

For Office Use Only:

File Number	<u>ANPL2022231</u>	Application Fee	<u>\$1599.00</u>
Related File Number	<u>N/A</u>	Conservation Authority Fee	<u>Yes</u>
Pre-consultation Meeting	<u>N/A</u>	Well & Septic Info Provided	<u>Hanne Yager</u>
Application Submitted	<u>July 29, 2022</u>	Planner	<u>-</u>
Complete Application	<u>Aug 16, 2022</u>	Public Notice Sign	<u>-</u>

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner Bill + Traci Chambers

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 66 Blueline Rd

Town and Postal Code Simcoe N3Y 4K2

Phone Number 289 921 5033

Cell Number _____

Email tracibill2013@gmail.com

Name of Applicant Traci Chambers

Address 66 Blueline Rd

Town and Postal Code Simcoe N3Y 4K2

Phone Number 289 921 5033

Cell Number _____

Email tracibill2013@gmail.com

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Roll # 33706037700

WDH CON BF PT LOT 7 RP 37R 2131 PART 1

Municipal Civic Address: 66 Blueline Rd Simcoe N3Y 4K2

Present Official Plan Designation(s): _____

Present Zoning: Agricultural

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

main house dwelling - retained
detached garage loft - renovated to ADU
shed - retained retained

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

garage loft conversion to inlaw
suite single bedroom single bath

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

detached garage addition to ADU

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No
If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

since 1997 home built

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	63.7m				
Lot depth	63.7m				
Lot width	63.7m				
Lot area	0.40 ha				
Lot coverage	210.8m ²				
Front yard	28.35m				
Rear yard	19.5m				
Height	5.9m	8m	3.2.1.a)		∅
Left Interior side yard		3.3m	3.2.3 b) i)	1.2m	2.1m
Right Interior side yard	~37m	3.3m	3.2.3 b) i)	~37m	
Exterior side yard (corner lot)					
Parking Spaces (number)	3			carport 1 space	∅
Aisle width					
Stall size					
Loading Spaces		45.1. 10.16m ²		48.41. 75.53m ²	3.41. 5.37m ²
Other	150.97	200m ²			∅

45.1.
req

UFA →

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

existing garage already standing unable to relocate or downsize spacing within unit for the inlaw dwelling

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
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Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

no known knowledge of specific contaminant
use of land, as zoning Agricultural

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance 128m approx

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)

direct line from main dwelling to ADU.

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)

separate system for ADU to be installed once permitted

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Blueline Rd.

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

proposed balcony deck with carport parking attached in drawings

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan ✓
2. All measurements in metric ✓
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed ✓
5. All dimensions of the subject lands ✓
6. Dimensions and setbacks of all buildings and structures ✓
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures ✓
8. Names of adjacent streets ✓
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Grace Chambers

June 29/22

Owner/Applicant/Agent Signature

Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**



K. Declaration

I, Traci Chambers of Simcoe

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

NORFOLK COUNTY

x Traci Chambers

Owner/Applicant/Agent Signature

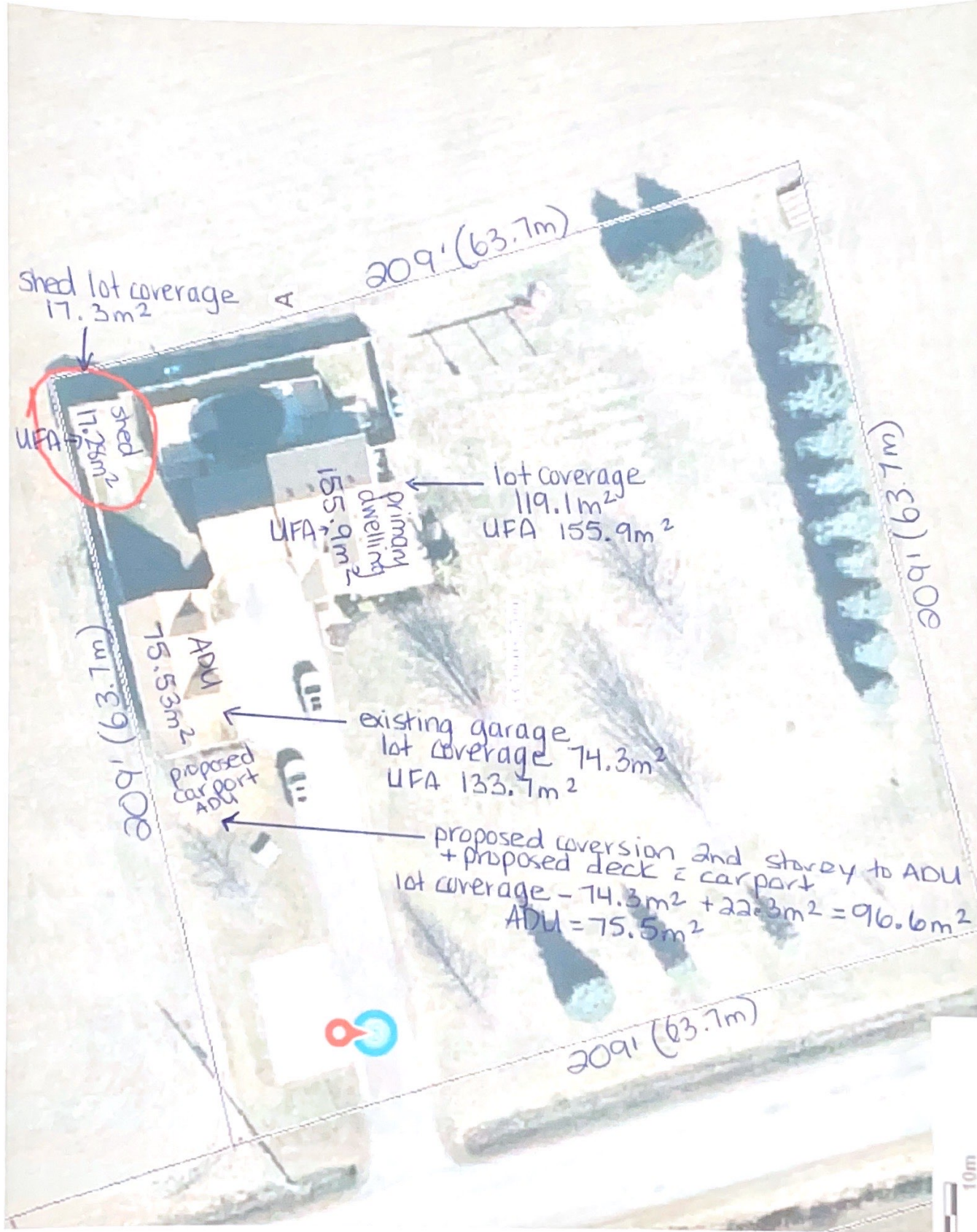
In SIMCOE, ONT

This 29 day of JUNE 2022

A.D., 20


A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.



shed lot coverage
17.3m²

shed
17.25m²
UFA 5

209' (63.7m)

primary dwelling
155.9m²
UFA 79.9m²

lot coverage
119.1m²
UFA 155.9m²

160' (48.8m)

209' (63.7m)

