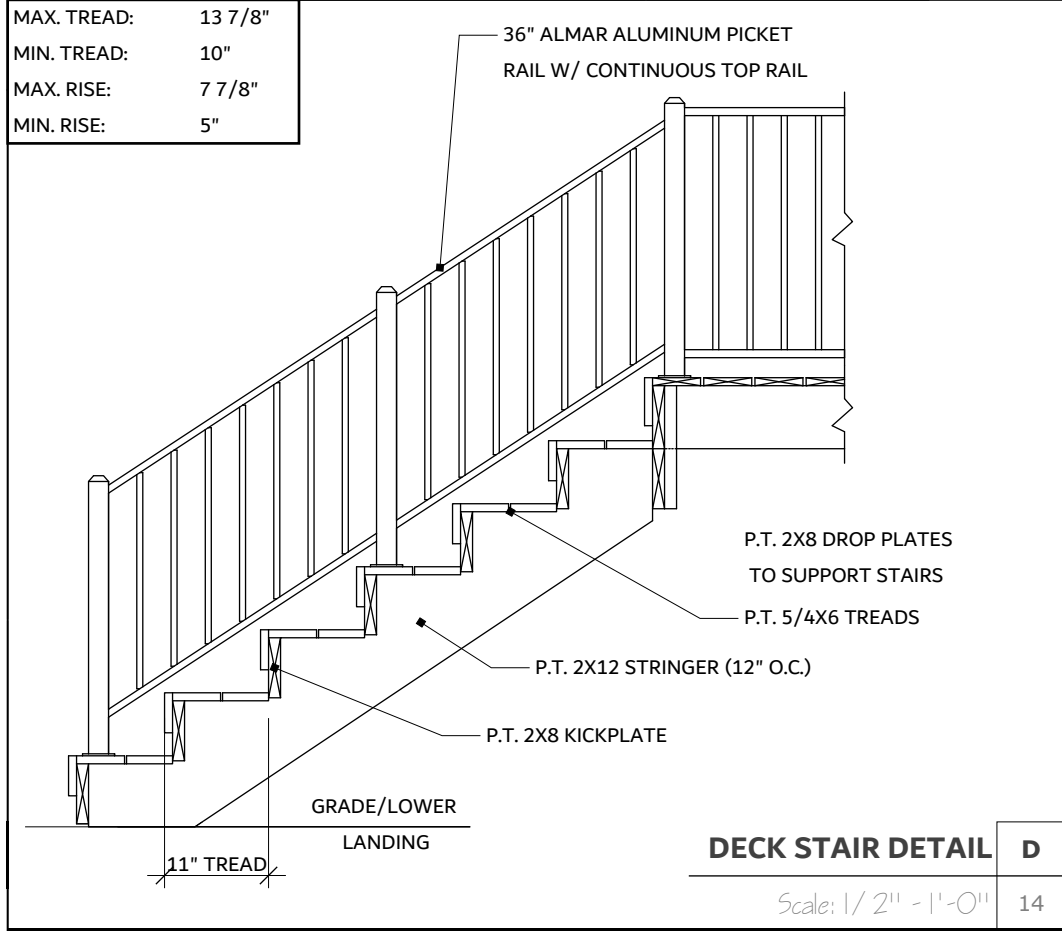
I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN:

