

August 3, 2022

## Committee of Adjustment Application to Planning Department

### C. 2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

30 metres away from the existing dwelling is right in the middle of our driveway for tractors and bin wagons during tobacco harvest that we cannot interfere with. We would like the ADU to be approximately 55 metres away from the main dwelling unit, with the septic tank and tile bed located behind the ADU. We have an existing hill in the pre-existing tobacco kilnyard where we would like to build the ADU and incorporate a walkout basement.

It is important to us to build an ADU on our family farm. Currently, my Brother and I are partners in one of our farm companies, and it is convenient to both be living at the same location. However, I would like my own space and privacy to start my own family. I currently do all the paperwork, accounting, and payroll for the farm and want to continue to be involved in agriculture and the farming business. My Brother handles more of the physical labour and farm work with the help of our Father with hopes of taking it over one day.

Other possible locations for the ADU and their issues: (see site plan "A")

- A. Septic and Tile Bed location for existing house
- B. Parking for machinery and outdoor shop area for repairs
- C. Field area where crops are grown and we don't want to take away any production land
- D. Front yard of main dwelling
- E. Area used for bulk kiln loading/unloading of tobacco bins, parking for equipment, used during tobacco harvest
- F. Greenhouse and planting use

Tegan Meulemeester



**Name of Agent** \_\_\_\_\_  
 Address \_\_\_\_\_  
 Town and Postal Code \_\_\_\_\_  
 Phone Number \_\_\_\_\_  
 Cell Number \_\_\_\_\_  
 Email \_\_\_\_\_

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner                       Agent                       Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

\_\_\_\_\_  
 \_\_\_\_\_

**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Lot 23+24 Concession 3 Former Charlotteville Township.

Municipal Civic Address: 1804 Vittoria Road Vittoria ON N0E 1W0

Present Official Plan Designation(s): Agricultural OP

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify:

\_\_\_\_\_

3. Present use of the subject lands:

Agricultural - tobacco/soybean/seed corn farm.

\_\_\_\_\_  
 \_\_\_\_\_



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

all Farm buildings, please see site plan attached.

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

New ADU.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50+ years

9. Existing use of abutting properties:

Residential + Agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:



### C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

#### 1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	existing	farm			-
Lot depth	"	"			-
Lot width	"	"			-
Lot area	"	"			-
Lot coverage		10%	3.2.3.(a)	< 10% on farm	∅
Front yard		13m	3.2.3.(a)	> 65m	∅
Rear yard		3.3m	3.2.3.(b)(i)	60m	∅
Height		8m	3.2.3.(a)	6m	∅
Left Interior side yard		3.3m	3.2.3.(b)(i)	> 100m	∅
Right Interior side yard		3.3m	3.2.3.(b)(i)	70m	∅
Exterior side yard (corner lot)		N/A			-
Parking Spaces (number)		1		2	∅
% usable floor area		45%	3.2.3.(i)	45%	∅
AOU floor area	main house = 220m <sup>2</sup>	220m <sup>2</sup> × 45% = 1063ft <sup>2</sup> ≈ 99m <sup>2</sup>		1052ft <sup>2</sup> = 98m <sup>2</sup>	∅
All Accessory		200sqm	3.2.3.(a)	attached garage = 494sqft = 45sqm	∅
distance from main dwelling	Front corner	30m	3.2.3.(b)ii	4.5m	1.5m

back corner

75m

< 200m<sup>2</sup> all accessory bldgs.

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Please see attached document / explanation.

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: N/A

Depth: \_\_\_\_\_

Width: \_\_\_\_\_  
Area: \_\_\_\_\_  
Proposed Use: \_\_\_\_\_

**5. Surplus Farm Dwelling Severances Only:** List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: \_\_\_\_\_ *N/A* \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_



Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?:  Yes  No If yes, year dwelling built \_\_\_\_\_  
Date of Land Purchase: \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

**D. All Applications: Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

\_\_\_\_\_  
*Agricultural/rural property*  
\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. All Applications: Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?  Yes  No

If no, please explain:

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2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

open area, (old kilnyard) not removing any trees, or habitable space for animals.

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

not affecting any wet land or water.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

On the subject lands or  within 500 meters – distance N/A

**Wooded area**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

On the subject lands or  within 500 meters – distance N/A

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance N/A

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance ~ 70m from AOV

**Floodplain**

On the subject lands or  within 500 meters – distance N/A

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance N/A

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance N/A

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance N/A

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance N/A

**Active railway line**

On the subject lands or  within 500 meters – distance N/A

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance N/A

**Erosion**

On the subject lands or  within 500 meters – distance N/A

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance N/A



**F. All Applications: Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- |  |   |
|--|---|
| <input type="checkbox"/> Municipal piped water       | <input type="checkbox"/> Communal wells         |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |

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Sewage Treatment

- |   |  |
|---|--|
| <input type="checkbox"/> Municipal sewers                               | <input type="checkbox"/> Communal system                   |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input checked="" type="checkbox"/> Other (describe below) |

new septic tank + tile bed

Storm Drainage

- |  |                                       |
|--|---------------------------------------|
| <input type="checkbox"/> Storm sewers                      | <input type="checkbox"/> Open ditches |
| <input checked="" type="checkbox"/> Other (describe below) |                                       |

none

2. Existing or proposed access to subject lands:

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway     |
| <input type="checkbox"/> Unopened road             | <input type="checkbox"/> Other (describe below) |

Name of road/street:

Vittoria road + existing driveway

**G. All Applications: Other Information**

1. Does the application involve a local business?  Yes  No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

See attachments.

## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways N/A
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

**I. Transfers, Easements and Postponement of Interest**

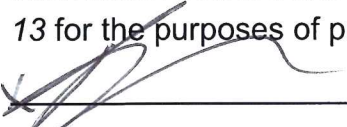
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

**Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

**Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

  
\_\_\_\_\_  
Owner/Applicant/Agent Signature

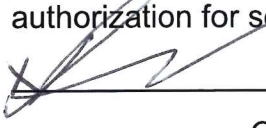
August 10 2022  
\_\_\_\_\_  
Date

**J. Owner's Authorization**

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Ron Meulemeester am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Tegan Meulemeester to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

  
\_\_\_\_\_  
Owner

August 10 2022  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**\*Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



**K. Declaration**

I, Ron Meulemeester of Vittoria

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

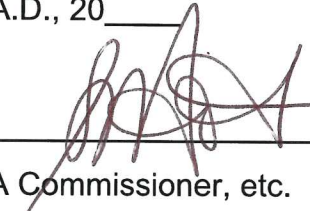
NORFOLK COUNTY

  
Owner/Applicant/Agent Signature

In SIMCOE, ONT.

This 10<sup>th</sup> day of AUGUST 2022

A.D., 20

  
A Commissioner, etc.

Sherry Ann Mott, a  
Commissioner, etc., Province of Ontario,  
for the Corporation of Norfolk County.  
Expires January 5, 2023.



APPLICANT NAME

FILE NUMBER

R. Meulemeester

1804 VICTORIA RD

Send Copies To: sherry.mott@norfolkcounty.ca

Description	Short Code	Rate	Total	Minus PreCon Fee
<b>Planning</b>				
Consent Application Fee	DCAR	\$2,791.00		
Building Share Consent	DCARB	\$95.00	\$2,886.00	
Surplus Consent and Zoning	DSUR	\$3,353.00		
Building Share Consent and Zoning	DSURB	\$98.00	\$3,451.00	
Minor Variance Fee	DMVA	\$1,546.00		
Building Share Minor Variance	DMVAB	\$53.00	\$1,599.00	
Application Recirculation Fee	DAREC	\$502.00		
Zoning Amendment- Regular	DZARE	\$3,704.00		
Building Share Zoning Amendment	DZARB	\$193.00	\$3,897.00	
Zoning Amendment- Major	DZAMA	\$5,338.00		
Building Share Zoning Amendment	DZAMB	\$294.00	\$5,632.00	
Zoning Amendment- Removal of Holding	DZART	\$844.00		
Official Plan Amendment- Regular	DOFFR	\$4,071.00		
Official Plan Amendment- Major	DOFFM	\$6,213.00		
Official Plan and Zoning Amendments- Regular	DCOPR	\$4,592.00		
Official Plan and Zoning Amendments- Major	DCOPM	\$9,020.00		
Site Plan- Regular	DSPR	\$4,000.00		
Site Plan- Major	DSPM	\$8,523.00		
Site Plan-Minor or Amendment	DSPA	\$1,221.00		
Recirculation Site Plan or Condominium	DREC	\$1,000.00		
Site Plan Agreement Compliance Letter	DACL	\$100.00		
Agreement Default	DADEF	\$1,000.00		
Subdivision and/or Condominium (plus \$75.00 per lot)	DSCAF	\$8,382.00		
Part Lot Control Exemption	DPLCE	\$2,181.00		
Deeming	DDEEM	\$2,102.00		
Green Energy Act/ Communication Tower	DCOMT	\$1,915.00		
Condominium Conversion	DCONC	\$3,291.00		
Subdivision / Condominium Extension	DSCED	\$1,438.00		
Subdivision / Condominium Revisions	DCONE	\$1,145.00		
Preservicing Agreement	DPAGR	\$2,598.00		
Site Plan Agreement	DSAGR	\$2,598.00		
Subdivision / Condominium Agreement	DSCAF	\$8,382.00		
Urban Forestry Trees	CRMTC	\$506.00		
Other Drainage, Lotgrading, Cash in Lieu, Cost	DOTH	\$1,517.00		
Civic Address	PCADR	\$64.00		
Civic Address	DCADD	\$48.00	\$112.00	
Publication Sales (Official Plan)	DPSOP	\$113.00		
Publication Sales (Official Plan)	DPSZB	\$113.00		
Application Recirculation Fee	DAREC	\$502.00		
Application Deferral/Inactive	DARIF	\$502.00		
Pre Consultation Meeting	DPREC	\$500.00		
Cash in Lieu of Parkland (per lot fee to be determined.)	DLOC	TBD		
<b>Finance</b>				
Financial Administration	FFADM	\$417.00		
<b>Public Works</b>				
Drainage - Reportionment Varies	PSEV	\$270.00		
Entrance Permits PENE-Eest PNEC-Central PENS-Simcoe PENW-West	Short Codes depends on area	\$244.00		
CHEQUE NUMBER	TOTAL		1599 <sup>00</sup>	



**Norfolk County**  
 185 Robinson Street  
 Suite 100  
 Simcoe ON N3Y 5L6

**RECEIPT OF PAYMENT**

MEULEMEESTER RONALD DENNIS  
 1804 VITTORIA RD  
 VITTORIA, ON N0E 1W0

Receipt Number: 234118  
 Tax Number:  
 Date: August 10, 2022  
 Initials: JL

Type	Account / Ref. #	Description	Quantity	Amount Paid
General	DMVA	Minor Variance App 1804 VITTORIA RD	1	\$1,546.00
General	DMVAB	PD Bldg Share Minor Variance	1	\$53.00
Cheque Number: 0295			Subtotal:	\$1,599.00
			Taxes:	\$0.00
			Total Receipt:	<u>\$1,599.00</u>
			Cheque:	\$1,599.00

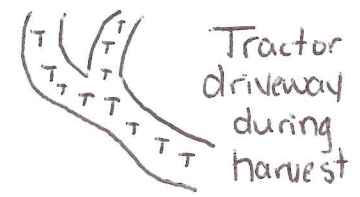
Total Amount Received:	<u>\$1,599.00</u>
Rounding:	\$0.00
Amount Returned:	<u><u>\$0.00</u></u>



# Site plan "A"



- A existing septic
- B machine parking
- C Field
- D existing house front yard
- E bulk kiln loading
- F greenhouse use



- Ⓜ existing well
- Ⓢ existing septic tank and tile bed

ADU  
with attached single garage and walkout basement.



# Site plan "B"



H = main dwelling

- 1 barn 50' x 100'  
= 15m x 30m
- 2 green house 20' x 100'  
= 6m x 30m
- 3 green house 40' x 100'  
= 12m x 30m
- 4 shop 24' x 60'  
= 7m x 18m
- 5 barn 50' x 80'  
= 15m x 24m
- 6 bunkhouse 12' x 60'  
= 4m x 18m
- 7 storage garage 24' x 36'  
= 7m x 11m
- 8 strip room 40' x 40'  
= 12m x 12m

ADU

→ entrance

driveway + parking spaces  
6m x 4m each

septic + tile bed location

Tractor laneway during tobacco

9 Chem shed 10' x 10'  
= 3.2m x 3.2m

10 storage 8' x 12'

735,568,522,557,432,606 Meters



1

10

5

10

10

10

10

10

10

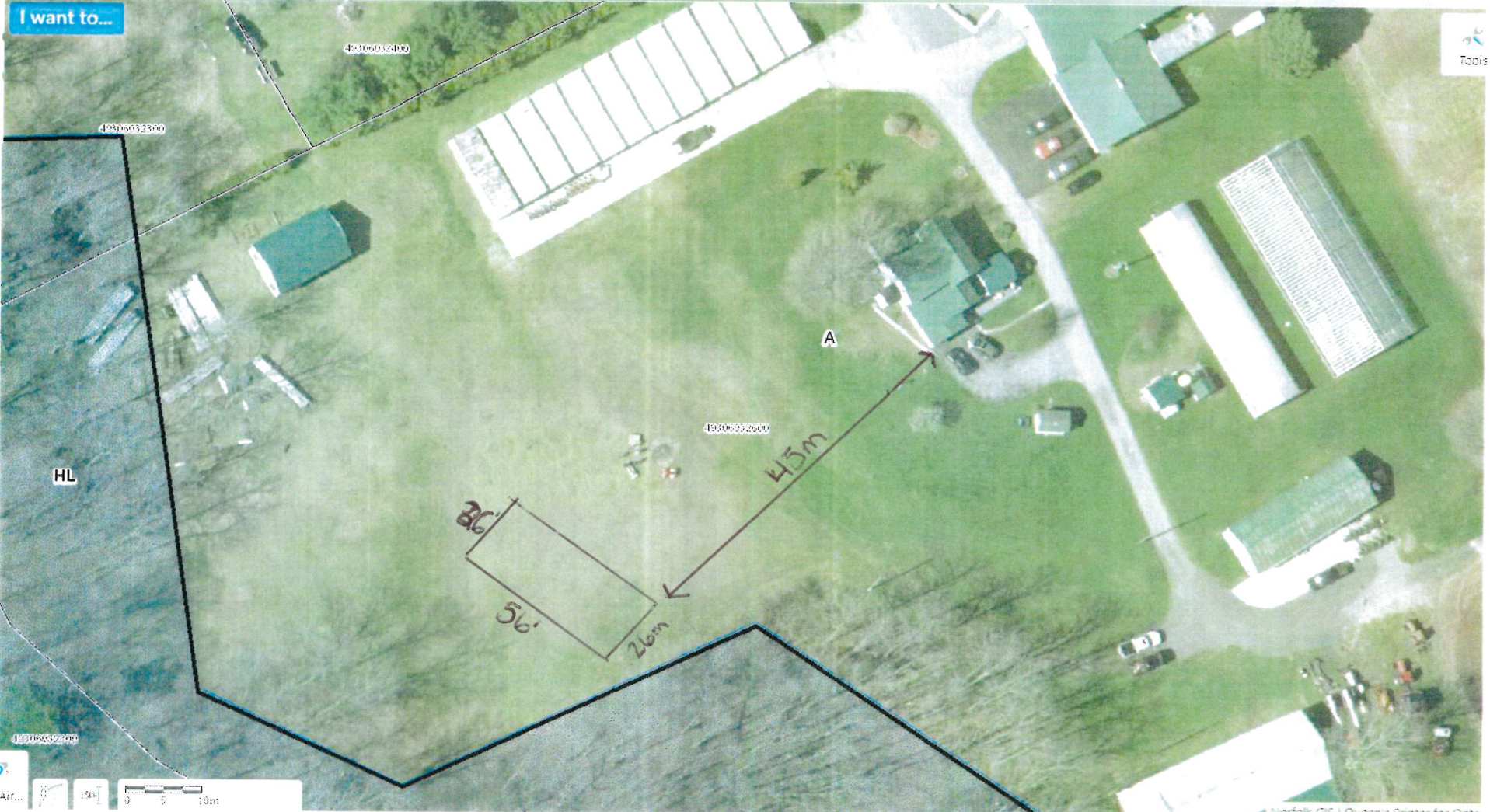
10

10

10 10 10 10 10 10 10 10

I want to...