ADU
75.53m²

proposed carport
ADU

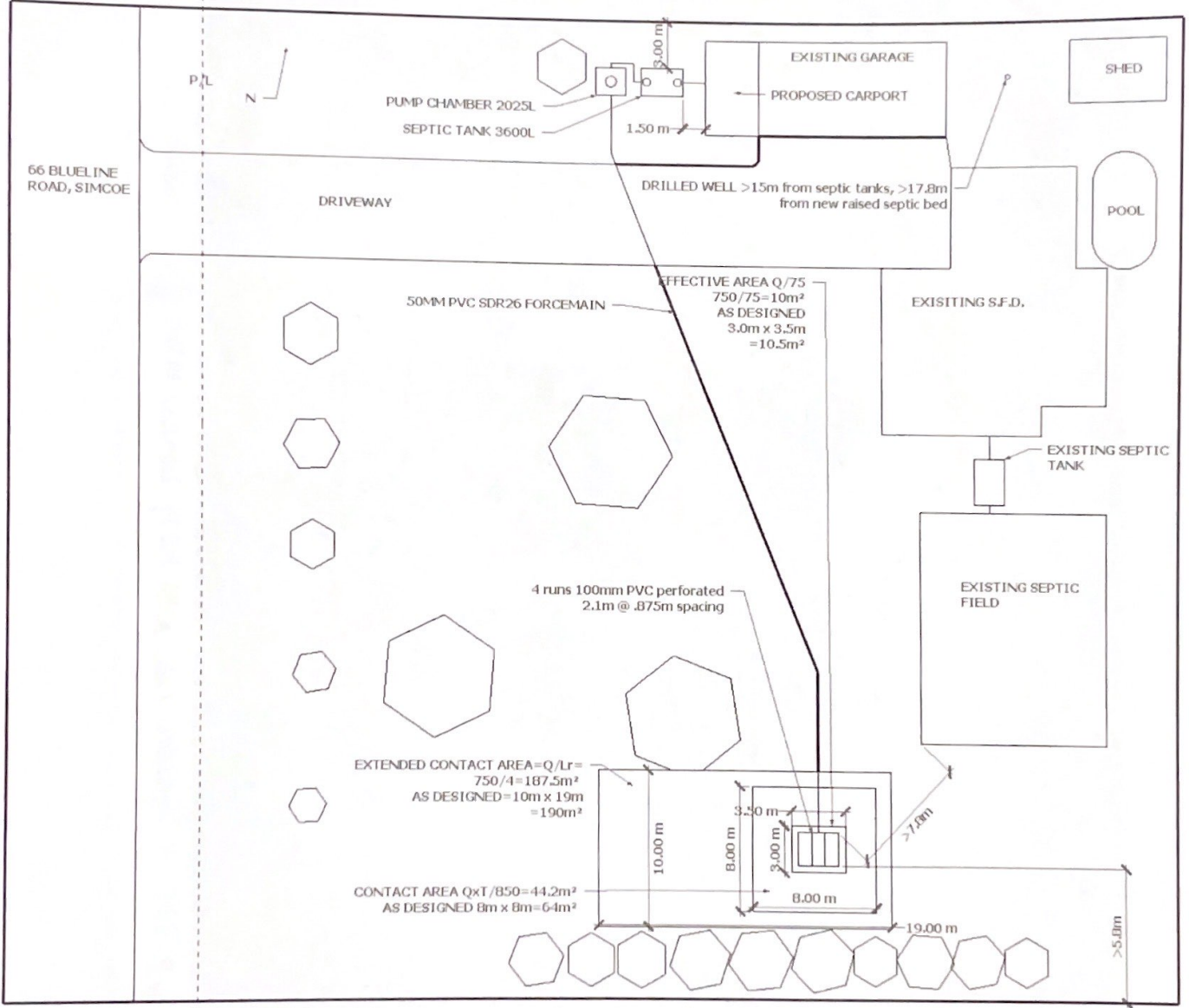
existing garage
lot coverage 74.3m²
UFA 133.7m²

proposed conversion and storage to ADU
+ proposed deck & carport
lot coverage - 74.3m² + 22.3m² = 96.6m²
ADU = 75.5m²

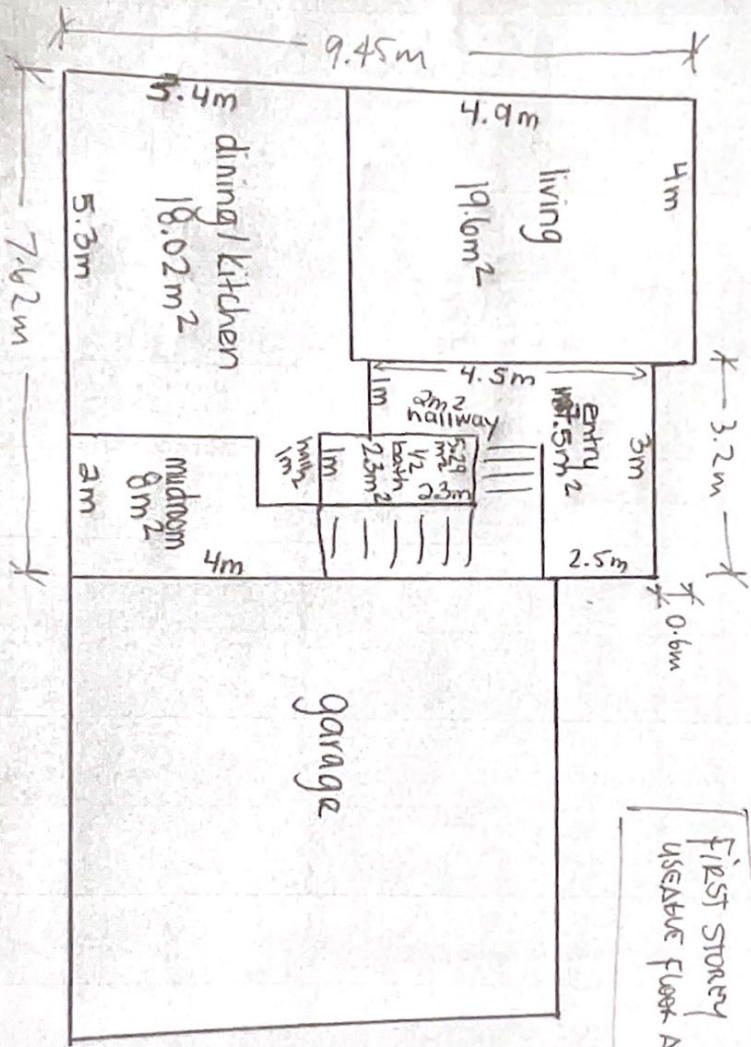
209' (63.7m)