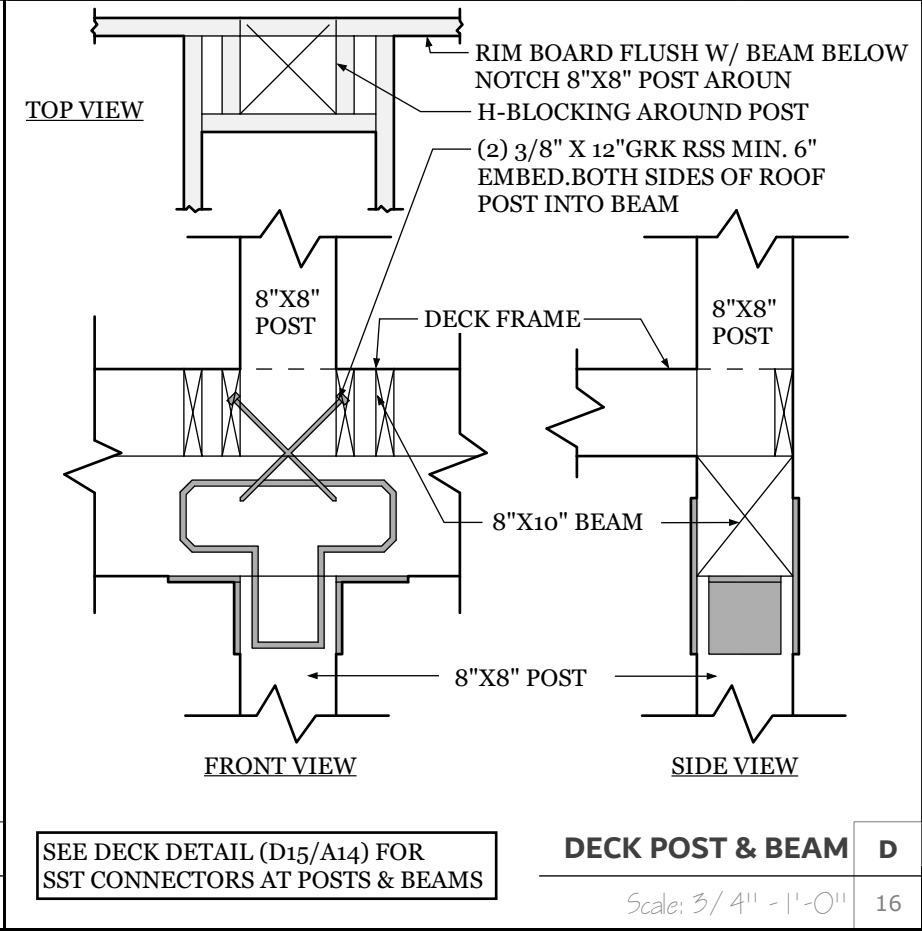


REVISIONS		
DD/MM/YY		REMARKS
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
---/---/---	...	

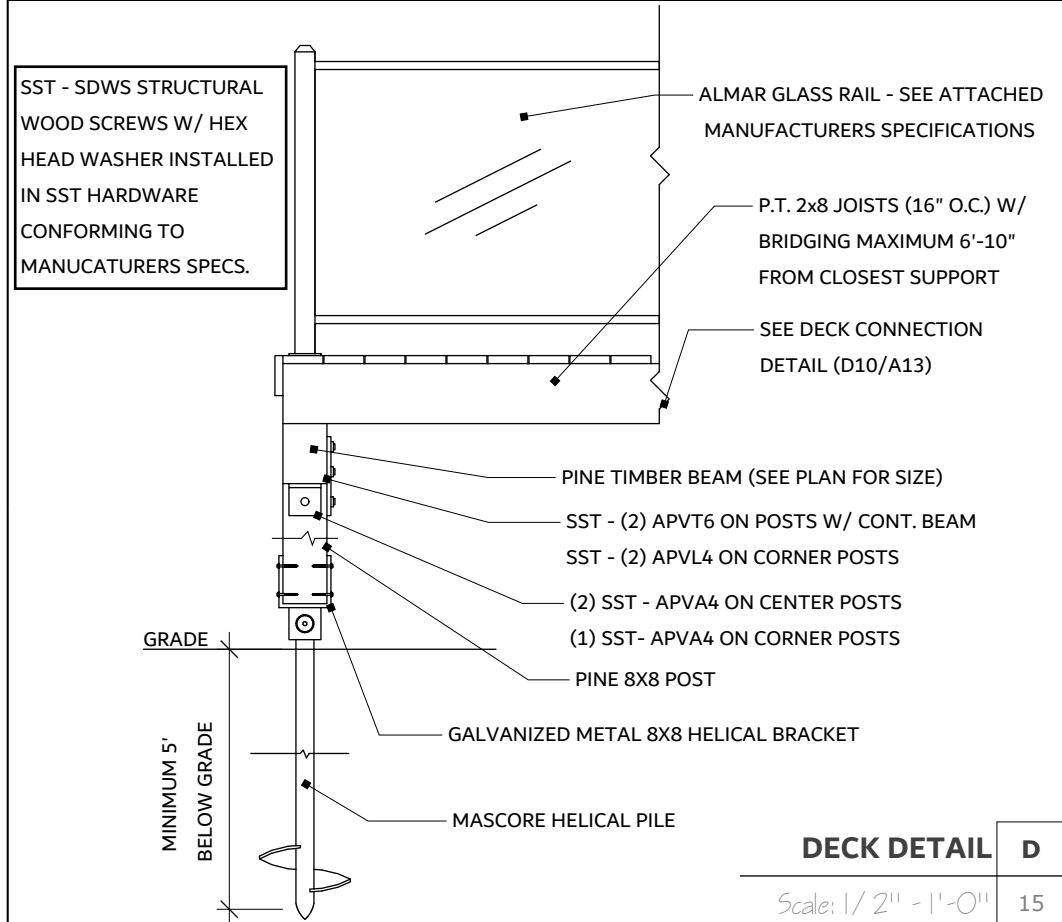
MAX. TREAD: 13 7/8"
 MIN. TREAD: 10"
 MAX. RISE: 7 7/8"
 MIN. RISE: 5"