Tools



HL

A

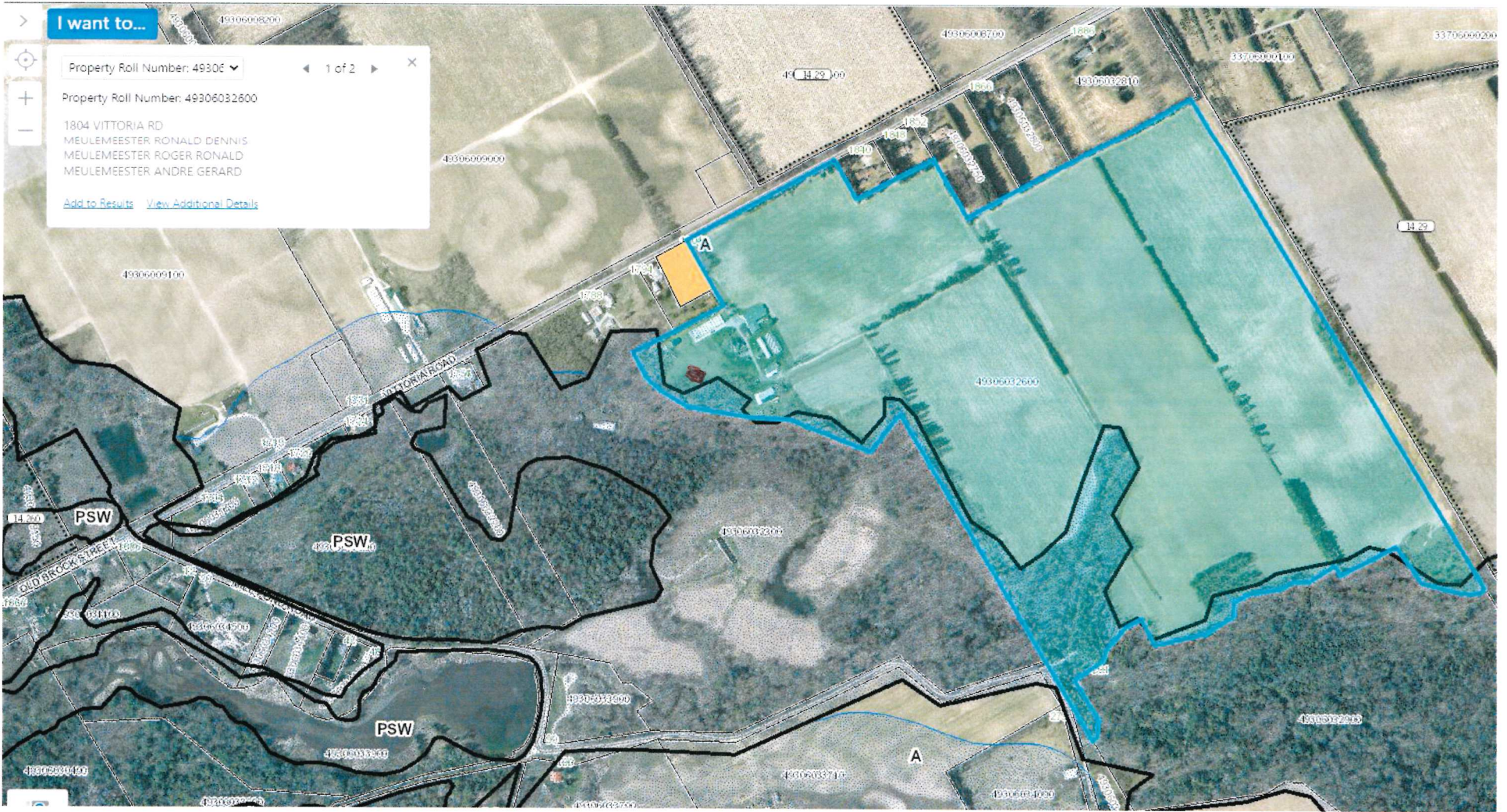
36'


56'

26m

45m





 56' x 30' (A00) house with attached garage.









I want to...

Tools

49306012400

49306032300

HL

E  
D

A

A

49306032600

F

B

49306032300

Air... 100% 0 5 10m

# Room Schedule

1804 VITTORIA ROAD, VITTORIA ON N0E 1W0

AREA (SF)	NAME	NUMBER
182	OFFICE	1
253	LIVING	2
127	ENTRANCE	3
80	BATH	4
42	HALL A	5
20	HALL B	6
182	DINING	9
135	KITCHEN	10
48	STAIR 1	11
200	FINISHED BASEMENT	14
107	HALL C	15
160	MASTER	16
132	BED 1	17
90	BATH 2	18
120	BED 2	19
31	CLOSETS	20
48	STAIRS	21
129	HALL D	22
275	FIN. BASEMENT	23
<b>2361</b>		
<b>= 220m<sup>2</sup></b>		

FINISHED BASEMENT = 475 SF  
 MAIN FLOOR = 1176 SF  
 SECOND FLOOR = 710 SF  
**2361 x 45% = 1063SF = 99sq m.**

ADU:

main floor area: 791 ft<sup>2</sup> = 73m<sup>2</sup>

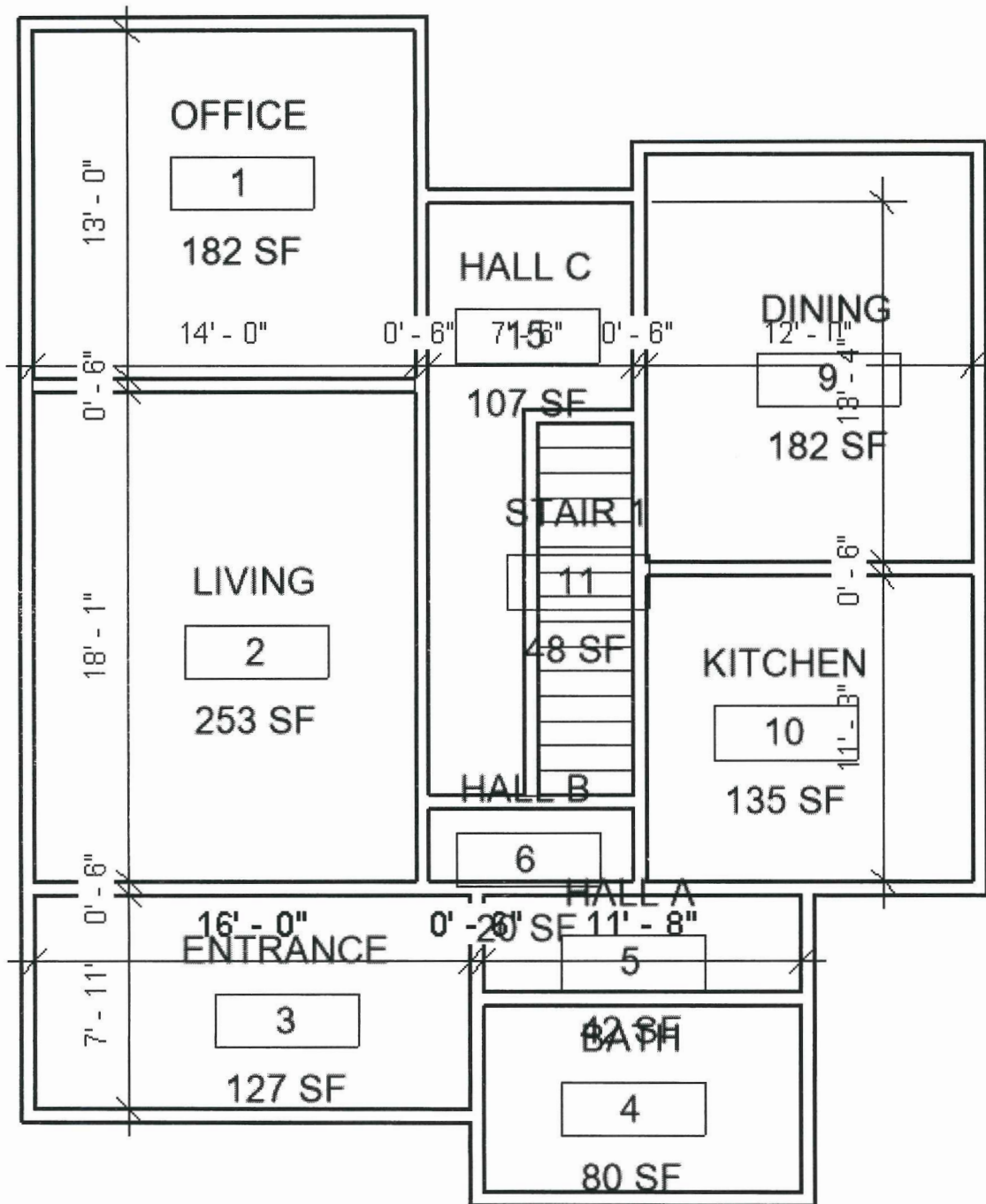
Finished basement area: 261 ft<sup>2</sup> = 24m<sup>2</sup>

unfinished storage <sup>(rec room)</sup> basement: 563 ft<sup>2</sup> = 52m<sup>2</sup>