10m



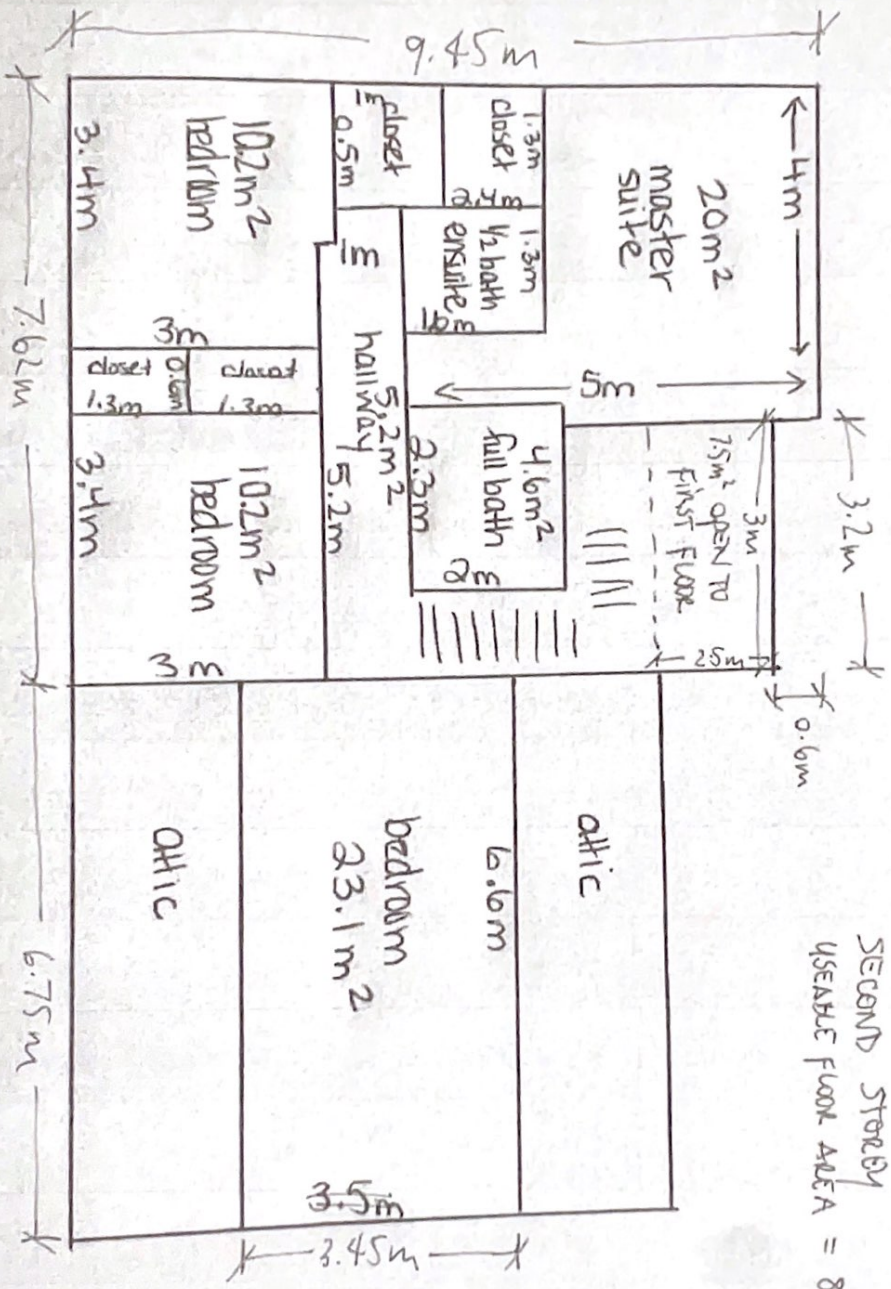
Main floor of Blueline Rd



First story
usable floor area = 70.0m²

TOTAL USABLE FLOOR AREA (all stories) = 155.9 m²

And Floor bb Blueline Rd



SECOND STORY
 USEABLE FLOOR AREA = 85.9m²

GENERAL NOTES

SMOKE ALARMS AND CARBON MONOXIDE ALARMS:

SMOKE ALARMS CONFORMING TO CAN/ULC -S531 , "SMOKE ALARMS" SHALL BE INSTALLED IN EACH WELLING UNIT AND IN EACH SLEEPING ROOM. SMOKE ALARMS SHALL BE INSTALLED AS PER 9.10.19. THE LOCATIONS SHALL COMPLY WITH 9.10.19.3. SMOKE ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND AS PER 9.10.19.5. CARBON MONOXIDE DETECTION CONFORMING TO SUBSECTION 6.2.12. AND/OR SUBSECTION 9.33.4. SHALL BE INSTALLED.

DOORS, WINDOWS, SKYLIGHTS AND INTERIOR FINISHES:

ROOMS AND SPACES SHALL CONFORM TO SECTIONS 9.5. FOR NEW DOORS SIDELIGHTS AND WINDOWS RESISTANCE TO FORCED ENTRY SEE SUBSECTIONS 9.7.5.2. FLAME SPREAD RATING SHALL NOT EXCEED 150 ON WALLS AND CEILINGS. "DOORS BETWEEN GARAGES AND DWELLING UNITS SHALL BE TIGHT FITTING, WEATHERSTRIPPED AND HAVE A SELF-CLOSING DEVICE CONFORMING TO SENTENCES 9.10.13.15.(1) AND (2). WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERS AND BATHTUBS AS PER ARTICLES 9.29.2. AND 9.29.10.4. CONCEALED FLASHING BENEATH WINDOW SILLS OR SILLS TO BE PROVIDES WITH AN OUTWARD SLOPE - 9.27.3.8. ALL CAULKING TO COMPLY WITH SUBSECTION 9.27.4. ALL SKYLIGHTS TO CONFORM TO STANDARDS REFERENCE UNDER SUBSECTION 9.7.4.2. WHEN CERAMIC TILE IS SET IN A MORTAR BED THE BED SHALL BE NOT LESS THAN 32MM (1 1/4IN.)THICK. A 50MM BY 50MM (2IN. BY 2IN.) GALVANIZED WIRE MESH SHALL BE PLACED IN THE MORTAR BED AND ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM SHALL BE APPLIED UNDER THE MORTAR BED WHEN THE MORTAR IS APPLIED OVER WOODEN SUBFLOORS. SEE ARTICLE 9.30.6. & 9.23.14. EXCEPT FOR BATHROOMS OR WATER-CLOSET ROOMS, FINISHED ROOMS SHALL BE PROVIDED WITH A MINIMUM 0.28 M2 (3 FT2) UNOBSTRUCTED OPERABLE VENTILATION AREA TO THE OUTDOORS WHERE SUCH ROOMS ARE NOT VENTILATED MECHANICALLY.SEE SUBSECTION 9.32.2. AND TABLE 9.32.2.1. ALL GLASS SHOWER STALLS WILL CONFORM TO ARTICLE 9.6.1. - SAFETY GLASS FOR SHOWER STALLS. WALLS WITH TILE FINISHES SHALL CONFORM TO SUBSECTION 9.29.10 "WALL TILE FINISH" AND ALL DRYWALL FINISHES SHALL COMPLY WITH SUBSECTION 9.29.10. FOR 'GYPSUM BOARD FINISH (TAPED JOINTS).

FLOORS AND WALLS:

ALL FLOORS IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER ARTICLES 9.30.1.1 AND 9.30.1.2. AND ALL WALL TILE FINISH TO COMPLY TO SUBSECTION 9.29.10. ALL GYPSUM WALL BOARD AND INSTALLATION TO COMPLY WITH SUBSECTION 9.29.5. GYPSUM BOARD FINISH (TAPED JOINTS). INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH SUBSECTION 9.29.

STUD WALL REINFORCEMENT:

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO ARTICLE 9.5.2.3 FOR THE INSTALLATION OF GRAB BARS.

BUILDING STRUCTURE:

UNLESS NOTED OTHERWISE LUMBER AND WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2. BUILT-UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2.(2). ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.2.1.