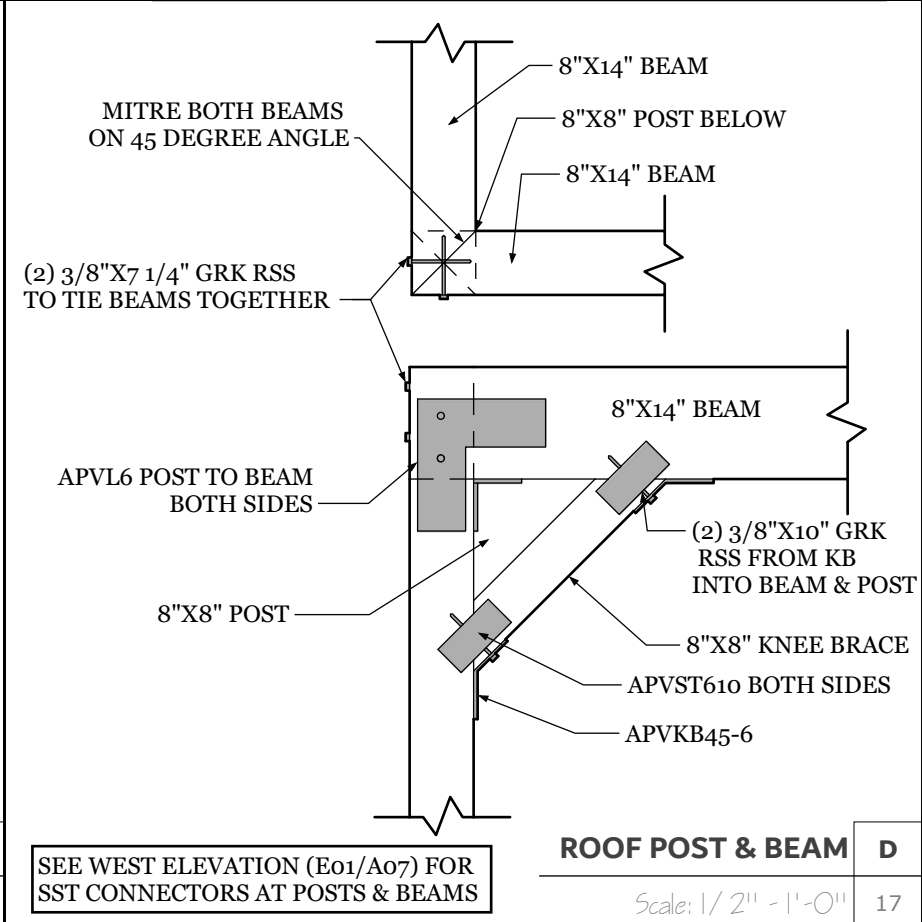
DECK STAIR DETAIL D
 Scale: 1/2" - 1'-0" 14