Garage (attached): 494 ft<sup>2</sup> = 45m<sup>2</sup>

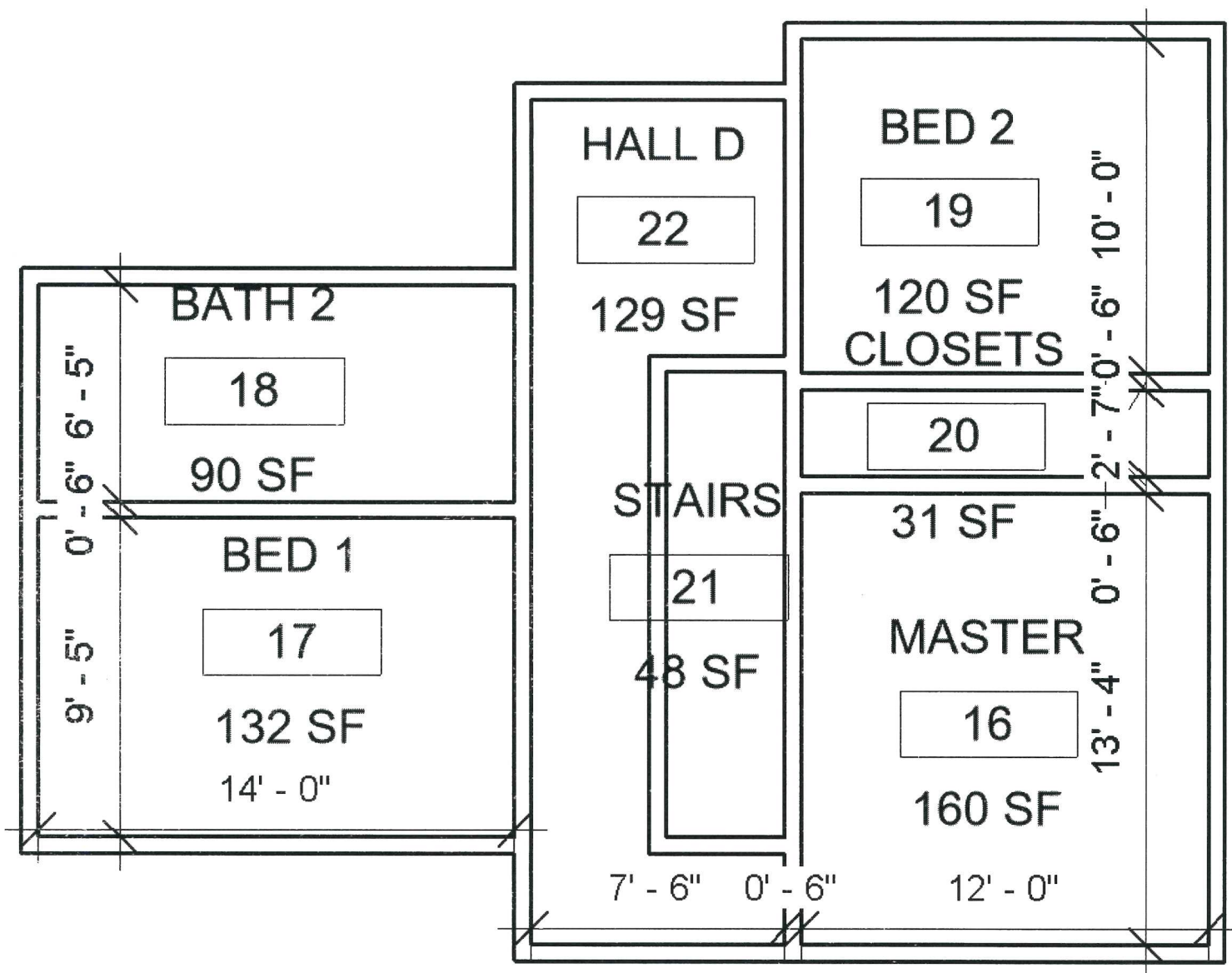
Total finished = 1052 = 98m<sup>2</sup>



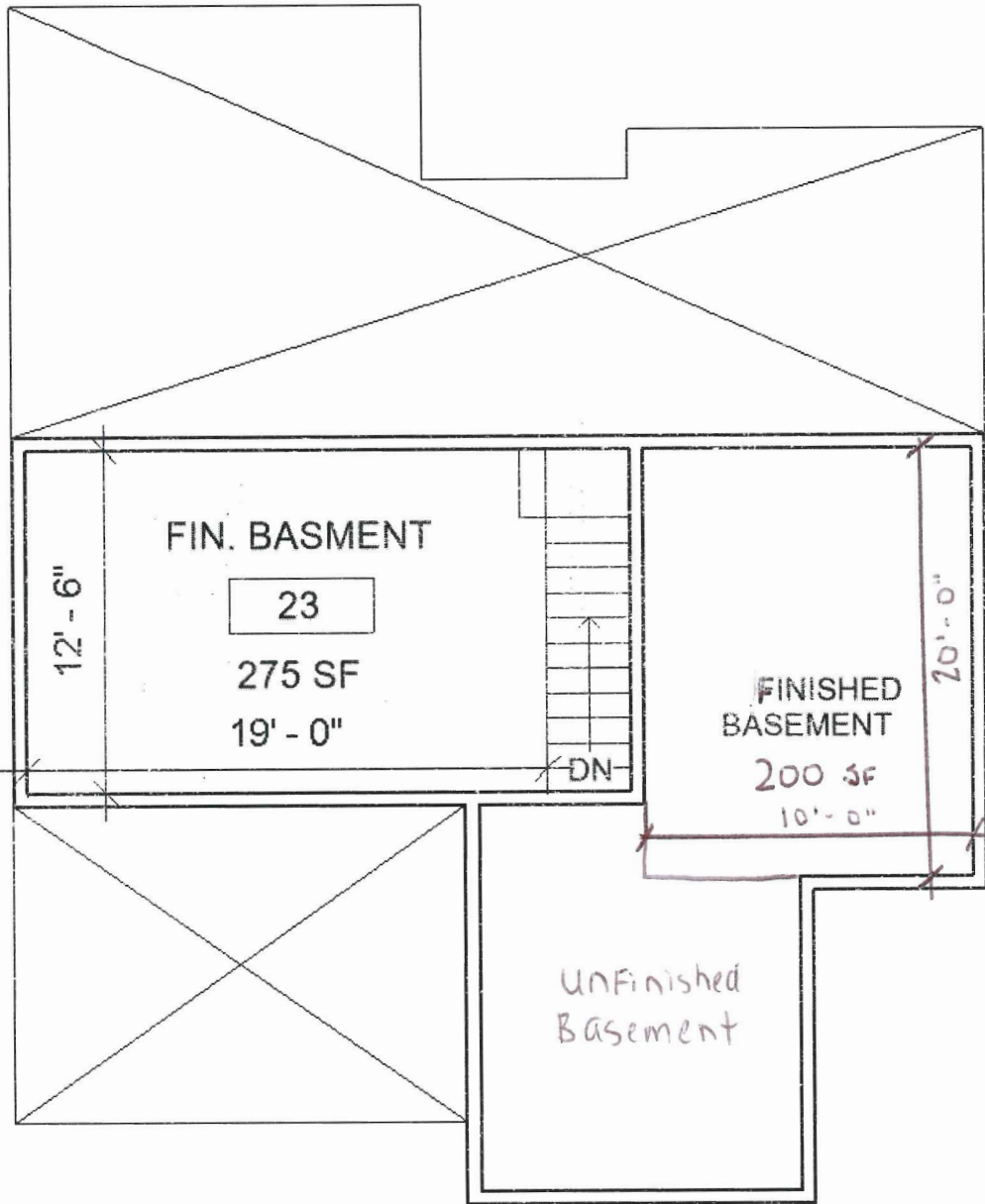


**MAIN FLOOR PLAN**



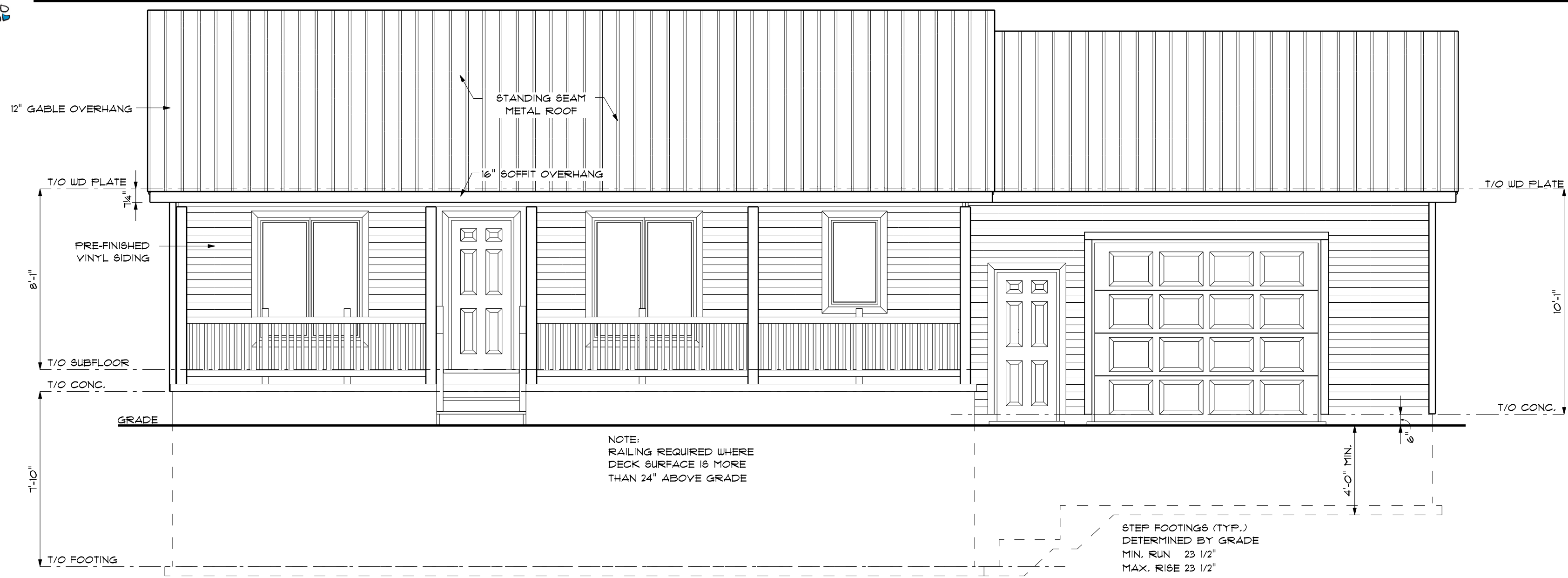


**SECOND FLOOR PLAN**

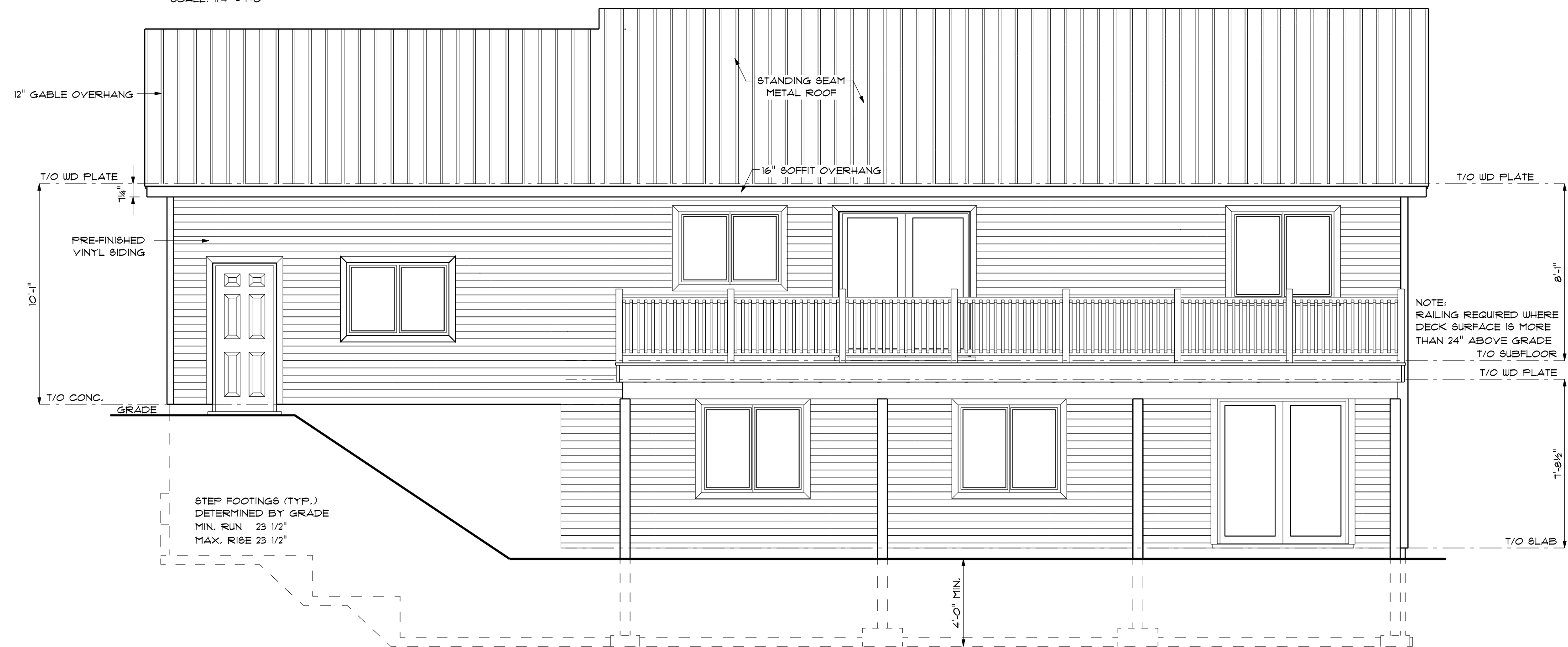


**BASEMENT FLOOR PLAN**

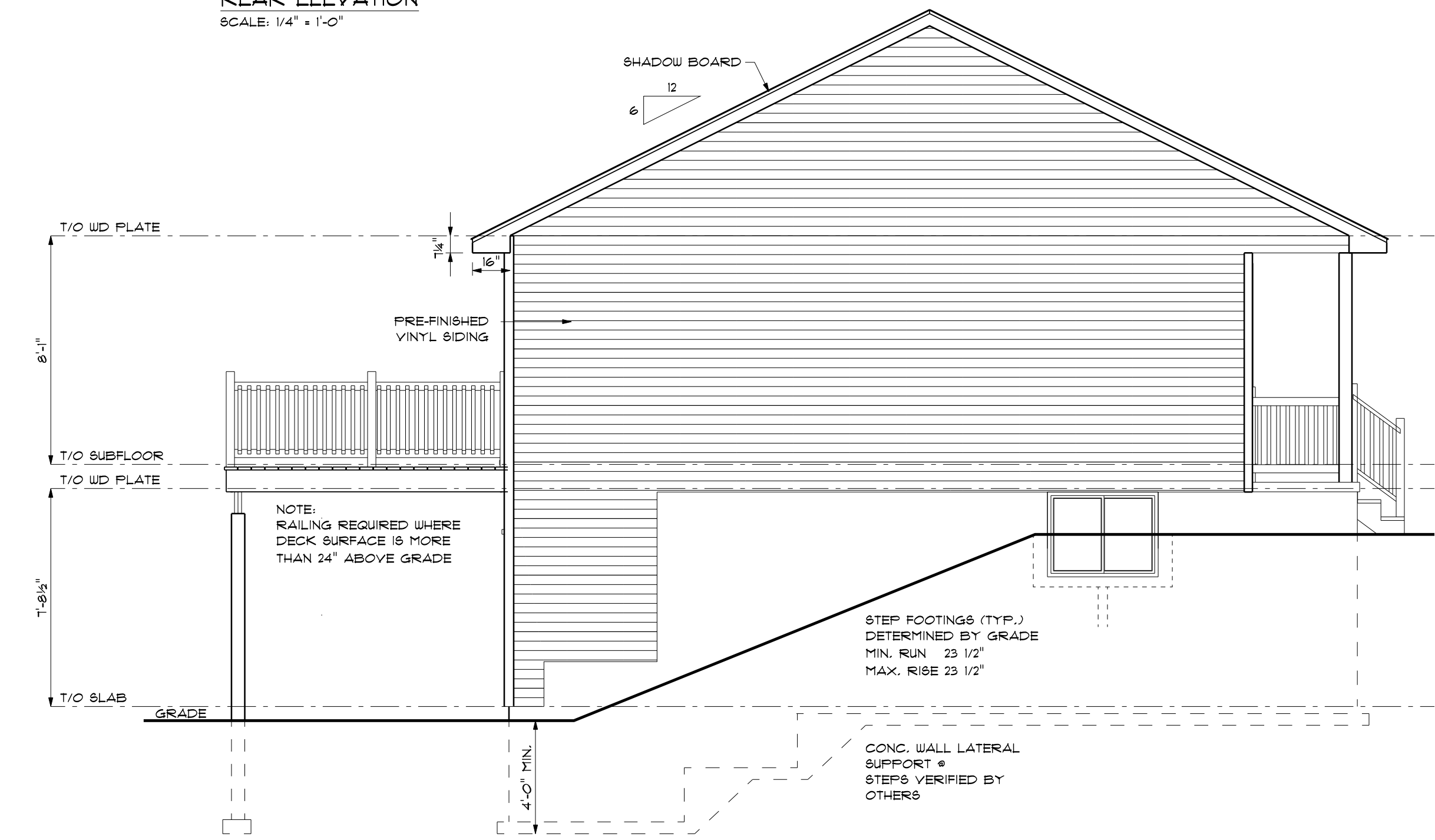




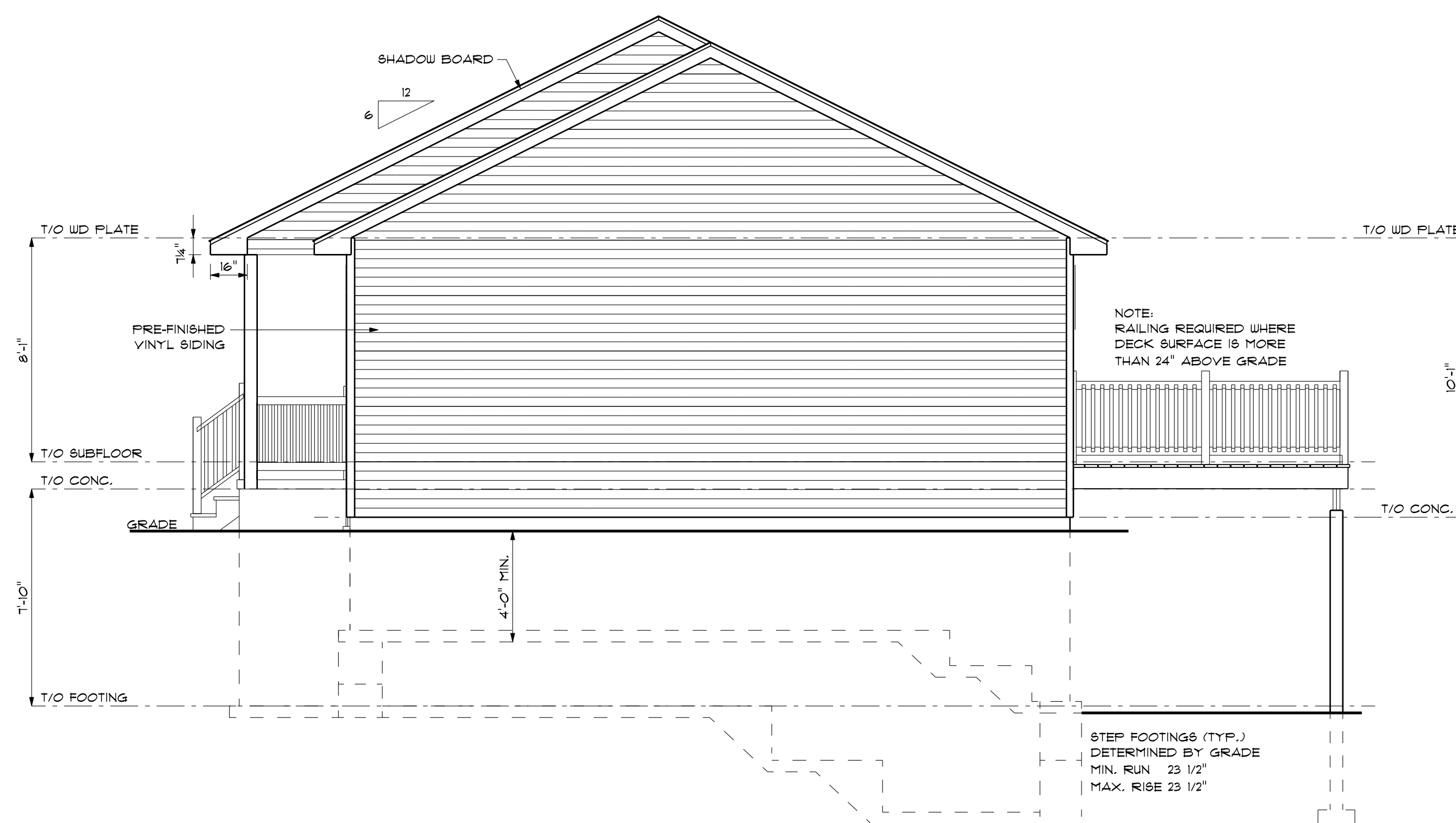
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES**

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- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS & SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 30 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:  
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (300mm) LIFTS EVENLY AROUND STRUCTURE.  
COMPACT BACKFILL TO 98% STANDARD PROCTOR.  
ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.  
PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

**DESIGN NOTES**

**DESIGN DATA LOCATION: SIMCOE**  
GROUND SNOW LOAD: 1.3 KPA (27.2 psf)  
SPECIFIED SNOW LOAD: 1.2 KPA (25.4 psf)  
DEAD LOAD: 0.48 KPA (10 psf)  
WIND LOAD (1/50): 0.48 KPA (25.4 psf)  
1/2" PERIMETER EXPANSION JOINT FOR FOURED CONC. SLABS  
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN FOURED CONC. SLABS  
ALL WOOD NO. 2 SPRUCE OR BETTER  
ALL BOLTS GALVANIZED STEEL

**MAX. BRICK LINTEL SPANS**  
4" BRICK/STONE O.B.C. 3,20,3,2  
BL-1 4" V x 3 1/2" H x 1/4" T 8'-0"  
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

**STAIR INFO.**  
RISE: MAX. 1 1/8"  
RUN: MIN. 10 1/16"  
TREAD: MAX. 11"  
NOSING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN

**LEGEND**  
SOLID BEARING  
SB FOR GIRDER  
POINT LOAD  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
D.C.J. DOUBLE CEILING JOIST

**STRUCTURAL NOTES**

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

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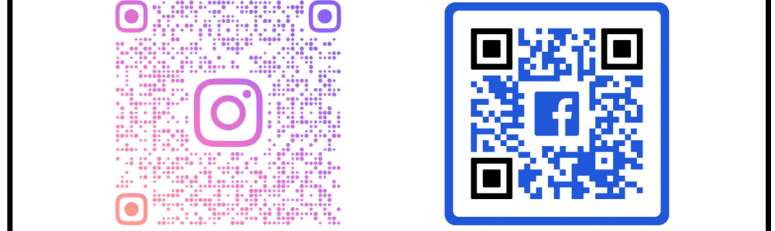
**PLAN AREAS**

FINISHED BASEMENT	826 sq. ft.
MAIN FLOOR PLAN	944 sq. ft.
TOTAL FINISHED AREA	1770 sq. ft.
GARAGE	535 sq. ft.
COVERED PORCH	135 sq. ft.
LOT COVERAGE	1614 sq. ft.