MISCELLANEOUS:

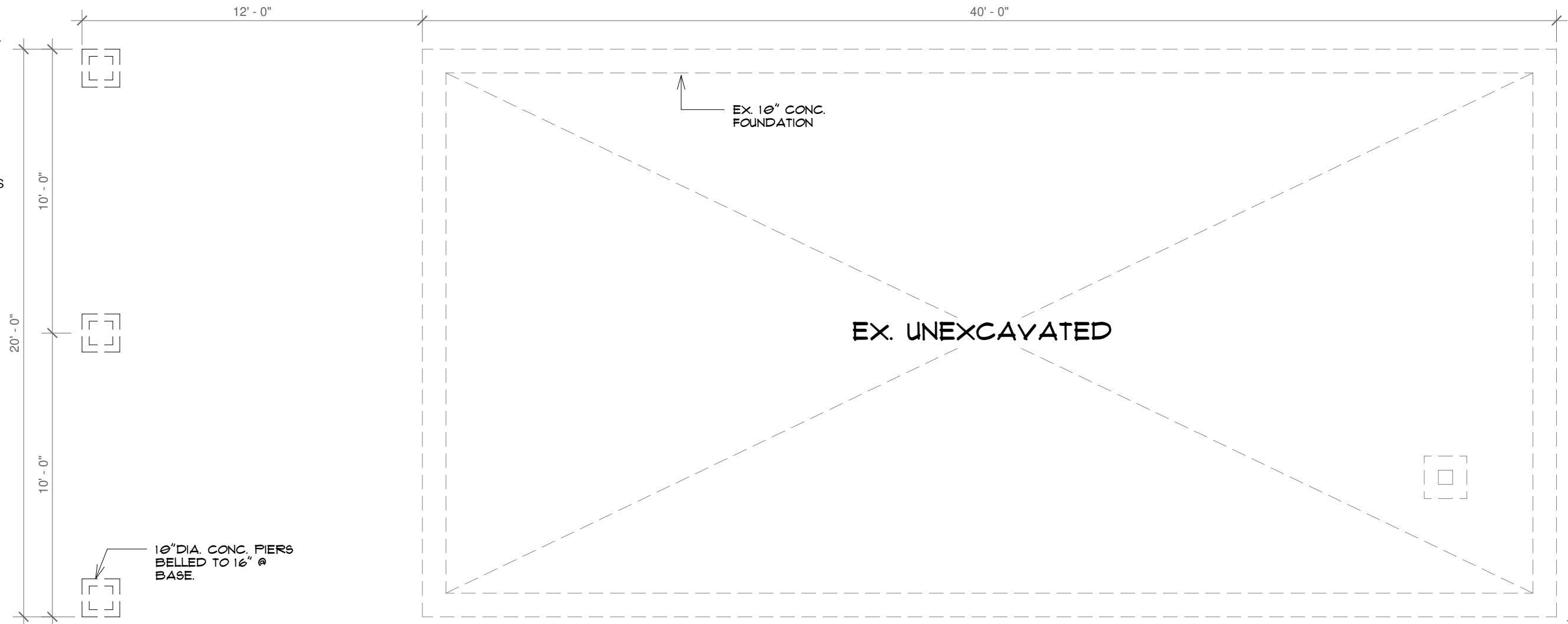
ALL GLASS SHOWER & BATH ENCLOSURES TO MEET REQUIREMENTS OF ARTICLE 9.6.1. STUD WALL REINFORCING REQUIRED IN ALL BATHROOMS AS PER 9.5.2.3.

ELECTRICAL:

ELECTRICAL FACILITIES SHALL CONFORM TO SECTION 9.34. ELECTRICAL OUTLETS IN DWELLING UNITS TO CONFORM TO ARTICLE 9.34.2.2.

FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES:

ALL FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES TO CONFORM TO ARTICLE 9.10.22.



FOOTING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
 JOHN BARNHART 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN

NOTE:
 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DESCREPANCY TO THE ENGINEER AND/ OR DESIGNER.
 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

ALL CODE REFERENCES REFER TO O.B.C. 2012 DIVISION 'B'

DO NOT SCALE DRAWINGS

A-1

SCALE: 1/4"=1'-0"



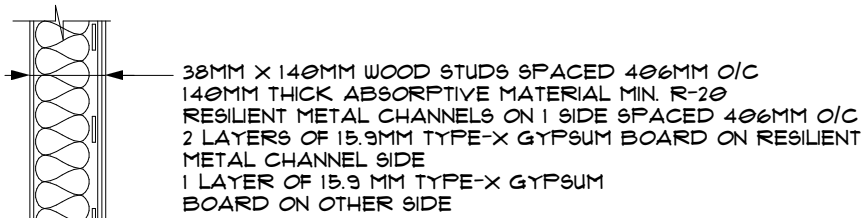
CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON

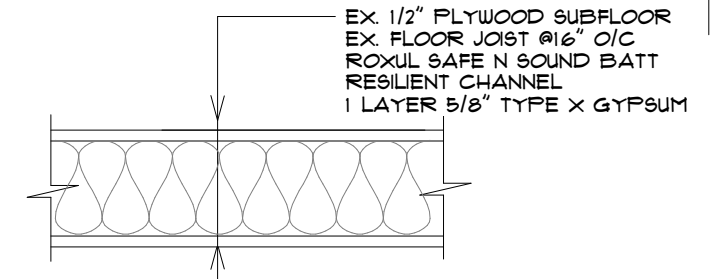
GENERAL NOTES CONT'D

- REQUIRED RATED CEILING ASSEMBLY SHALL BE NEW F8D PER SB-3 UNLESS OTHERWISE NOTED
- REQUIRED RATED WALL ASSEMBLY SHALL BE NEW W4A PER SB-3 UNLESS OTHERWISE NOTED
- FIRE SEPARATION TO BE SEALED WITH HILTI CP 660 OR EQ. APPROVED FIRE RATED CAULKING.
- ALL RECESSED TO SERVE BOTH UNITS. SEE NOTE BELOW.