DECK POST & BEAM D
 Scale: 3/4" - 1'-0" 16



DECK DETAIL D
 Scale: 1/2" - 1'-0" 15



ROOF POST & BEAM D
 Scale: 1/2" - 1'-0" 17

CLIMATIC DATA (SIMCOE):
 Ss = 1.3 kPa
 Sr = 0.4 kPa
 q(1/50) = 0.45 kPa
DECK LOADING:
 DEAD LOAD = 10 psf
 LIVE LOAD = 40 psf
ROOF LOADING:
 DEAD LOAD = 10 psf
 SNOW LOAD = 23.3 psf

ZOLTAN ENGINEERING HAS REVIEWED PROPOSED DECK & DECK ROOF BEAMS & POSTS AND ASSOCIATED CONNECTIONS FOR STRUCTURAL ADEQUACY FOR GRAVITY & LATERAL LOADING ONLY. NO OTHER PORTIONS OF THIS PROJECT HAVE BEEN REVIEWED BY ZOLTAN ENGINEERING AT THIS TIME.
 HELICAL PILE DESIGN IS BY OTHERS.

- TIMBER**
- ALL WOOD MATERIALS, FABRICATION, BRACING, AND ERECTION PROCEDURES TO BE IN ACCORDANCE WITH CSA 086-14. ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA.
 - ALL TIMBER FOR RAFTERS, LINTELS, AND BEAMS TO BE SPF #2 UNLESS NOTED ON PLAN.
 - ALL TIMBER SHALL CONFORM TO NOMINAL SIZES SHOWN ON PLAN AND STRESS RATINGS FOR APPROPRIATE SPECIES. NO TIMBER SHALL BE USED THAT DOES NOT CONFORM TO DIMENSIONS AND SPECIES.
 - MINIMUM NUMBER OF FASTENERS PER OBC 9.23.3.4
 - THE USE OF AIR NAILS ARE ACCEPTABLE TO SUBSTITUTING 2-3" COMMON WIRE NAILS WITH 3-3"x120 PROSTRIP TYPE AIR NAILS
 - ALL JOIST HANGERS TO BE HUS BY SIMPSON STRONG TIE OR APPROVED EQUIVALENT. USE HOT-DIPPED GALVANIZED FINISH STEEL FOR EXTERIOR WORK.
 - ALL SHEATHING SHALL BE FASTENED TO THE STUD FRAMING WITH MINIMUM 3" COMMON NAILS AT 12" O.C. IN THE FIELD, AND AT 6" O.C. AT SUPPORTED EDGES. REFER TO PLANS FOR ALL ADDITIONAL SHEAR WALL/DIAPHRAGM BLOCKING AND NAILING.
 - BOLTS AND THREADED RODS TO BE A307 OR 300W GRADE
 - ALL WOOD TO BE PRESSURE TREATED MATERIAL PER CAN/CSA-080 "WOOD PRESERVATION" INCLUDING BUT NOT LIMITED TO THE FOLLOWING LOCATIONS:
 - INSTALLED EXTERIOR TO BUILDING
 - INCORPORATED WITH ROOFING SYSTEMS
 - INSTALLED AT EXTERIOR IN CONTACT WITH ROOFING SYSTEM
 - INSTALLED IN CONTACT WITH CONCRETE AND MASONRY