**PROPOSED RESIDENCE FOR**  
JK HOME BUILDING CENTER  
1804 VITTORIA RD

**PROJECT NUMBER**  
C69-22-04

**djDESIGN**  
Architectural • Energy • HVAC  
Phone: (519) 539-9987 378 Hunter Street  
E-mail: plans@djdesign.ca Woodstock, ON  
Website: www.djdesign.ca N4S 4G2



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.1.1 OF THE BUILDING CODE

**DEREK JUKEMA** 21759  
NAME BCIN  
SIGNATURE

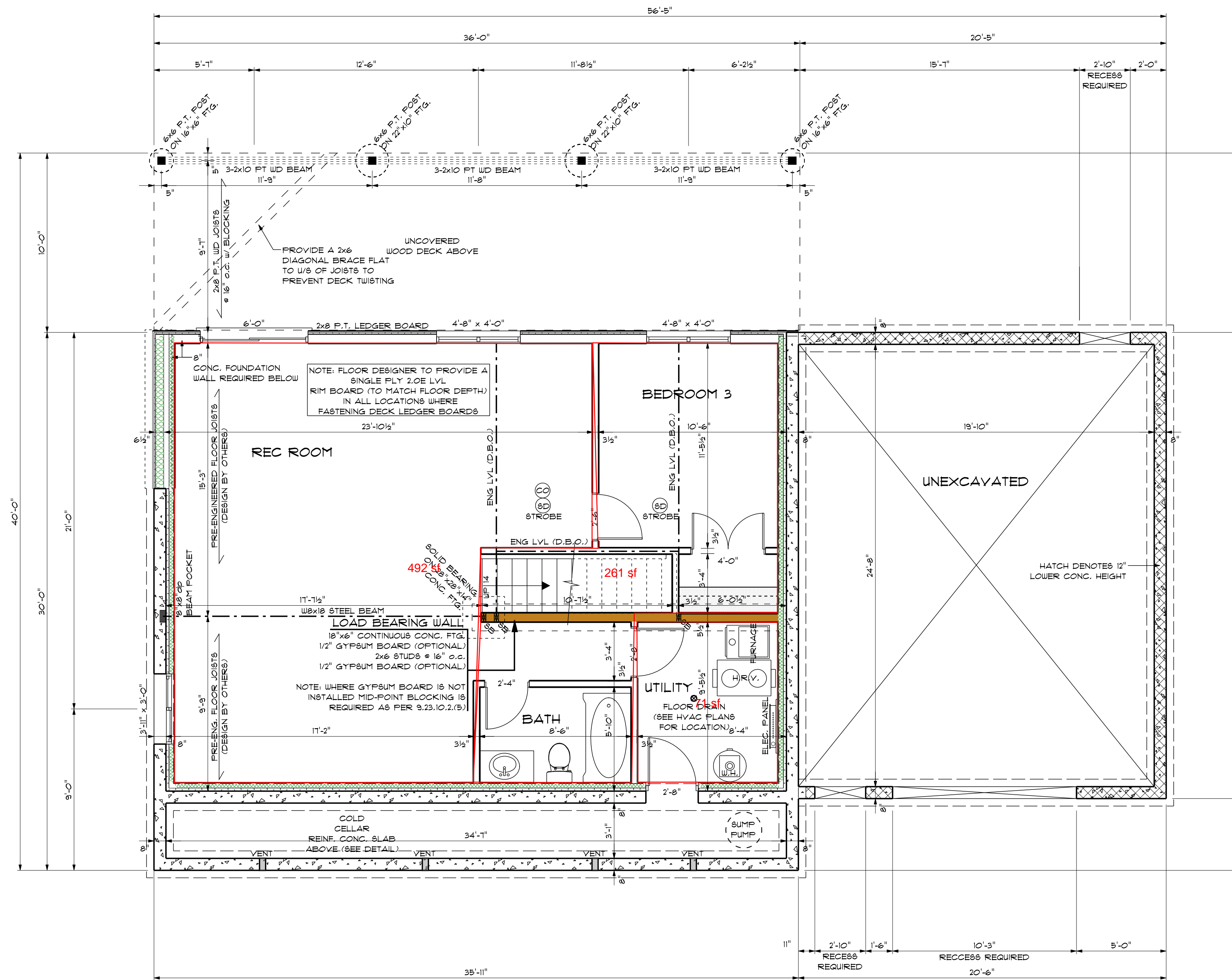
**ELEVATIONS & 3D VIEW**

scale:	1/4" = 1'-0"
date:	2022-05-31
drawn by:	AR
designed by:	ALEX@DJDESIGN.CA
checked by:	ATW

**A-1**

WE SHARE IN YOUR EXCITEMENT! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT





FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 420 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psi
- CONSTRUCTION SEQUENCING:  
- BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (30cm) LIFTS  
- EVENLY AROUND STRUCTURE.  
- COMPACT BACKFILL TO 95% STANDARD PROCTOR.  
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- MAX. BRICK LINTEL SPANS  
4" BRICK/STONE O.B.C. 3,20,5,2
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BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"
- STAIR INFO. LEGEND  
RISE: MAX. 1 7/8" SOLID BEARING  
RUN: MIN. 10 1/16" SB FOR GIRDER  
TREAD: MIN. 11" POINT LOAD  
NOSING: MAX. 1"   
HEADROOM: MIN. 6'-5" S.J. SINGLE JOIST  
UNIFORM RISE/RUN D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
D.C.J. DOUBLE CEILING JOIST

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**PLAN AREAS**

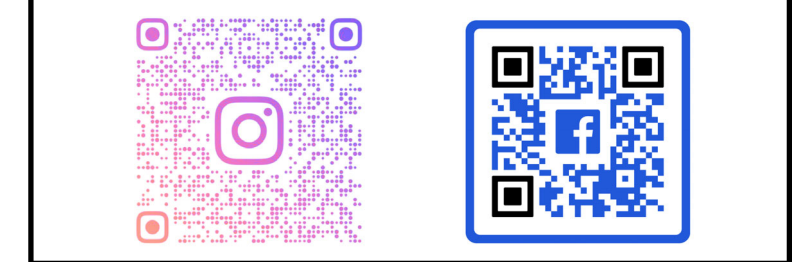
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E-mail: planed@djdesign.ca Woodstock, ON  
Website: www.djdesign.ca N4S 4G2



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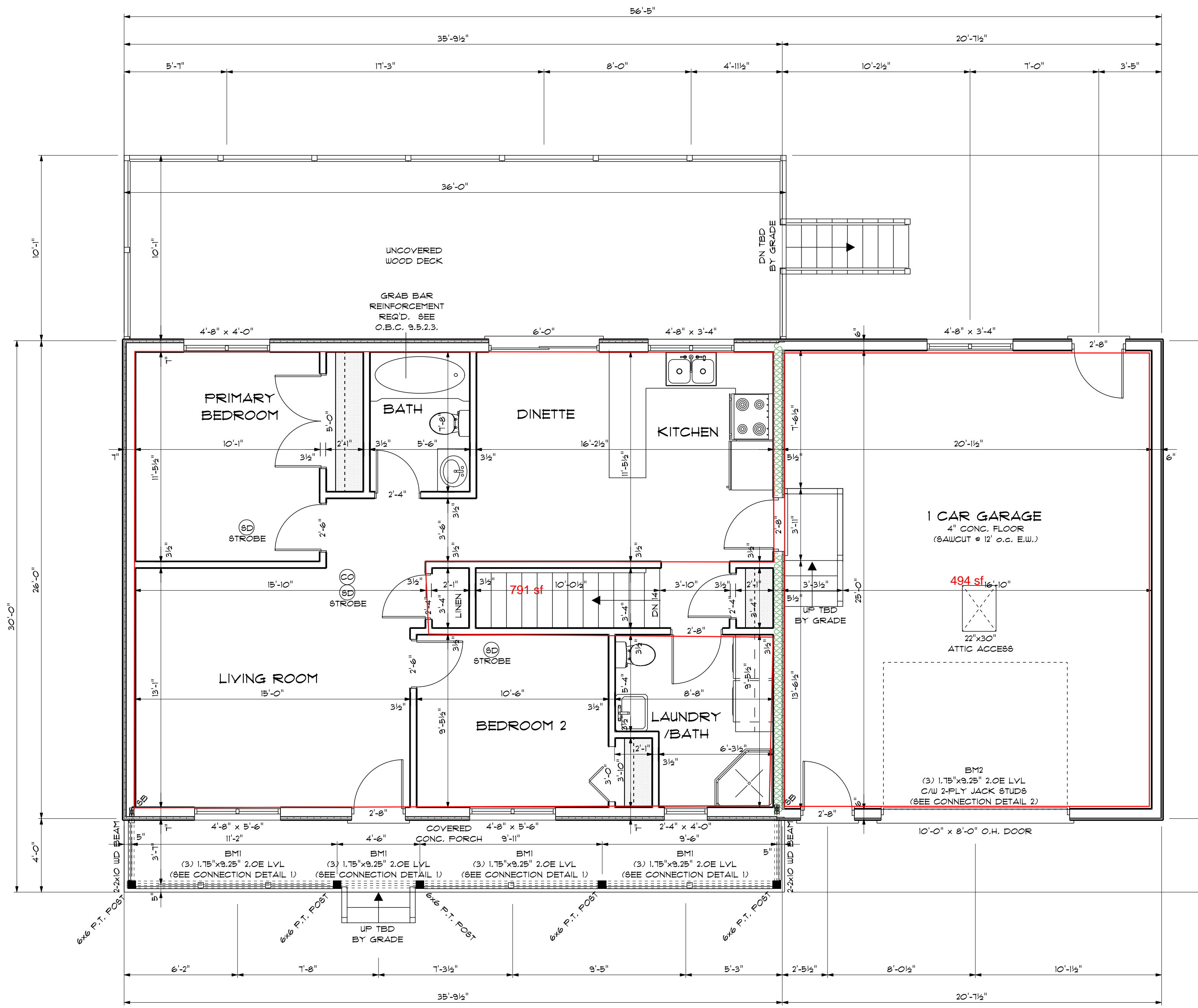
QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.1.1.1. OF THE BUILDING CODE

DEREK JUKEMA 21759  
NAME BCIN  
SIGNATURE

<b>FOUNDATION PLAN</b>	
scale: 1/4" = 1'-0"	<b>A-2</b>
date: 2022-05-31	
drawn by: AR	
designed by: ALEX@DJDESIGN.CA	
checked by: ATU	

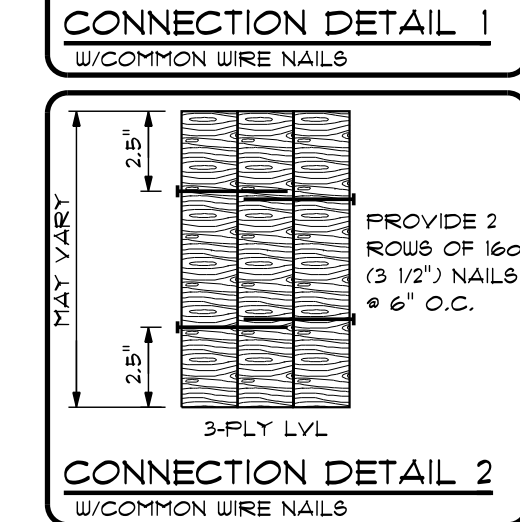
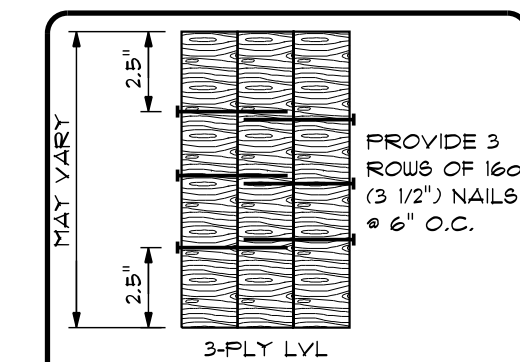
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MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**HOUSE/GARAGE WALL**  
 1/2" GYPSUM BOARD (INTERIOR)  
 6 mil POLY VAPOUR BARRIER  
 2x6 STUDS @ 16" o.c. w/ R30 BATT INSULATION, RB CODE BOARD  
 1/2" GYPSUM BOARD ON GARAGE SIDE (TAPED & PLASTERED)  
 -SELF CLOSER ON DOOR INTO RESIDENCE



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- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'0 psf
- CONSTRUCTION SEQUENCING:  
 - BACKFILL INTERIOR OF BUILDING w/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (300mm) LIFTS  
 - EVENLY AROUND STRUCTURE.  
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**DESIGN NOTES**

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 WIND LOAD (1/50): 0.45 KPA (9.4 psf)  
 1/2" PERIMETER EXPANSION JOINT FOR FOURED CONC. SLABS  
 1/4" CONTROL JOINTS @ 20' O.C. E.W. IN FOURED CONC. SLABS  
 ALL WOOD NO. 2 SPRUCE OR BETTER  
 ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS  
**4" BRICK/STONE O.B.C. 3,20,5,2**  
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 BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
 BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"  
 BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

**STAIR INFO.** **LEGEND**  
 RISE: MAX. 17/8" SOLID BEARING  
 RUN: MIN. 10 1/16" SB FOR GIRDER  
 TREAD: MIN. 11" POINT LOAD  
 NOSING: MAX. 1" S.J. SINGLE JOIST  
 HEADROOM: MIN. 6'-5" D.J. DOUBLE JOIST  
 UNIFORM RISE/RUN T.J. TRIPLE JOIST  
 D.C.J. DOUBLE CEILING JOIST

**STRUCTURAL NOTES**

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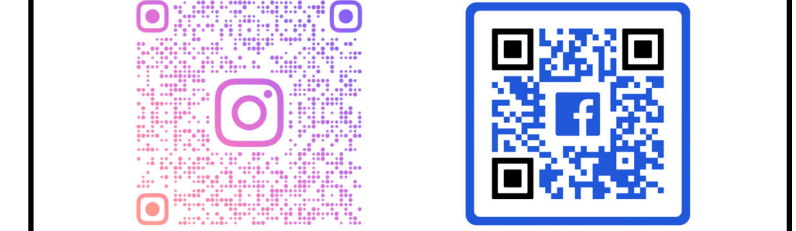
**PLAN AREAS**

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MAIN FLOOR PLAN	944 sq. ft.
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GARAGE	535 sq. ft.
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LOT COVERAGE	1614 sq. ft.

PROPOSED RESIDENCE FOR  
 JIK HOME BUILDING CENTER  
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PROJECT NUMBER  
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DEREK JUKEMA 21759  
 NAME BCIN  
  
 SIGNATURE

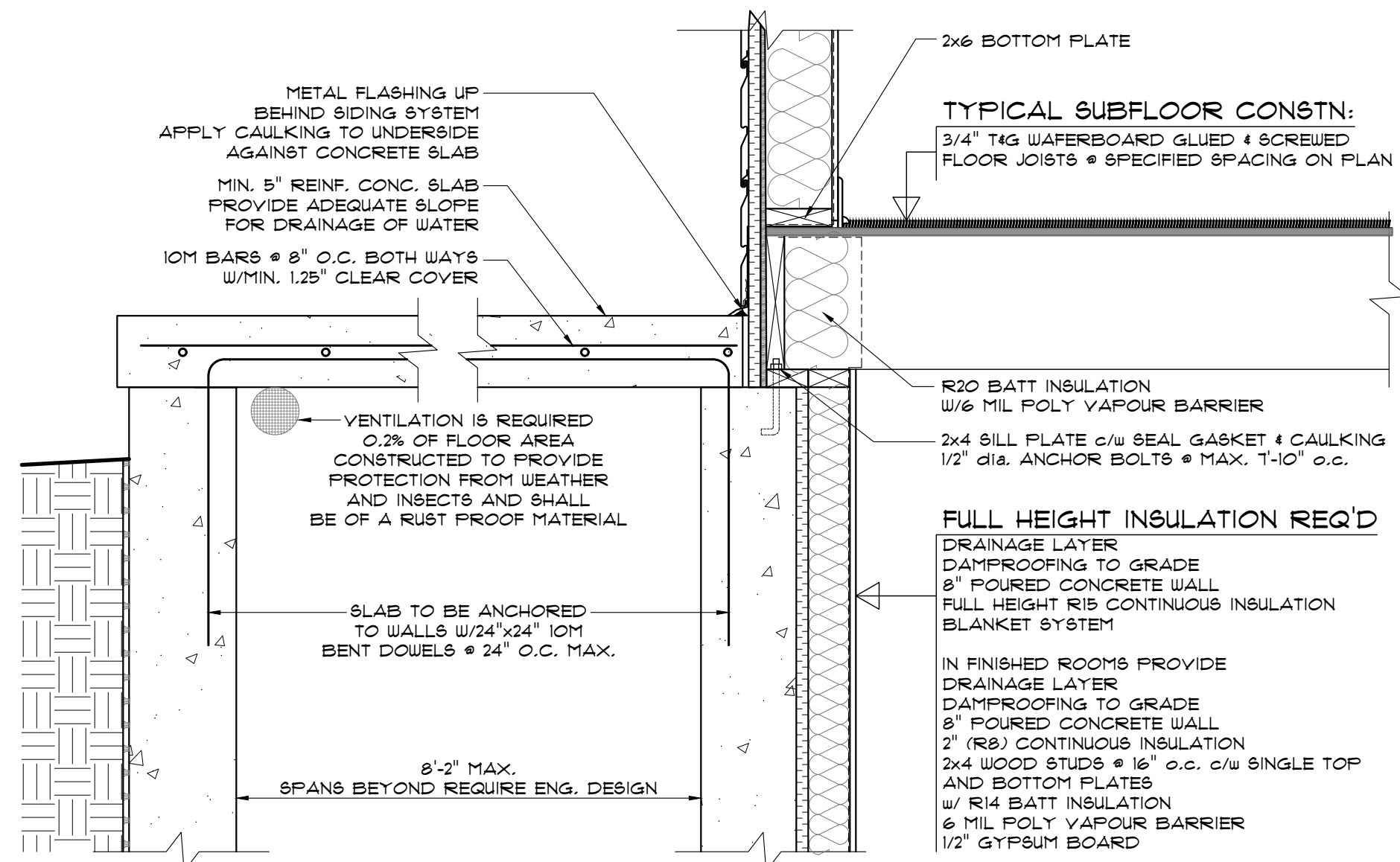
**MAIN FLOOR PLAN**

Scale: 1/4" = 1'-0"  
 Date: 2022-05-31  
 Drawn by: AR  
 Designed by: ALEX@DJDESIGN.CA  
 Checked by: ATU