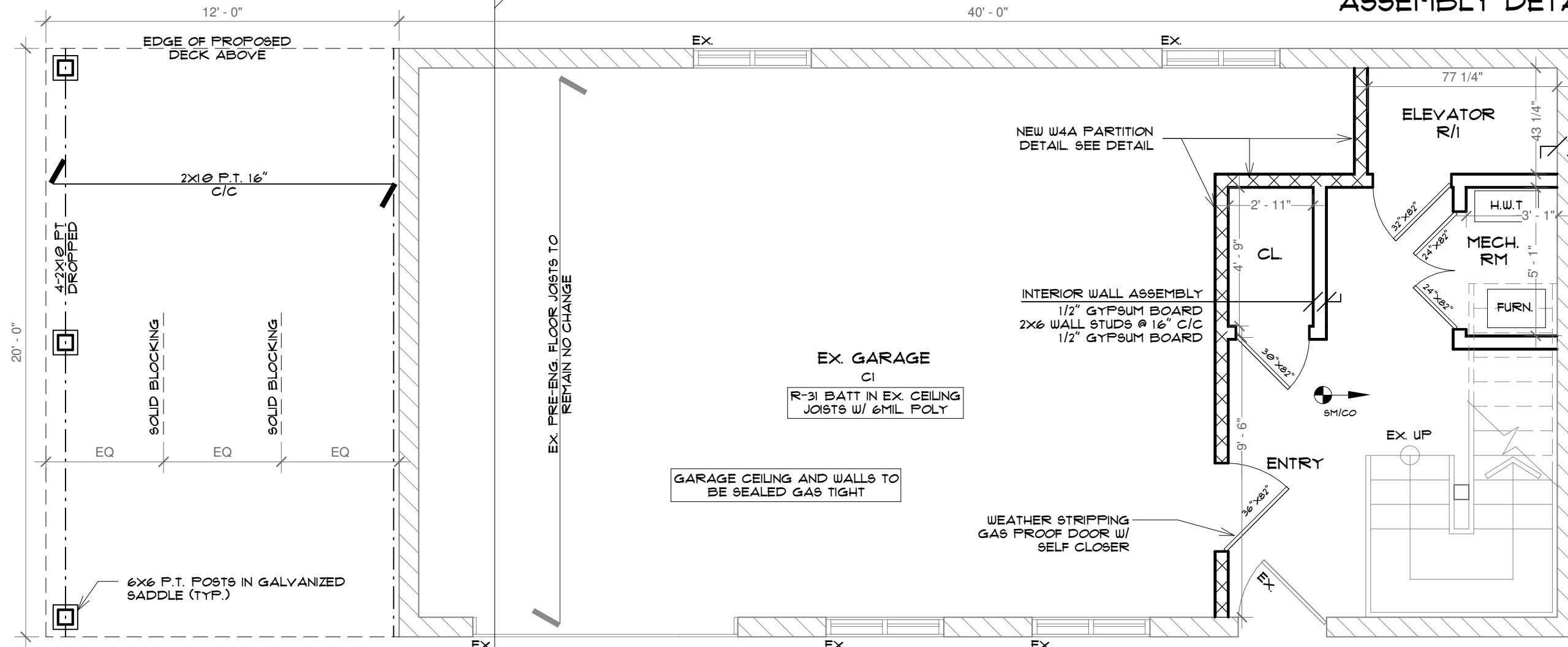
NO CHANGE TO BLDG. FND.
ESA TO PROVIDE FINAL APPROVAL ON ALL ELECTRICAL



W4A PARTITION DETAIL



PROPOSED F8D CEILING ASSEMBLY DETAIL



MAIN FLOOR PLAN

N.B. OPT. ELEVATOR SPECS. PROVIDED BY HOMEOWNER

EX. EXT. WALL ASSEMBLY
EX. SIDING
EX. AIR BARRIER
EX. PLYWOOD SHEATHING
EX. 2X6 STUDS @16" C/C
R-20 BATT INSUL
6MIL POLY
1/2" GYP.

DRAWING LEGEND

	EX. WALLS TO REMAIN		120 CFM VENT TO EXIT
	NEW 2X4 INTERIOR PARTITION WALL		INTERCONNECTED SM/CO ALARM W/ VISUAL SIGNALING DEVICE
CI	NEW F8D CEILING ASSEMBLY (30' F.R.R. 50 STC, 44 IIC THROUGHOUT)		NEW W4A PARTITION DETAIL
			NEW 2X6 EXTERIOR WALL SEE DETAILS ON PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
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FIRM NAME BCIN

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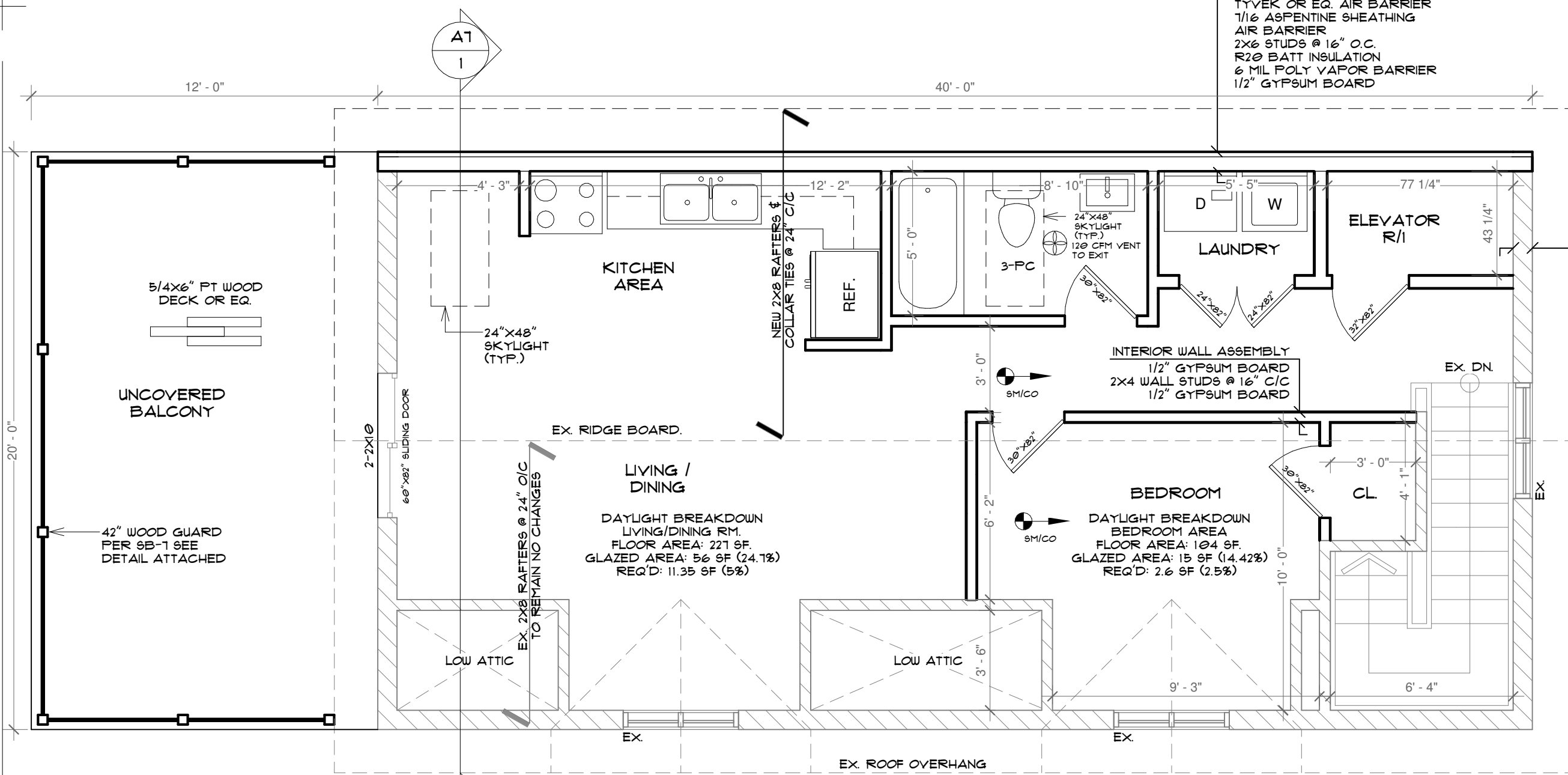
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DO NOT SCALE DRAWINGS

CONVERSION & PORCH ADDITION
66 BLUELINE RD, SIMCOE, ON

A-2

SCALE: 1/4"=1'-0"