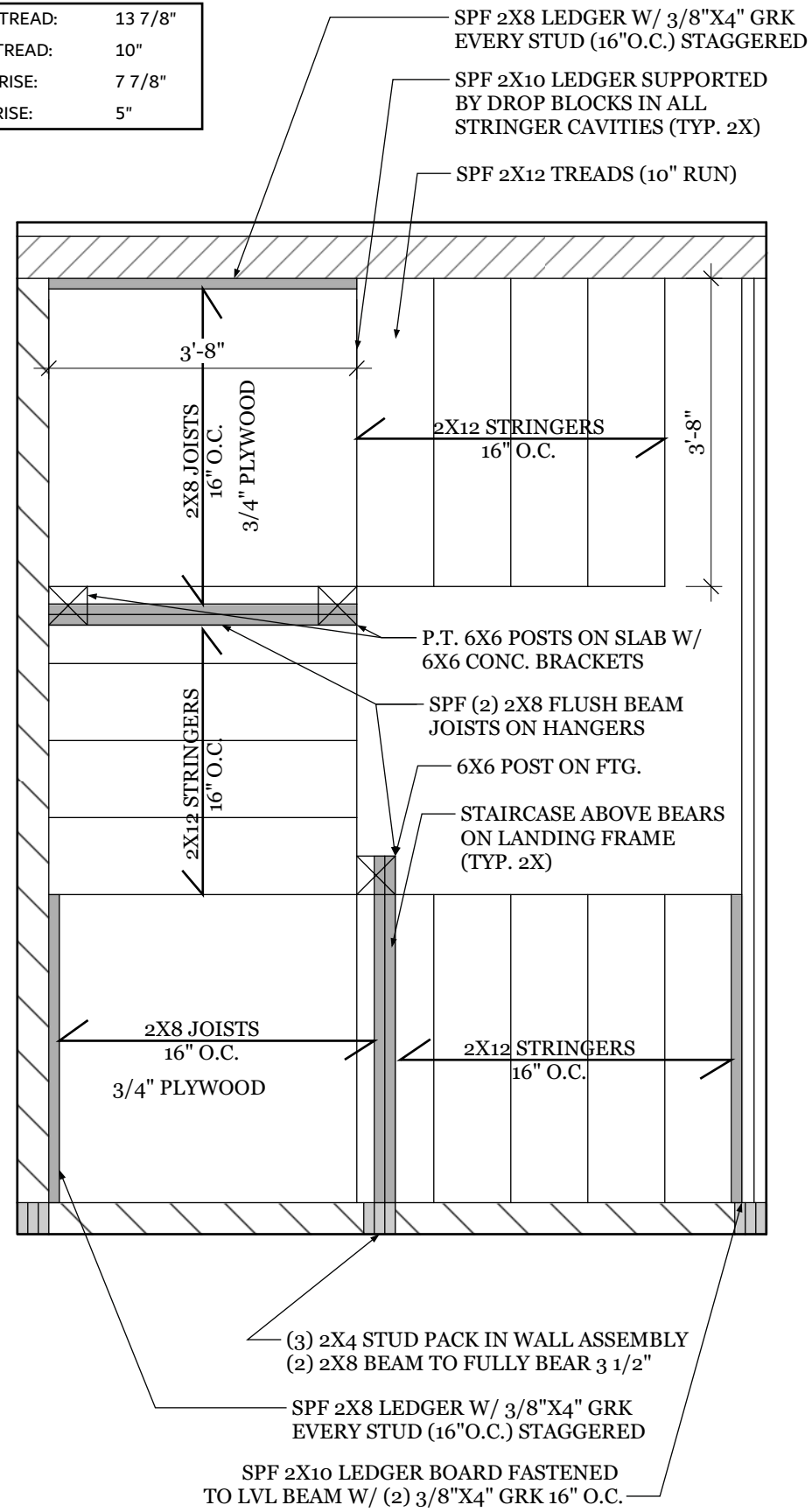
Owner: Duncan Amos & April Grose
 Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.
 Individual BCIN:



REVISIONS		
DD/MM/YY		REMARKS
03/10/22	Issued For Review	
02/11/22	Issued For Coordination	
07/12/22	Issued For Eng.	
13/12/22	Issued For Permit	
---/---/---	...	

MAX. TREAD:	13 7/8"
MIN. TREAD:	10"
MAX. RISE:	7 7/8"
MIN. RISE:	5"




INTERIOR STAIR FRAME D

Scale: 1/2" = 1'-0" 18

Owner: Duncan Amos & April Grose

Address: 321 Radical Rd, Port Dover

I Joel Delleman review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 



REVISIONS		
DD/MM/YY	REMARKS	
1 03/10/22	Issued For Review	
2 02/11/22	Issued For Coordination	
3 07/12/22	Issued For Eng.	
4 13/12/22	Issued For Permit	
5 --/--/--	...	