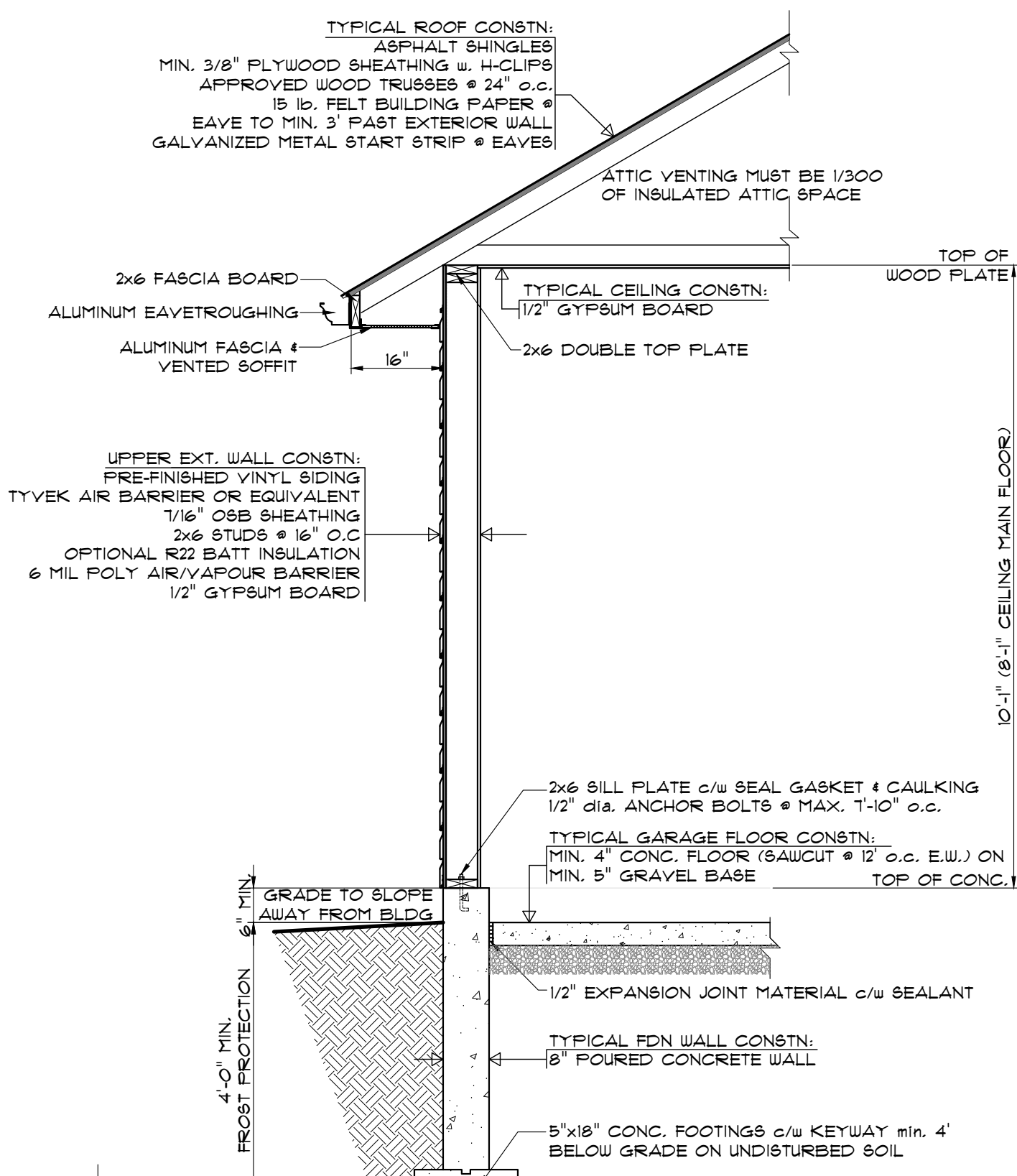
A-3

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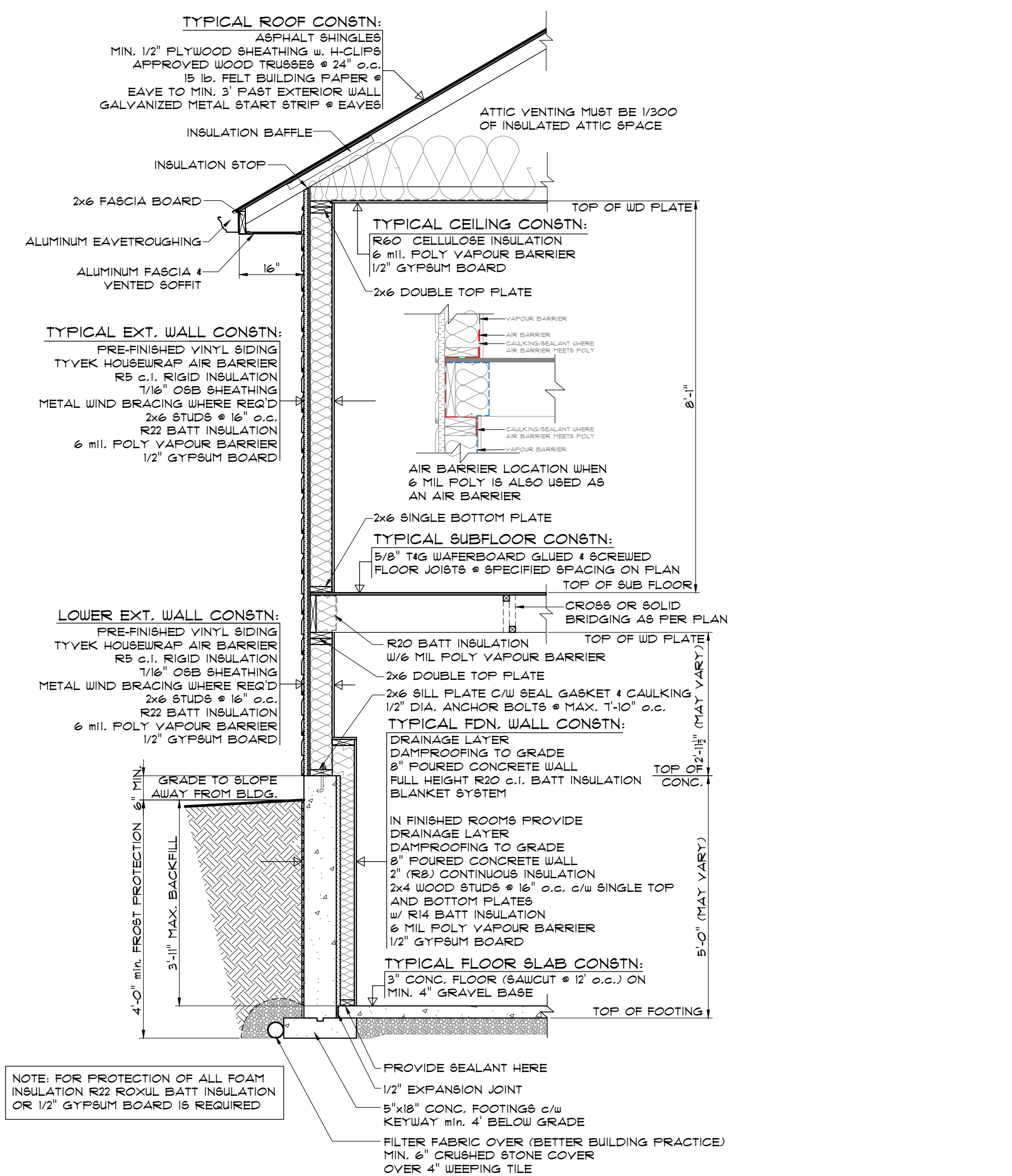
**SECTION THRU CONCRETE SLAB**  
SCALE: 1/4"=1'-0"



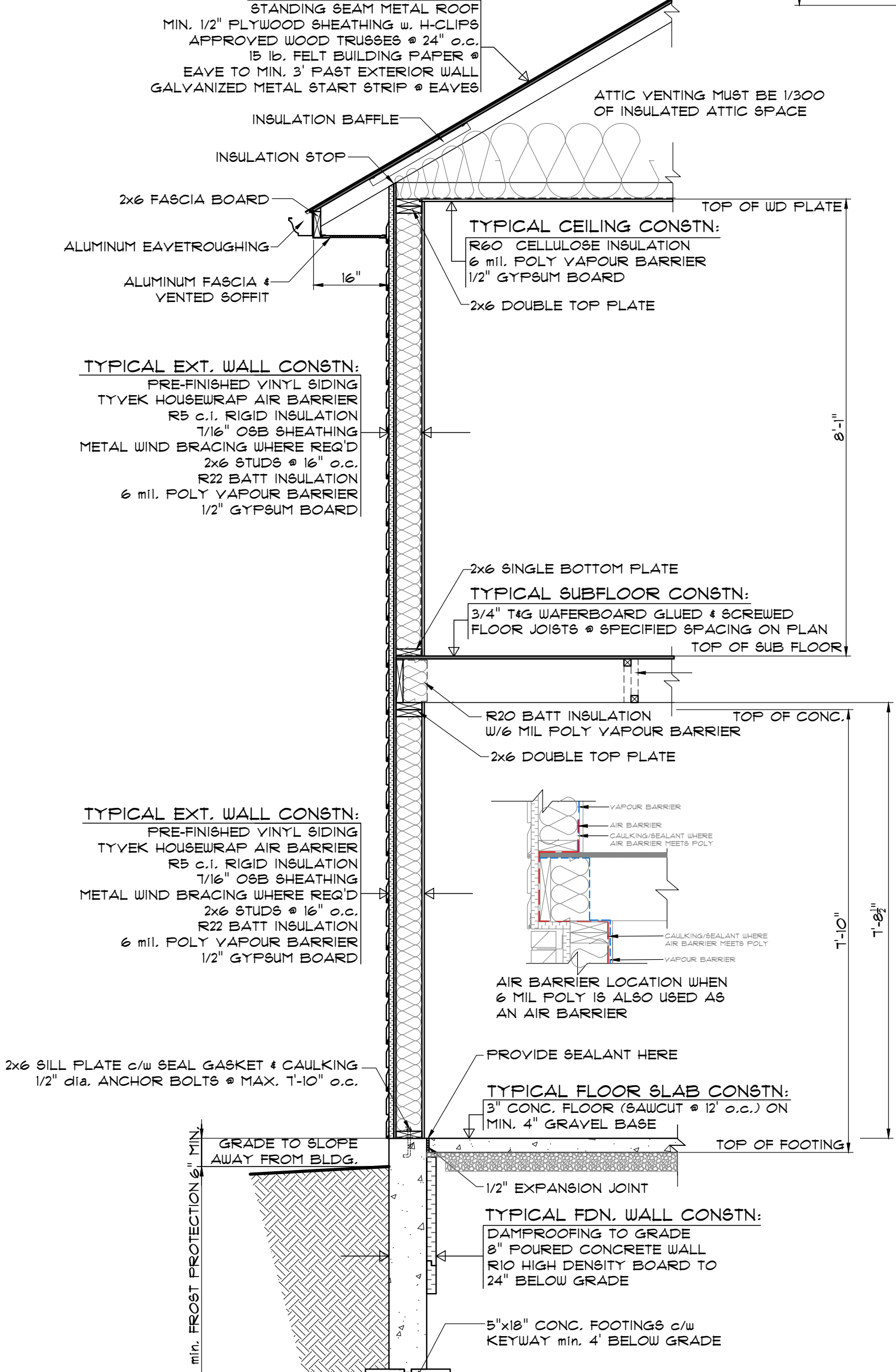
**GARAGE WALL SECTION**  
SCALE: 1/2"=1'-0"

[COMPLIANCE PACKAGE - A3]	
COMPONENT	THERMAL VALUES <sup>1)</sup>
CEILING WITH ATTIC SPACE	MIN. NOMINAL R <sup>2)</sup> 5.0 MAX. U <sup>3)</sup> 0.230
CEILING WITHOUT ATTIC SPACE	MIN. NOMINAL R <sup>2)</sup> 3.1 MAX. U <sup>3)</sup> 0.096
EXPOSED FLOOR	MIN. NOMINAL R <sup>2)</sup> 21.65 MAX. U <sup>3)</sup> 0.043
WALLS ABOVE GRADE	MIN. NOMINAL R <sup>2)</sup> 19.4 MAX. U <sup>3)</sup> 0.048
BASEMENT WALLS	MIN. NOMINAL R <sup>2)</sup> 20.32 MAX. U <sup>3)</sup> 0.048
BELOW GRADE SLAB ENTIRE SURFACE GREATER THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R <sup>2)</sup> 10 MAX. U <sup>3)</sup> 0.090
HEATED SLAB OR SLAB EQUAL OR LESS THAN 600mm BELOW GRADE	MIN. NOMINAL R <sup>2)</sup> 10 MAX. U <sup>3)</sup> 0.090
EDGE OF BELOW GRADE SLAB EQUAL OR LESS THAN 600mm (23 5/8") BELOW GRADE	MIN. NOMINAL R <sup>2)</sup> 10 MAX. U <sup>3)</sup> 0.090
WINDOWS AND SLIDING GLASS DOORS	MAX. U <sup>3)</sup> 0.28 ENERGY RATING 25
SKYLIGHTS	MAX. U <sup>3)</sup> 0.49
SPACE HEATING EQUIPMENT	MIN. AFUE 94%
HRY	MIN. 6RE 10%
DOMESTIC HOT WATER HEATER	MIN. EF 0.80