SECOND FLOOR PLAN

DRAWING LEGEND

	EX. WALLS TO REMAIN		120 CFM VENT TO EXIT
	NEW 2X4 INTERIOR PARTITION WALL		INTERCONNECTED SM/CO ALARM W/ VISUAL SIGNALING DEVICE
	NEW F8D CEILING ASSEMBLY (30. F.R.R. 50 STC, 44 IIC THROUGHOUT)		SM/CO
	NEW W4A PARTITION DETAIL		NEW W4A PARTITION DETAIL
	NEW 2X6 EXTERIOR WALL SEE DETAILS ON PLAN		NEW 2X6 EXTERIOR WALL SEE DETAILS ON PLAN

NOTE:
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ALL CODE REFERENCES REFER TO O.B.C. 2012 DIVISION 'B'

CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON

A-3

SCALE: 1/4"=1'-0"



SIMPLE GUARD SHOWN FOR CLARITY ONLY. NOTE THAT 42" WOOD GUARD PER SB-7 IS TO BE INSTALLED SEE DETAIL



FRONT ELEVATION

CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON

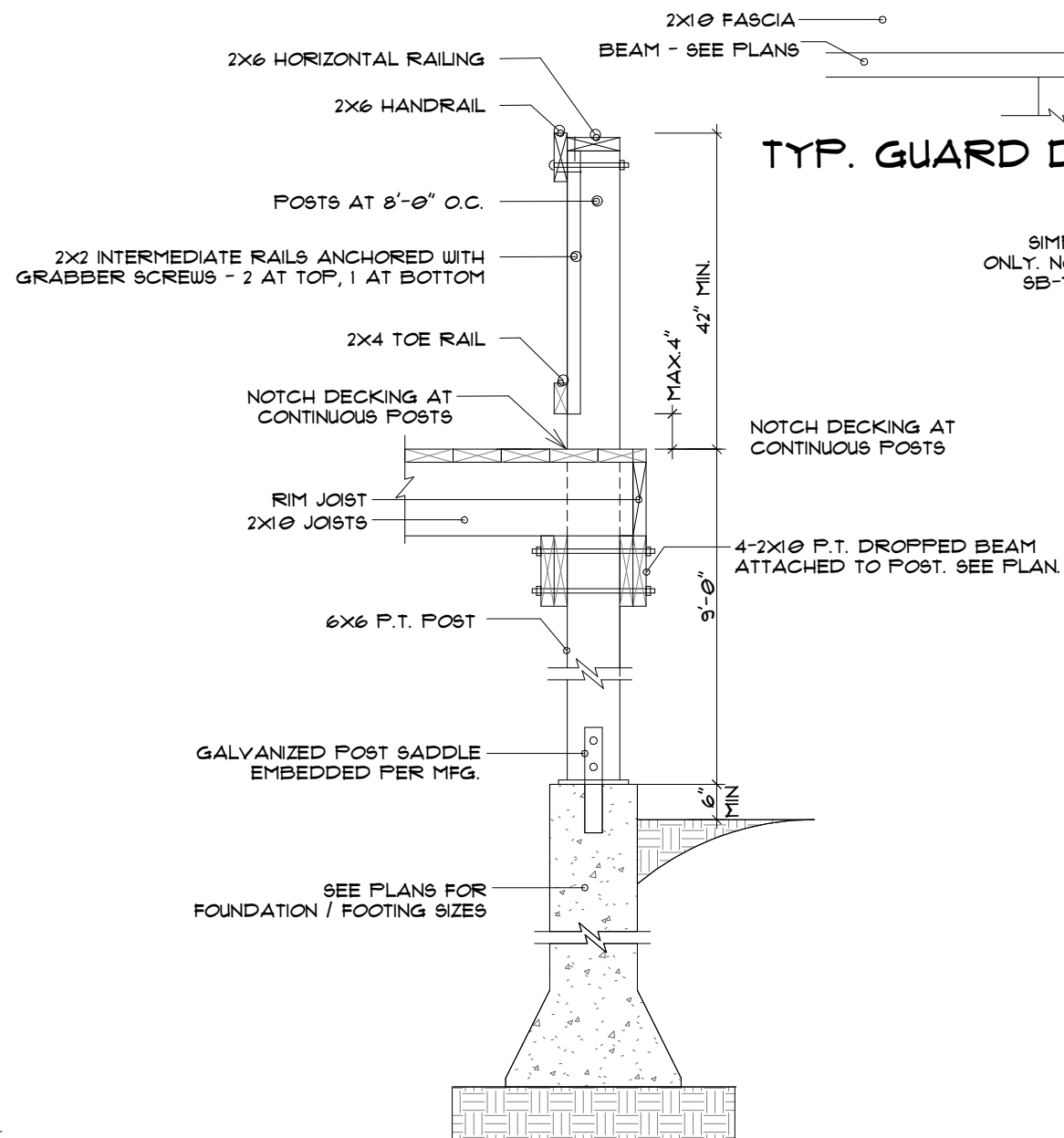
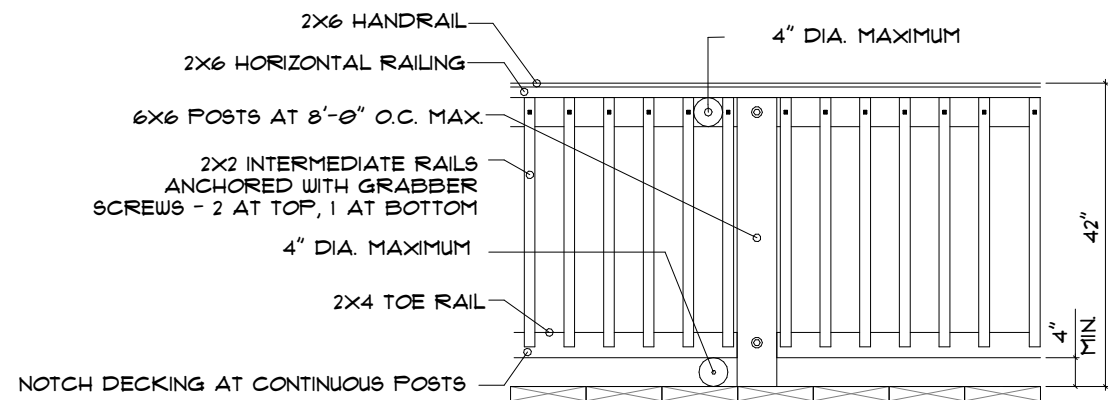
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
 JOHN BARNHART 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCPN

NOTE:
 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DESCREPANCY TO THE ENGINEER AND/ OR DESIGNER.
 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
 DO NOT SCALE DRAWINGS