MAP A
CONTEXT MAP
Geographic Township of WOODHOUSE

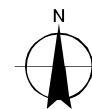
ANPL2023054



Legend

-  Subject Lands
- 2020 Air Photo

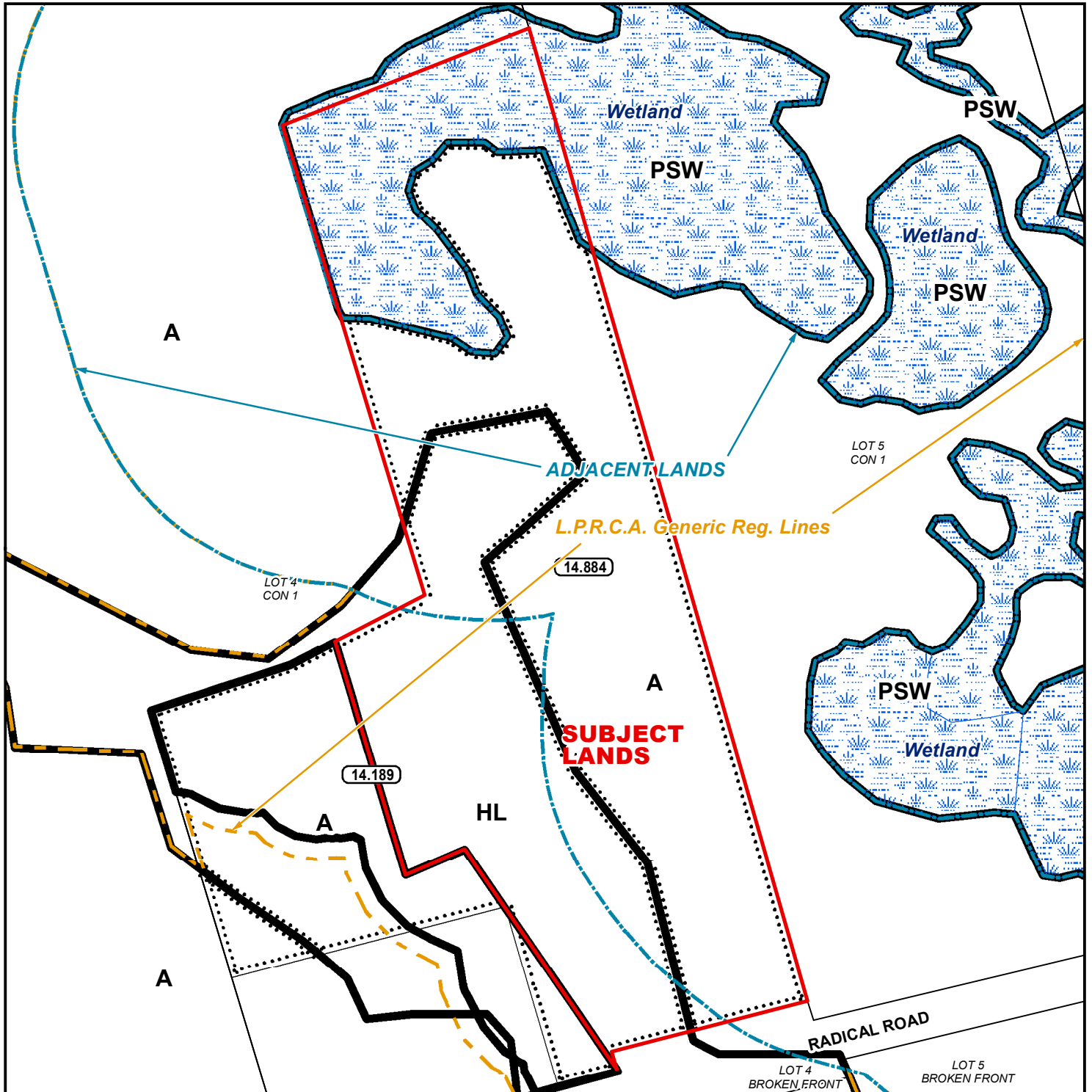
2/22/2023



40 20 0 40 80 120 160 Meters

MAP B
ZONING BY-LAW MAP