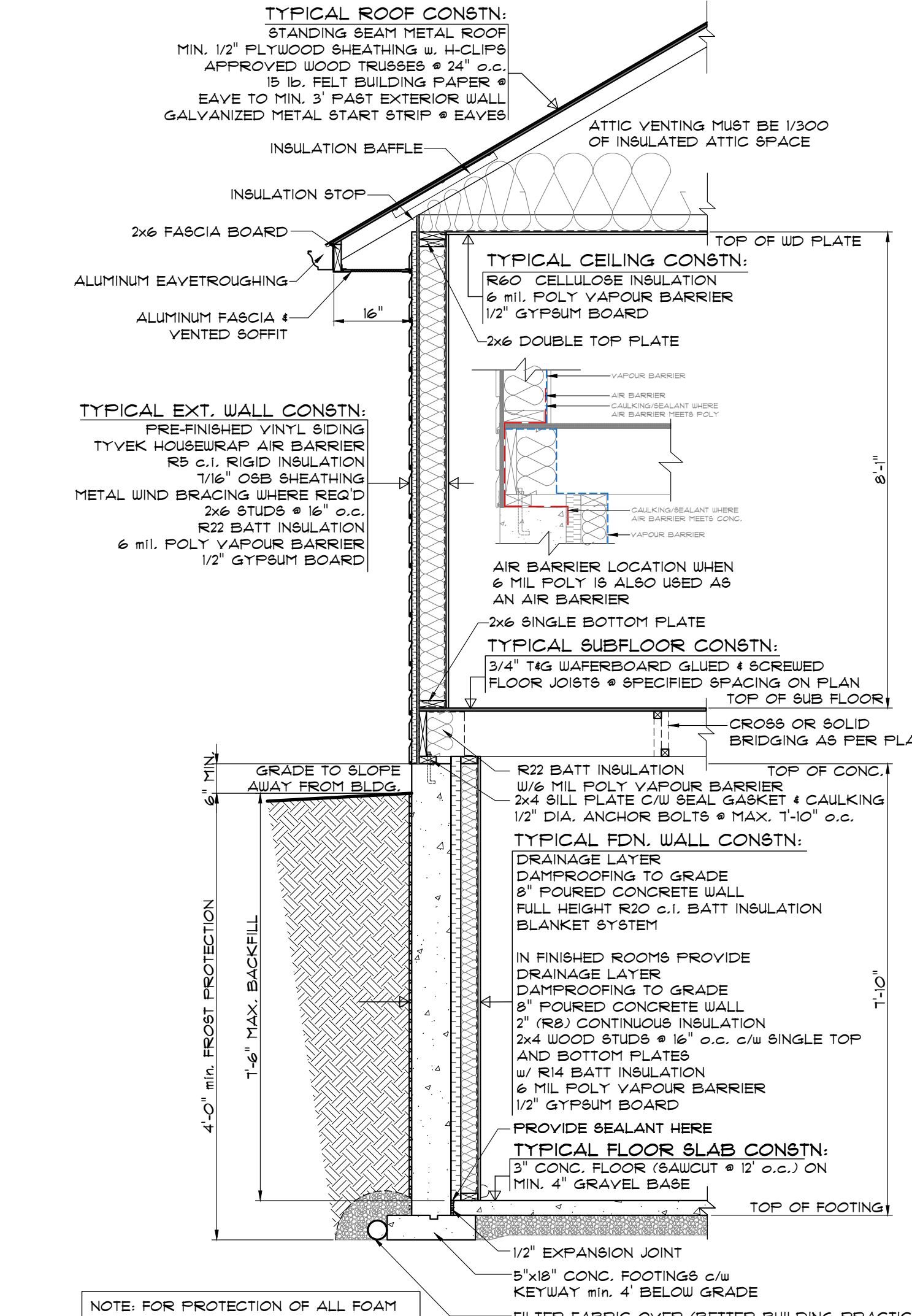
NOTES:  
 (1) THE VALUES LISTED ARE MINIMUM NOMINAL R-VALUES FOR THERMAL INSULATION COMPONENT ONLY.  
 (2) U-VALUES AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE CEILING ASSEMBLY COMPONENTS FROM INTERIOR AIR FILM TO VENTED SPACE AIR FILM ABOVE INSULATION.  
 (3) U-VALUES AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE EXPOSED FLOOR OR ABOVE GRADE WALL ASSEMBLY COMPONENTS FROM INTERIOR AIR FILM TO EXTERIOR AIR FILM.  
 (4) U-VALUE AND EFFECTIVE R VALUE SHALL INCLUDE ENTIRE BASEMENT WALL OR SLAB ASSEMBLY COMPONENTS AND INTERIOR AIR FILM.  
 (5) U-VALUE IS THE OVERALL COEFFICIENT OF HEAT TRANSFER FOR A WINDOW ASSEMBLY, SLIDING GLASS DOOR ASSEMBLY OR SKYLIGHT ASSEMBLY EXPRESSED IN Btu/(hr<sup>2</sup>·ft<sup>2</sup>).  
 (6) IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R20 c1 IS REQUIRED, R12 + 10 c1 IS PERMITTED TO BE USED OR VICE VERSA, OR WHERE R15 + 9 c1 IS PERMITTED, R15 c1 IS PERMITTED TO BE USED OR VICE VERSA.  
 (7) IF AN EP OF A WATER TANK IS NOT INDICATED IN A COMPLIANCE PACKAGE, THERE IS NO EF REQUIREMENT FOR WATER TANK FOR THAT SPECIFIC COMPLIANCE PACKAGE.  
 (8) NOMINAL AND EFFECTIVE R VALUES ARE EXPRESSED IN (hr<sup>2</sup>·ft<sup>2</sup>/Btu). U-VALUES ARE EXPRESSED IN Btu/(hr<sup>2</sup>·ft<sup>2</sup>).



**TYPICAL WALL SECTION**  
SCALE: 1/2"=1'-0"



**WALKOUT WALL SECTION**  
SCALE: 1/2"=1'-0"



**TYPICAL WALL SECTION**  
SCALE: 1/2"=1'-0"

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- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING
- BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 15 (30cm) LIFTS EVENLY AROUND STRUCTURE.
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- 1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS 1/4" CONTROL JOINTS @ 20' O.C. U.V. IN POURED CONC. SLABS ALL WOOD NO. 2 SPRUCE OR BETTER ALL BOLTS GALVANIZED STEEL
- MAX. BRICK LINTEL SPANS  
 4" BRICK/STONE O.B.C. 3.20, 5.2  
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**STRUCTURAL NOTES**

- ALL EXTERIOR & INTERIOR LINTELS TO BE MIN. (2) FLY 2X10 C/W 2X4 DRYWALL NAILER & FLYWOOD FILTERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

PROPOSED RESIDENCE FOR  
 J&K HOME BUILDING CENTER  
 1804 VITTORIA RD

PLAN NUMBER  
 C69-22-04

**djDESIGN**  
 Architectural • Energy • HVAC

Phone: (519) 539-9387 378 Hunter Street  
 Email: plans@djdesign.ca Woodstock, ON  
 Website: www.djdesign.ca N4S 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C. 3.2.1. OF THE BUILDING CODE

DEREK JUKEMA 21759  
 NAME BGN

SIGNATURE

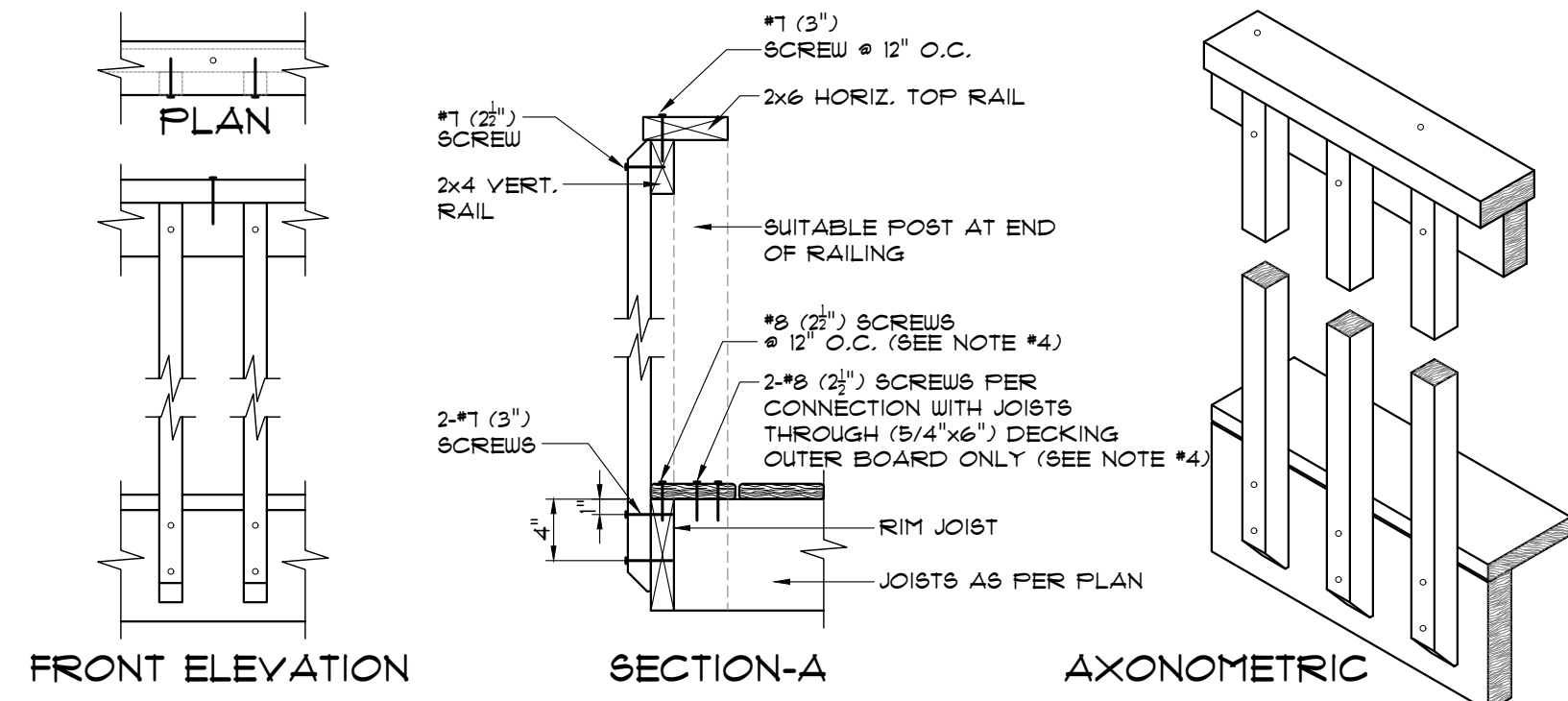
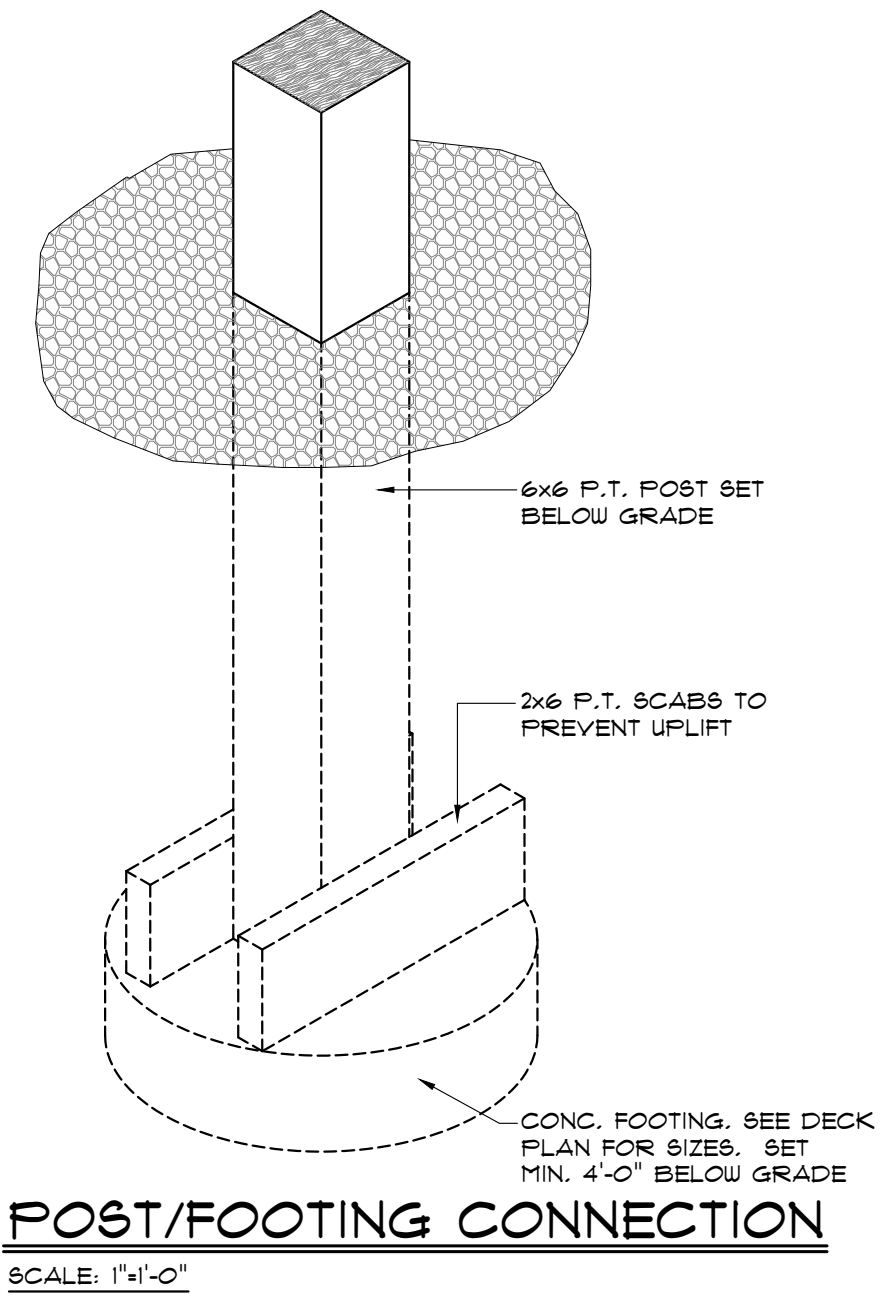
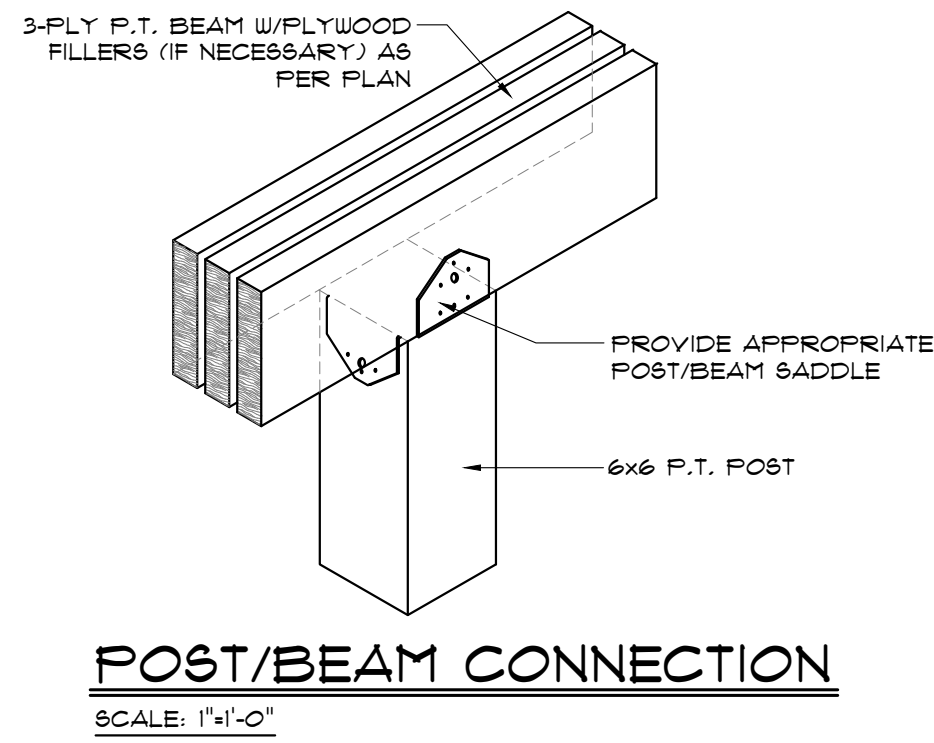
**SECTIONS & DETAILS**

scale: AS SHOWN  
 date: 2022-05-31  
 drawn by: AR  
 designed by: ALEX@djDESIGN.CA  
 checked by: ATW

**A-4**

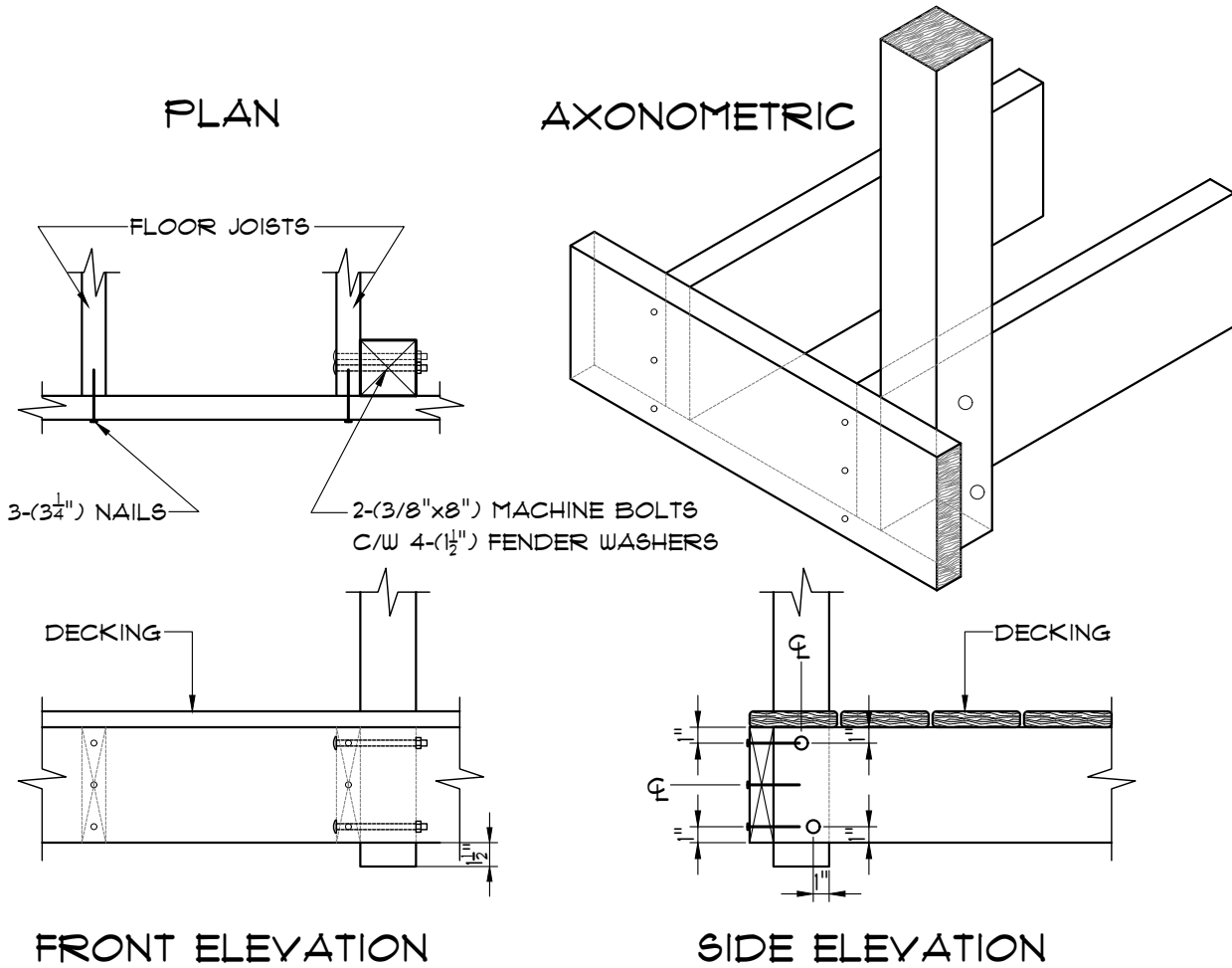
WE SHARE IN YOUR EXCITEMENT! PLEASE LIKE US ON FACEBOOK AND TAG US ON INSTAGRAM SO WE CAN SEE YOUR PROJECT