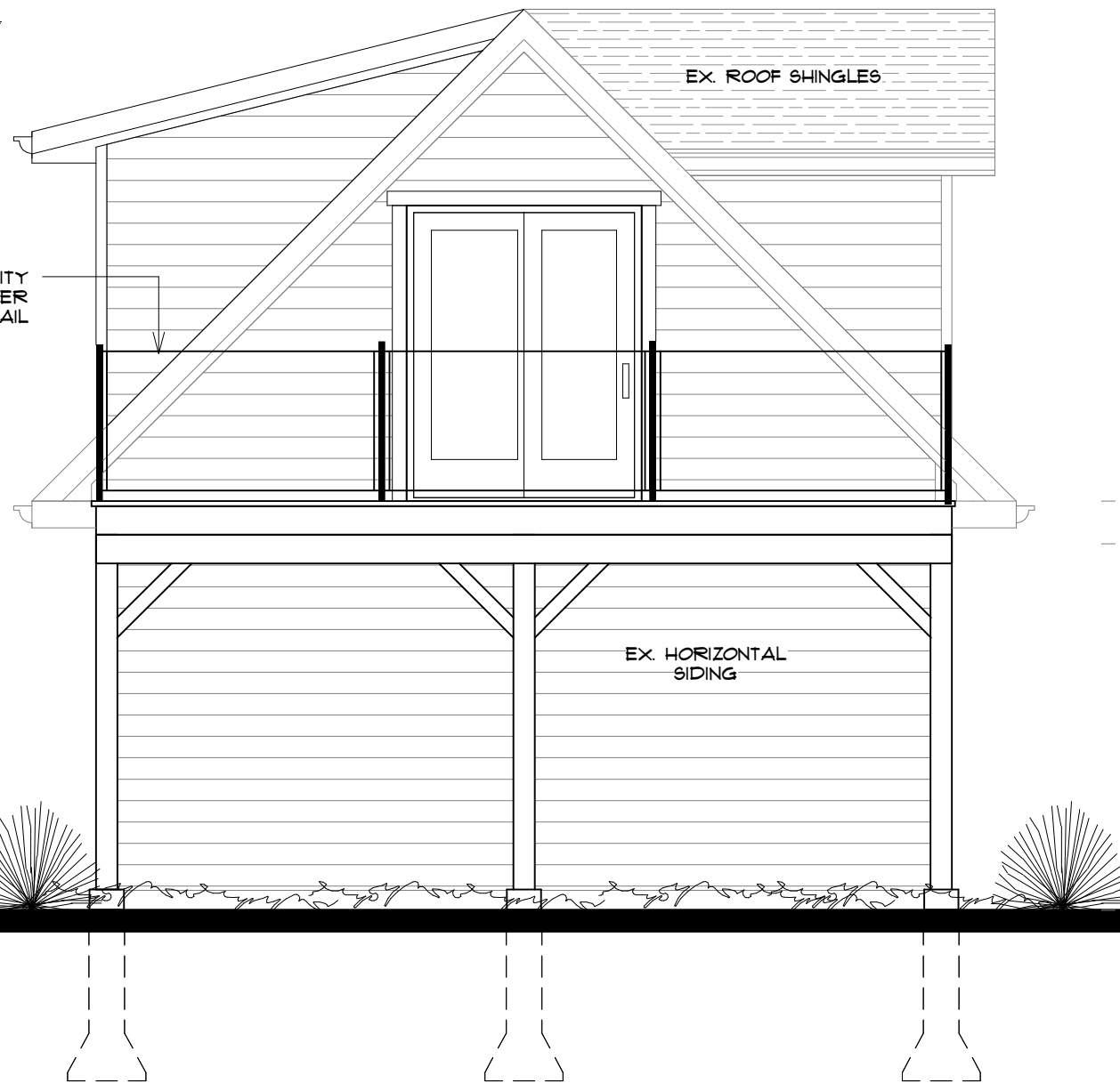
A-4

SCALE: 1/4"=1'-0"





TYP. POST SECTION (N.T.S.)



LEFT ELEVATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
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 JOHN BARNHART 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN

NOTE:
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 DO NOT SCALE DRAWINGS

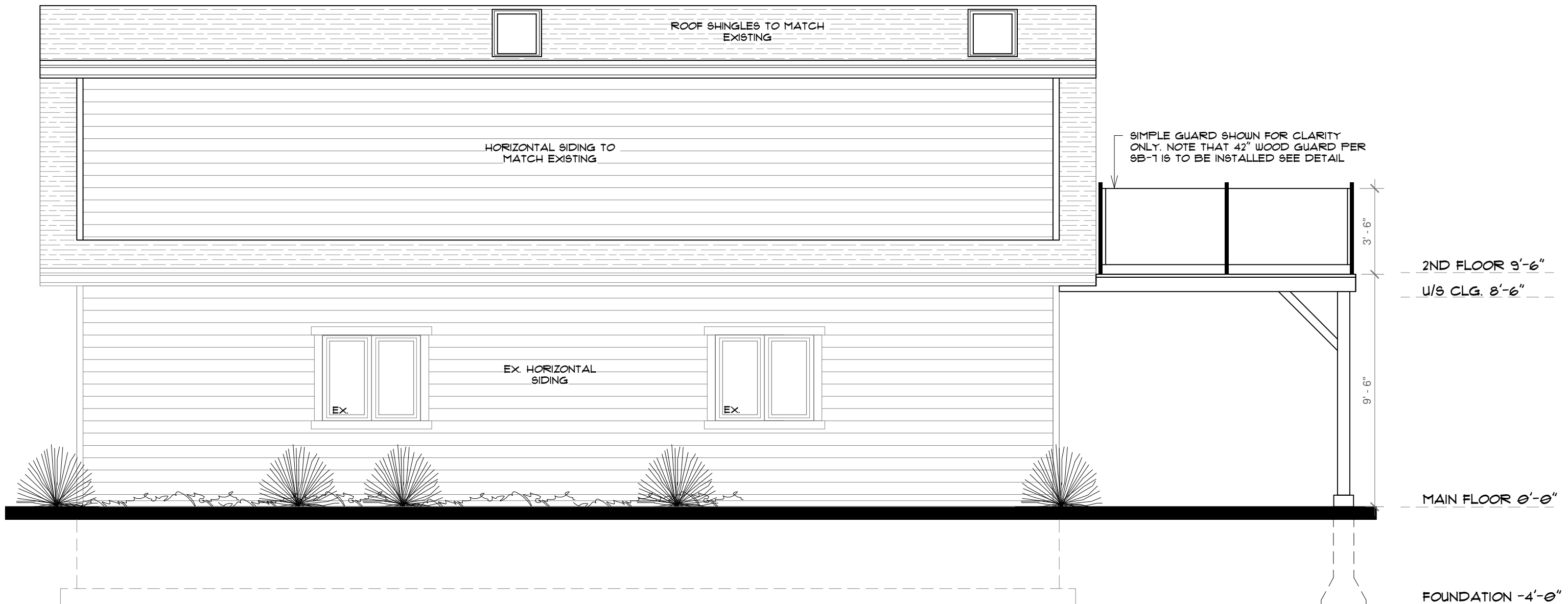
A-5

SCALE: 1/4"=1'-0"



CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON



REAR ELEVATION

CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON

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 JOHN BARNHART 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN

NOTE:
 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DESCREPCANCY TO THE ENGINEER AND/ OR DESIGNER.