 Geographic Township of WOODHOUSE





ANPL2023054



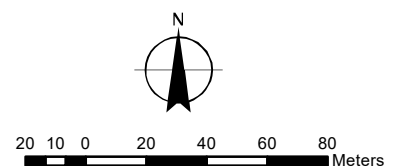
ZONING BY-LAW 1-Z-2014

2/22/2023

LEGEND

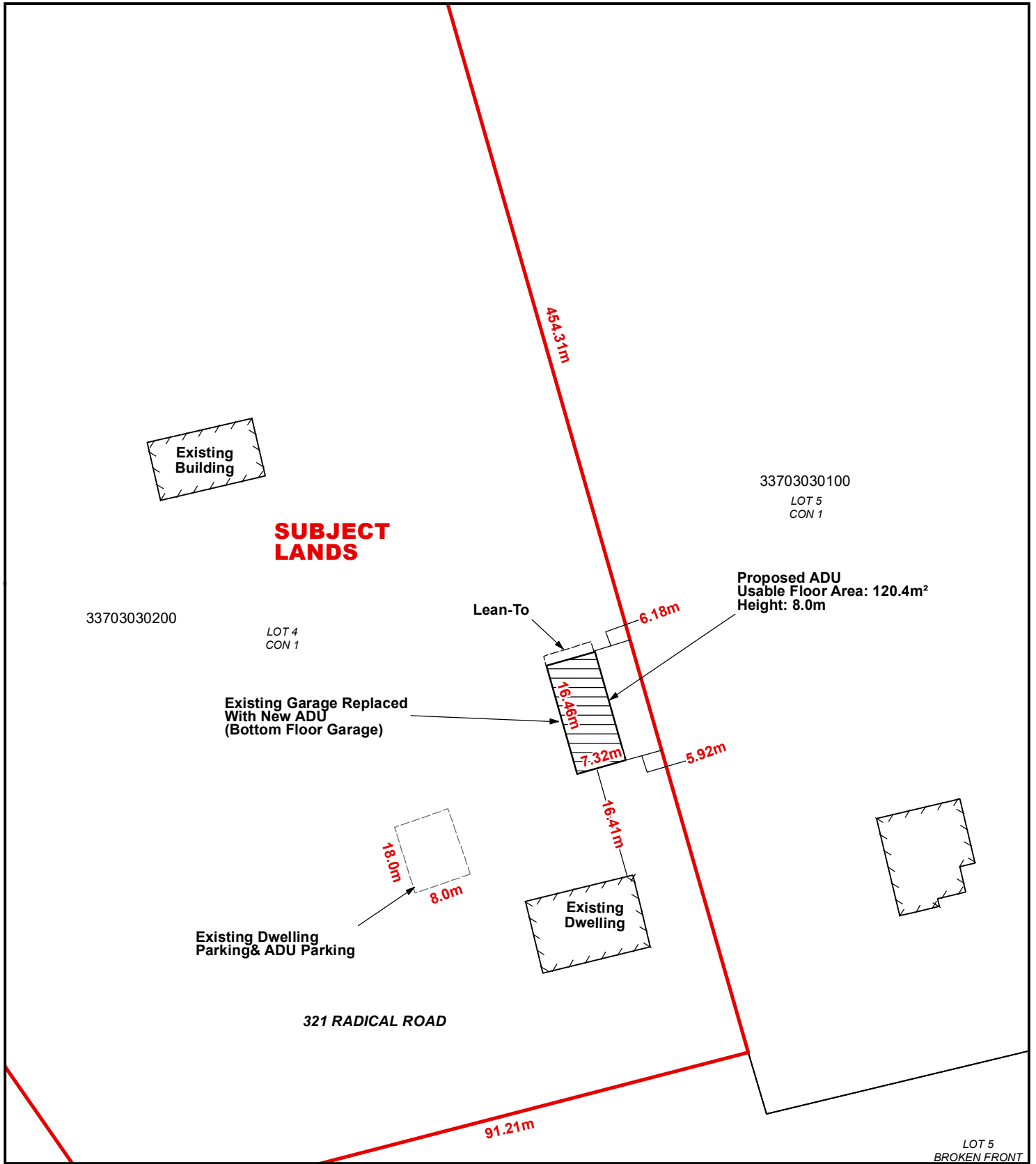
-  Subject Lands
-  Adjacent Lands
-  Wetland
-  LPRCA Generic RegLines