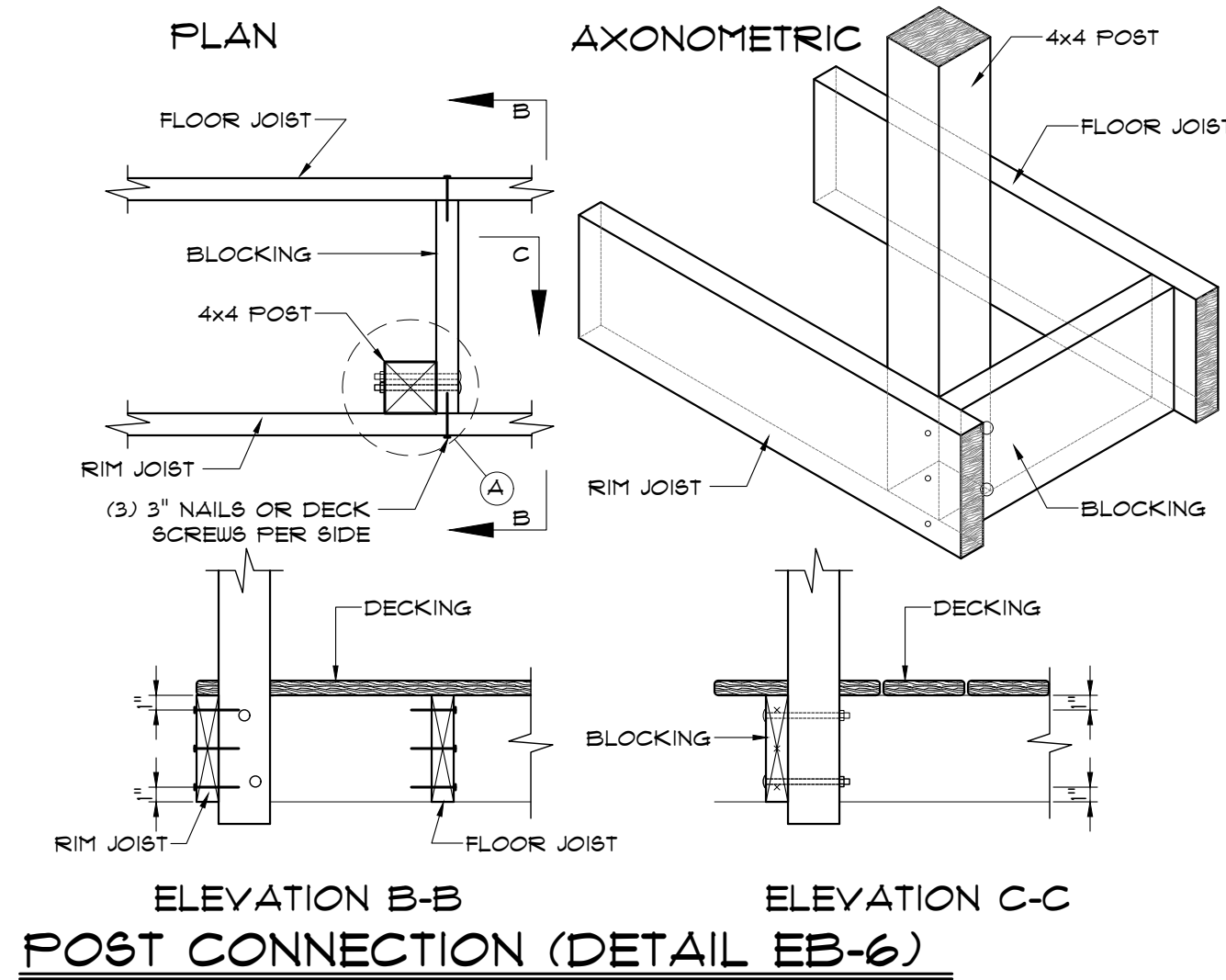
**PICKET CONNECTION (DETAIL ED-1)**  
EXTERIOR CONNECTION: CANTILEVERED PICKET SCREWED TO RIM JOIST  
SCALE: 1"=1'-0"  
REFER TO O.B.C. SECTION 9B-1 GUARD DETAILS

- NOTES:
1. PROVIDE A SUITABLE POST, RETURN, OR SOLID SUPPORT AT EACH END OF THE GUARD.
  2. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.
  3. FASTEN RIM JOIST TO EACH FLOOR JOIST WITH 3 (3/4") NAILS.
  4. THE OUTER DECK BOARD SHALL NOT BE LESS THAN (6" NOMINAL) WIDE. WHERE (2" NOMINAL) THICK BOARDS ARE USED, THE LENGTH OF THE WOOD SCREWS SHALL BE NOT LESS THAN (3")



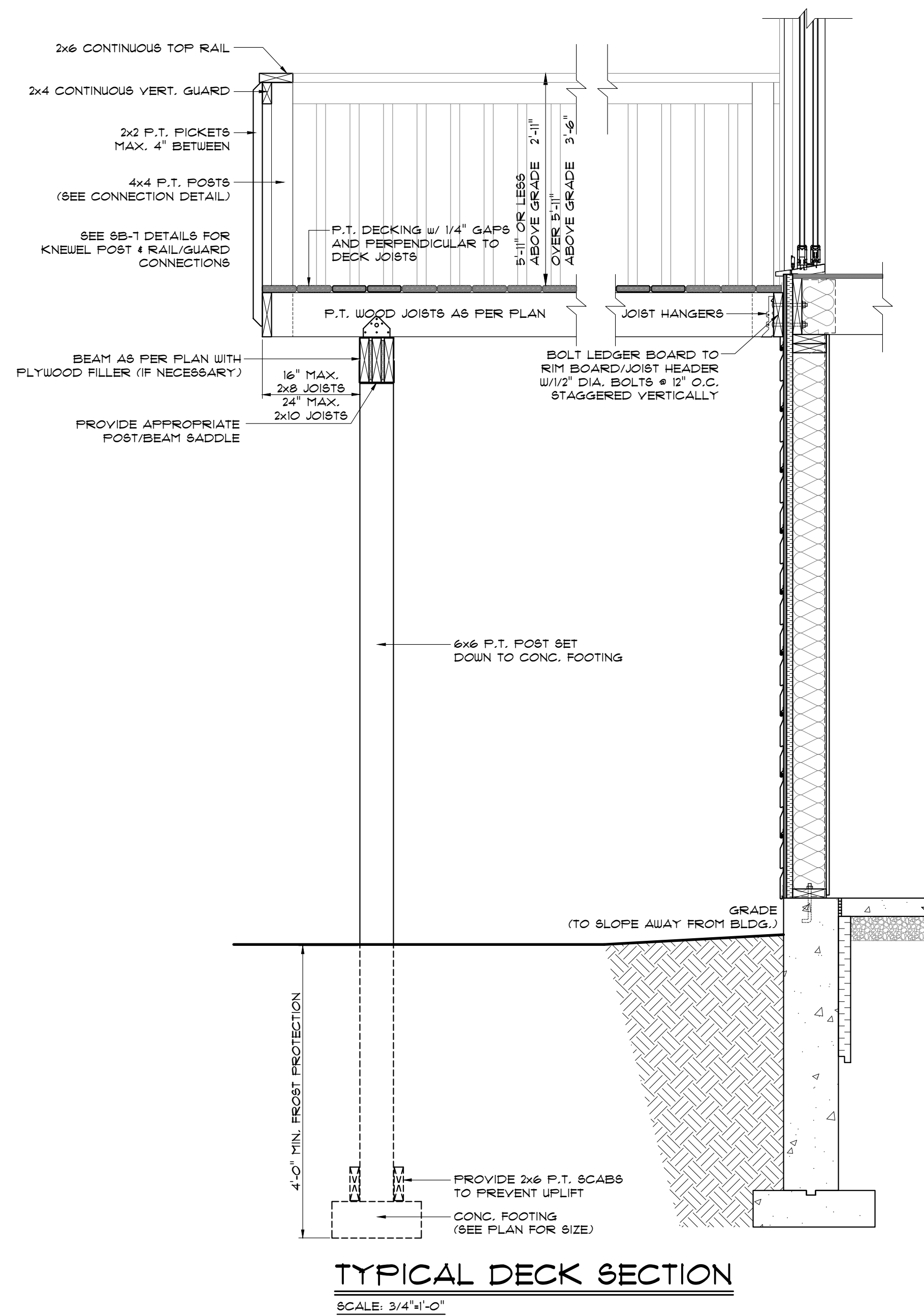
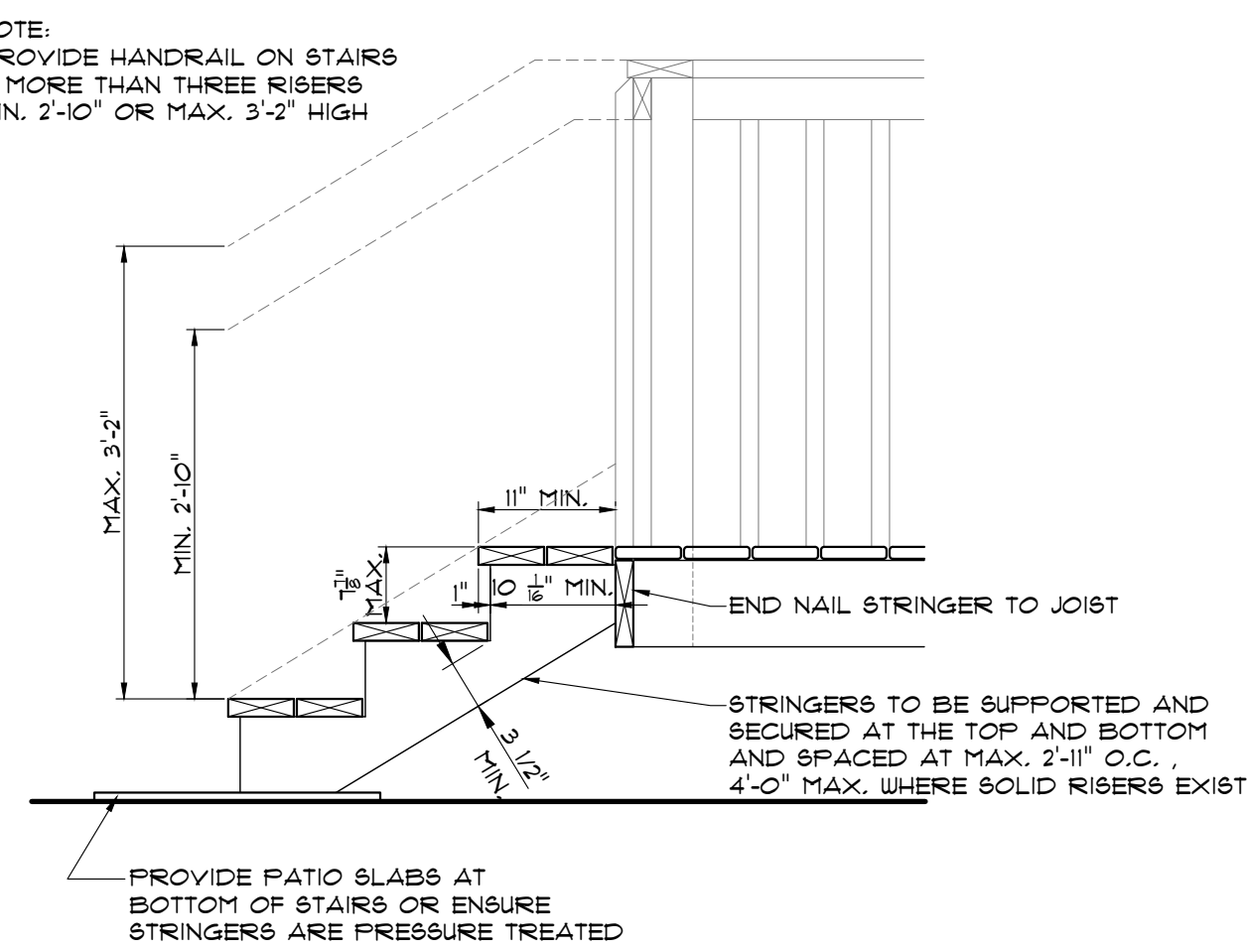
**POST CONNECTION (DETAIL EB-4)**  
EXTERIOR CONNECTION: POST BOLTED TO 2 FLOOR JOISTS  
SCALE: 1"=1'-0"  
REFER TO O.B.C. SECTION 9B-1 GUARD DETAILS

- NOTES:
1. DECKING IS OMITTED FROM THE PLAN VIEW AND THE AXONOMETRIC VIEW FOR CLARITY.
  2. (1/2") POST PROJECTION IS NOT REQUIRED WHERE THE MAX. SPACING BETWEEN POSTS DOES NOT EXCEED (3'-11")
  3. JOISTS MAY BE SPACED AT (24") O.C. OR (16") O.C. WHERE FLOOR JOISTS ARE SPACED AT (24") O.C., DECKING SHALL HAVE A MIN. THICKNESS OF (1/2") AND SHALL BE FASTENED TO THE FLOOR WITH 2-(3") NAILS.
- MAX SPACING BETWEEN POSTS 4'-11" USING DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR  
MAX SPACING BETWEEN POSTS 3'-11" USING NORTHERN SPECIES



**POST CONNECTION (DETAIL EB-6)**  
EXTERIOR CONNECTION: POST FASTENED TO FLOOR, GUARD PARALLEL TO FLOOR JOISTS  
SCALE: 1"=1'-0"  
REFER TO O.B.C. SECTION 9B-1 GUARD DETAILS

- NOTES:
1. USE ANY OF THE CONNECTION DETAILS SHOWN ON DETAILS EB-1 TO EB-5 AT LOCATION 'A'. CONNECTION DETAIL EB-4 IS SHOWN IN THIS DETAIL AS AN EXAMPLE.
  2. MAXIMUM SPACING BETWEEN POSTS IS DETERMINED FROM CONNECTION DETAIL USED AT LOCATION 'A'
  3. DECKING IS OMITTED FROM THE PLAN VIEW AND THE AXONOMETRIC VIEW FOR CLARITY.
  4. BLOCKING SHALL BE NOT LESS THAN 2x8



**GENERAL NOTES**

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF C.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 420 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING:
- BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 11 (30cm) LIFTS EVENLY AROUND STRUCTURE.
- COMPACT BACKFILL TO 95% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

**DESIGN NOTES**

- DESIGN DATA LOCATION: SIMCOE  
GROUND SNOW LOAD: 1.3 KPa (27.2 PSF)  
SPECIFIED SNOW LOAD: 1.0 KPa (21.4 PSF)  
DEAD LOAD: 0.48 KPa (10 PSF)  
WIND LOAD (1/50): 0.45 KPa (9.4 PSF)
- 1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS 1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS ALL WOOD NO. 2 SPRUCE OR BETTER ALL BOLTS GALVANIZED STEEL
- MAX. BRICK LINTEL SPANS  
4" BRICK/STONE O.B.C. 9,20,5,2
- BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"  
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"  
BL-3 6" V x 3 1/2" H x 1/8" T 11'-1"  
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

- STAIR INFO.** RISE: MAX. 1 7/8"  
RUN: MIN. 10 1/8"  
TREAD: MIN. 11"  
NOBING: MAX. 1"  
HEADROOM: MIN. 6'-5"  
UNIFORM RISE/RUN
- LEGEND.** SOLID BEARING  
 SB FOR GIRDER  
 POINT LOAD  
 S.J. SINGLE JOIST  
 D.J. DOUBLE JOIST  
 T.J. TRIPLE JOIST  
 D.C.J. DOUBLE CEILING JOIST

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**DESIGNER DISCLAIMER**

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DEREK JUKEMA 21759  
NAME BCIN  
SIGNATURE

**SECTIONS & DETAILS**

scale:	AS SHOWN
date:	2022-05-31
drawn by:	AR
designed by:	ALEX@dJDESIGN.CA
checked by:	ATW

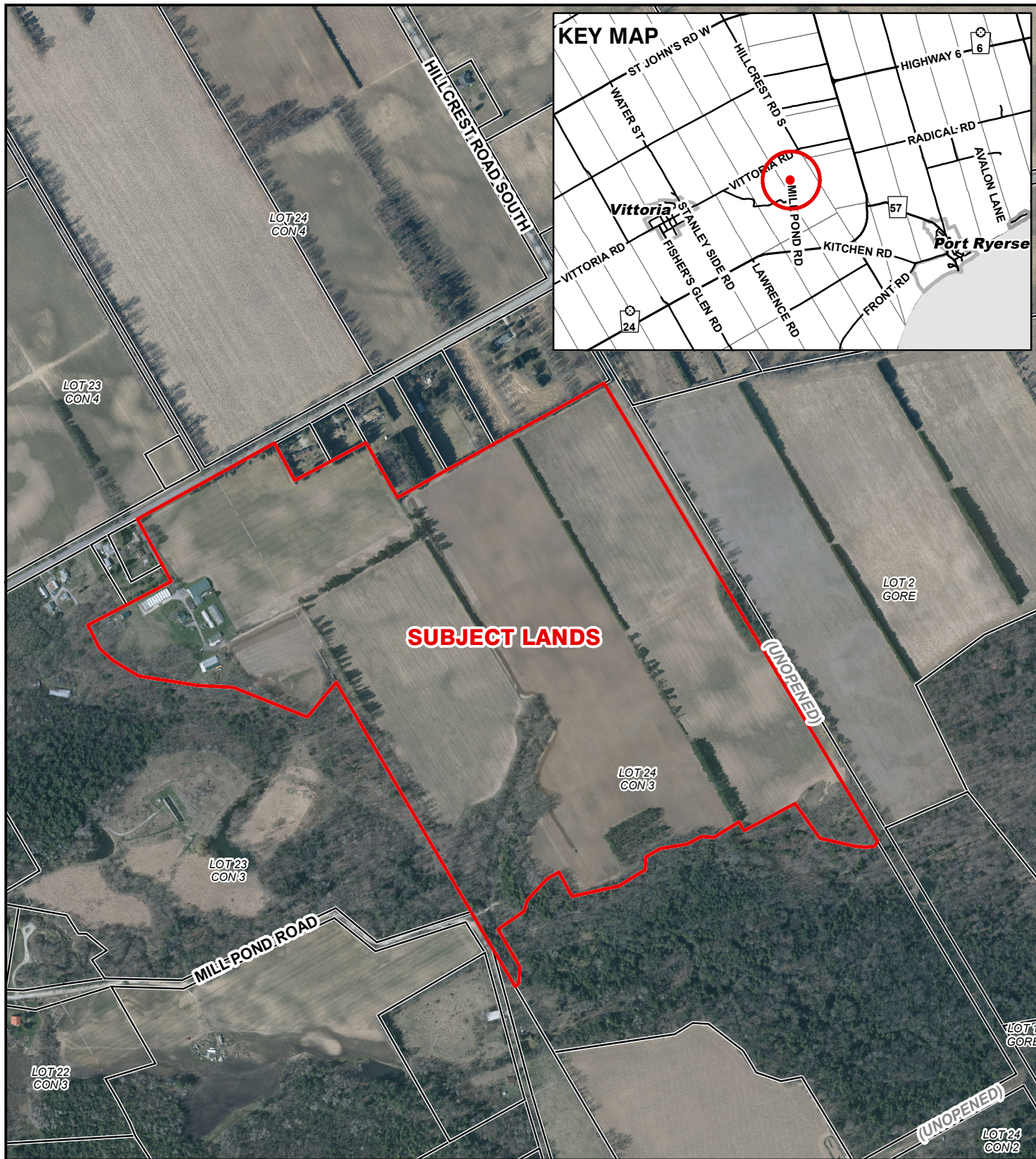
**A-5**

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**MAP A**  
**CONTEXT MAP**  
Geographic Township of CHARLOTTEVILLE

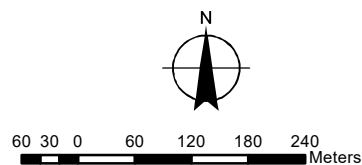
ANPL2022336



**Legend**

-  Subject Lands
- 2020 Air Photo

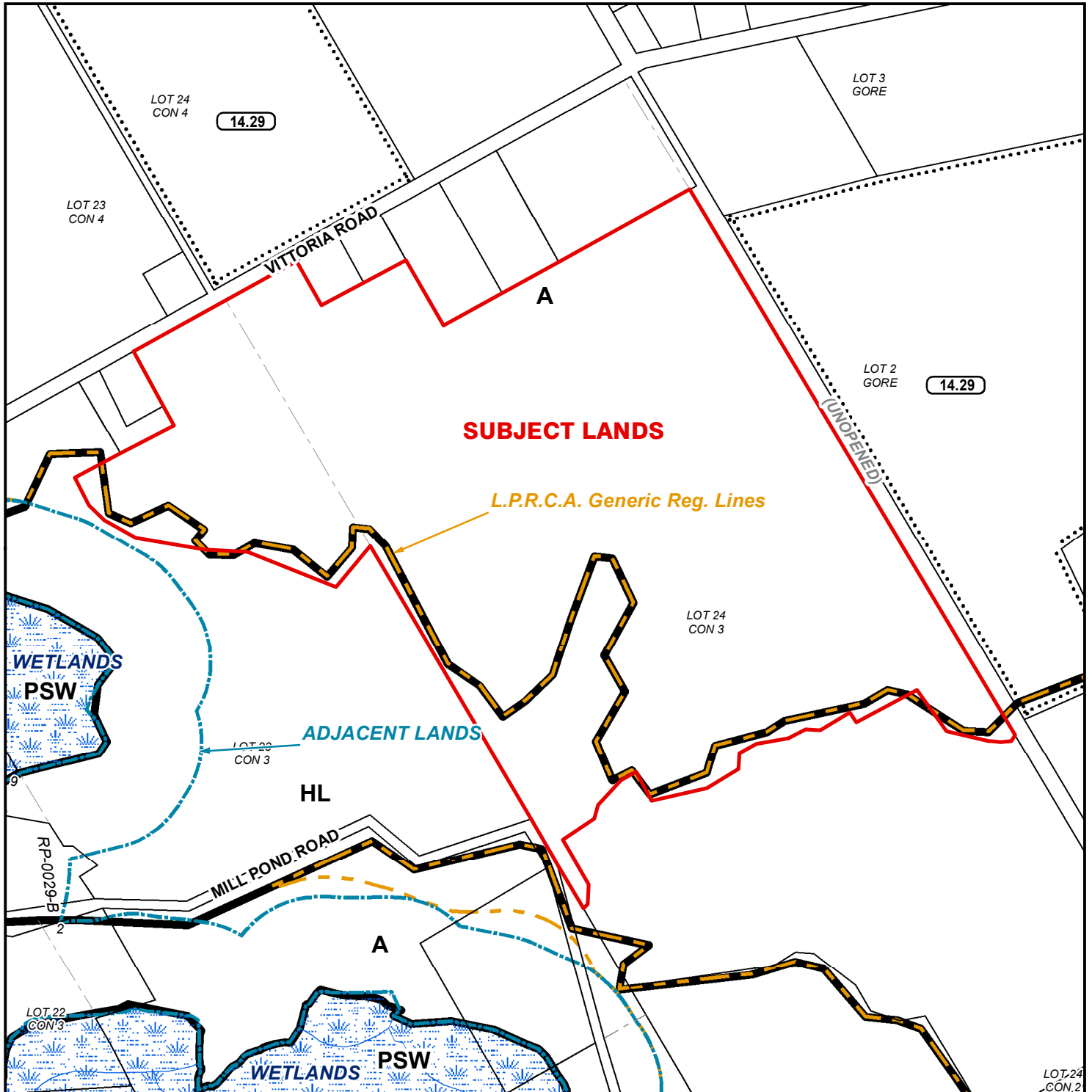
11/17/2022









**MAP B**  
**ZONING BY-LAW MAP**  
 Geographic Township of CHARLOTTEVILLE

ANPL2022336



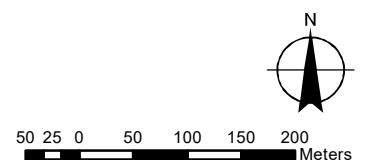
**LEGEND**

-  Subject Lands
-  Adjacent Lands
-  Wetland
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

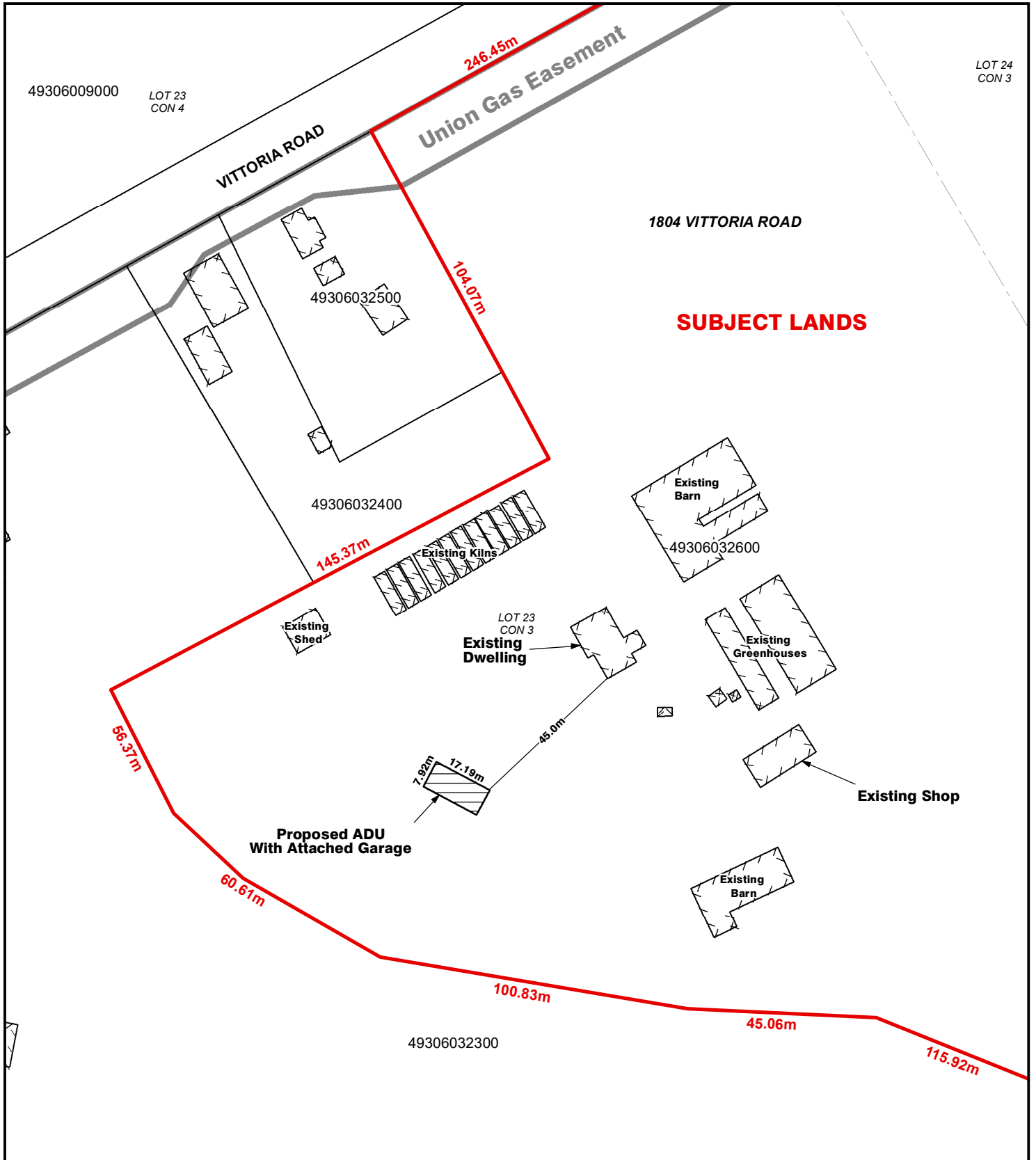
- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone
- PSW - Provincially Significant Wetland Zone

11/17/2022



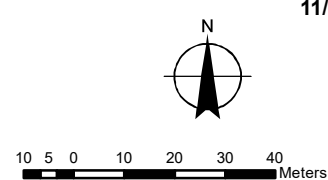
CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



Legend

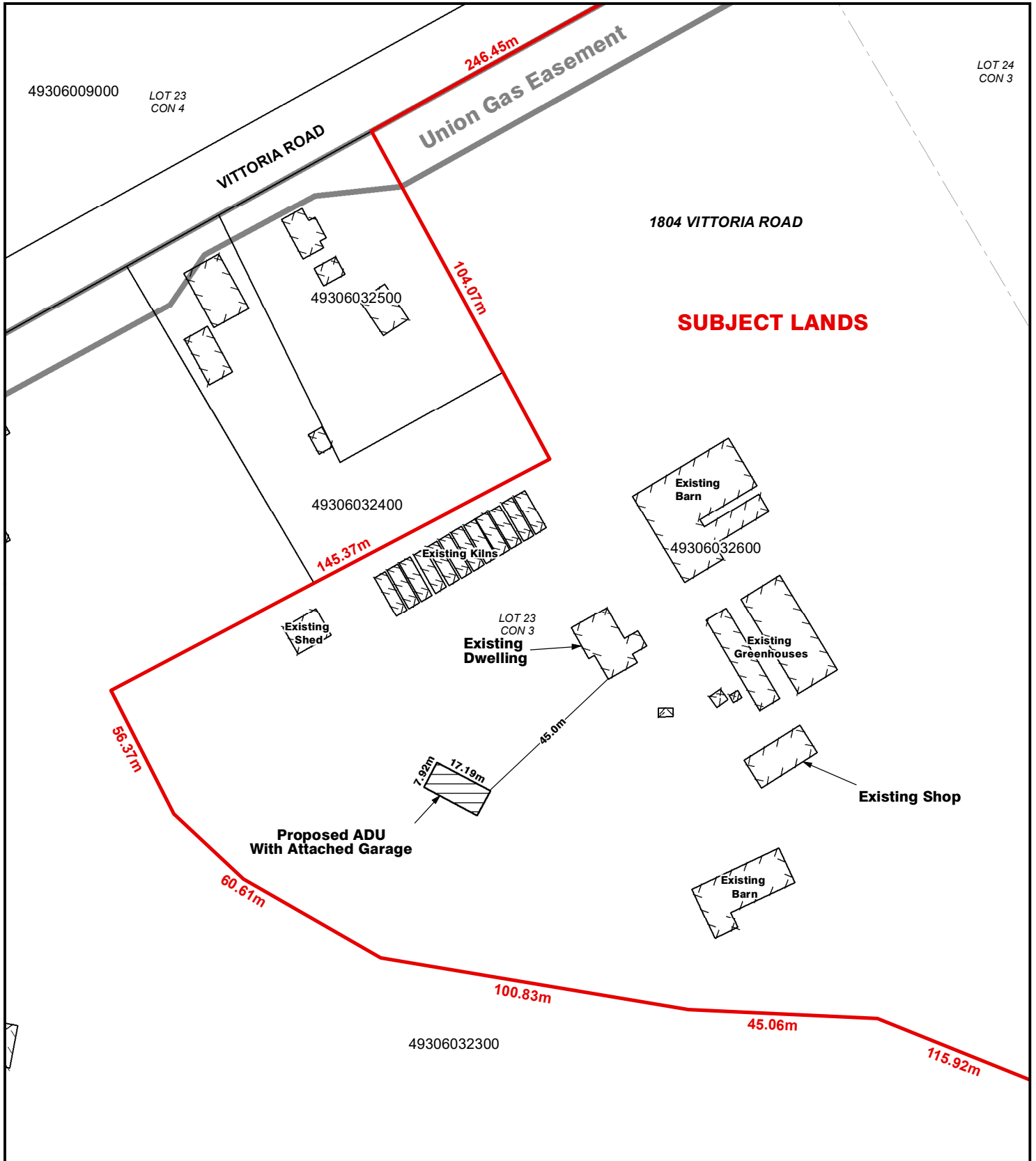
- Subject Lands
- Easements







## CONCEPTUAL PLAN

Geographic Township of CHARLOTTEVILLE



### Legend

-  Subject Lands
-  Easements

11/17/2022