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone




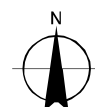
CONCEPTUAL PLAN

Geographic Township of WOODHOUSE

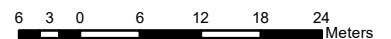


Legend

 Subject Lands

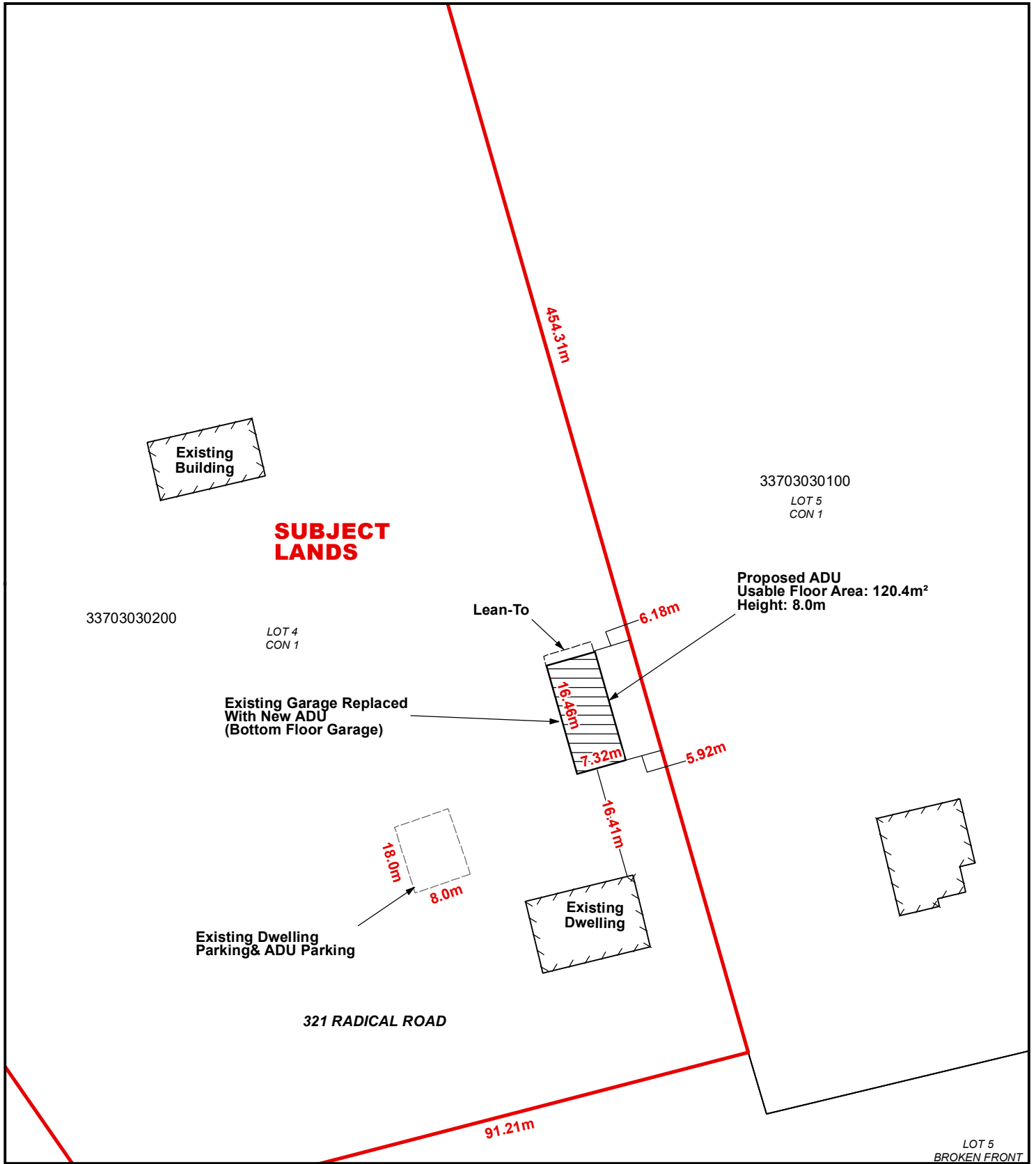


2/22/2023




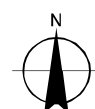
CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



Legend

 Subject Lands



2/22/2023