2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

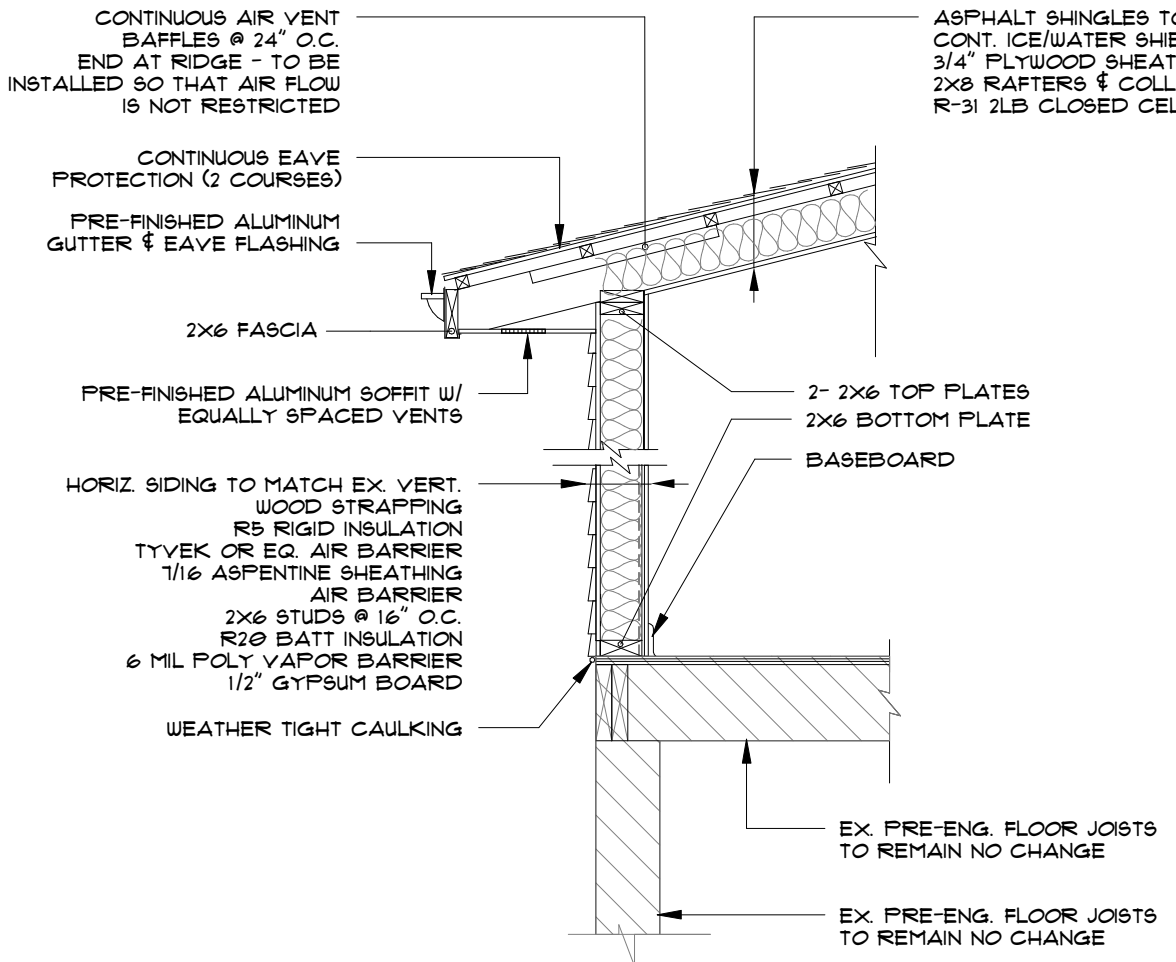
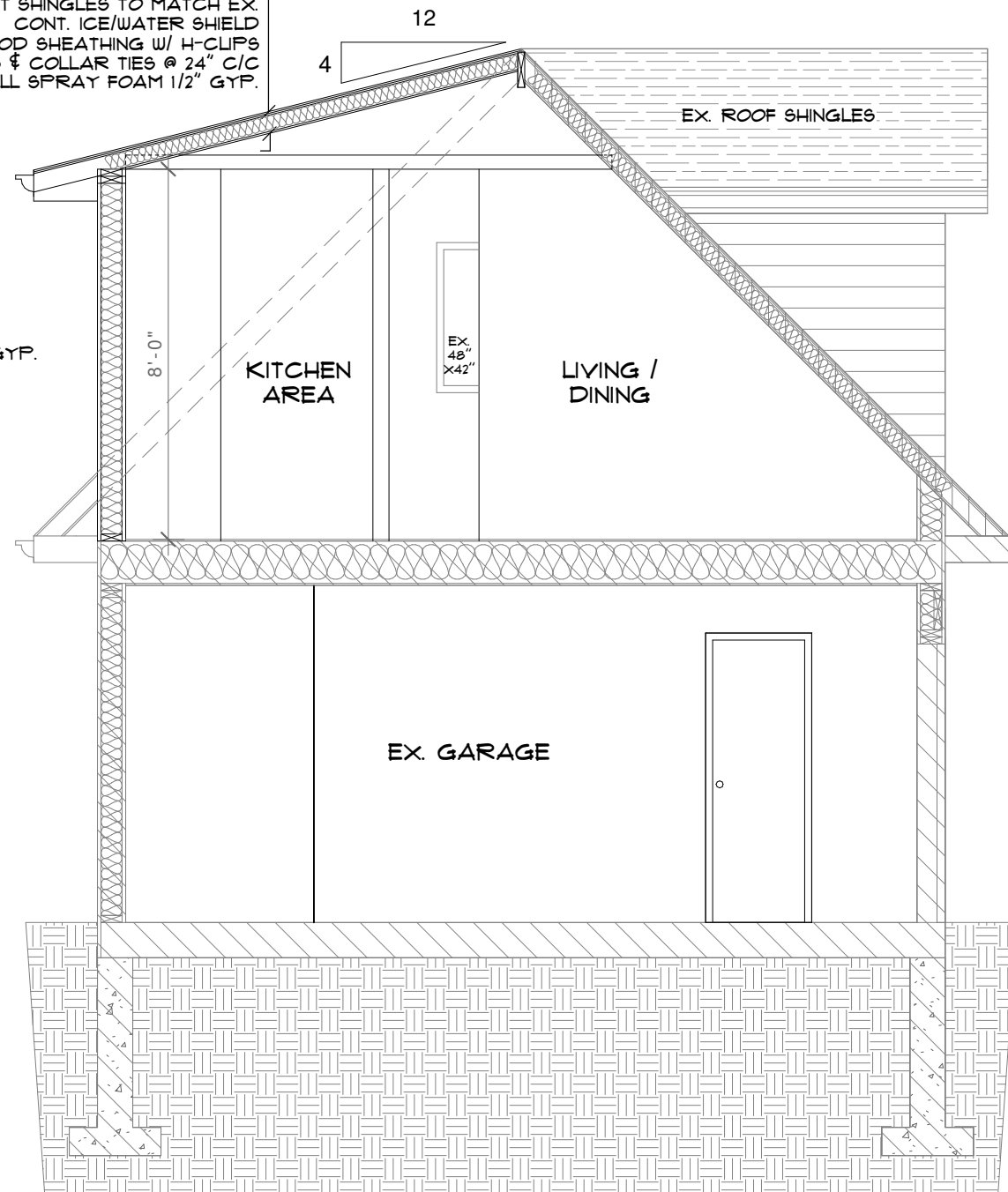
DO NOT SCALE DRAWINGS

A-6

SCALE: 1/4"=1'-0"



DORMER ROOF ASSEMBLY
 ASPHALT SHINGLES TO MATCH EX.
 CONT. ICE/WATER SHIELD
 3/4" PLYWOOD SHEATHING W/ H-CLIPS
 2X8 RAFTERS & COLLAR TIES @ 24" C/C
 R-31 2LB CLOSED CELL SPRAY FOAM 1/2" GYP.



**NEW WALL SECTION
 DETAIL**

SECTION 1-1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE, TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
 JOHN BARNHART 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCPN

NOTE:
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 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
DO NOT SCALE DRAWINGS

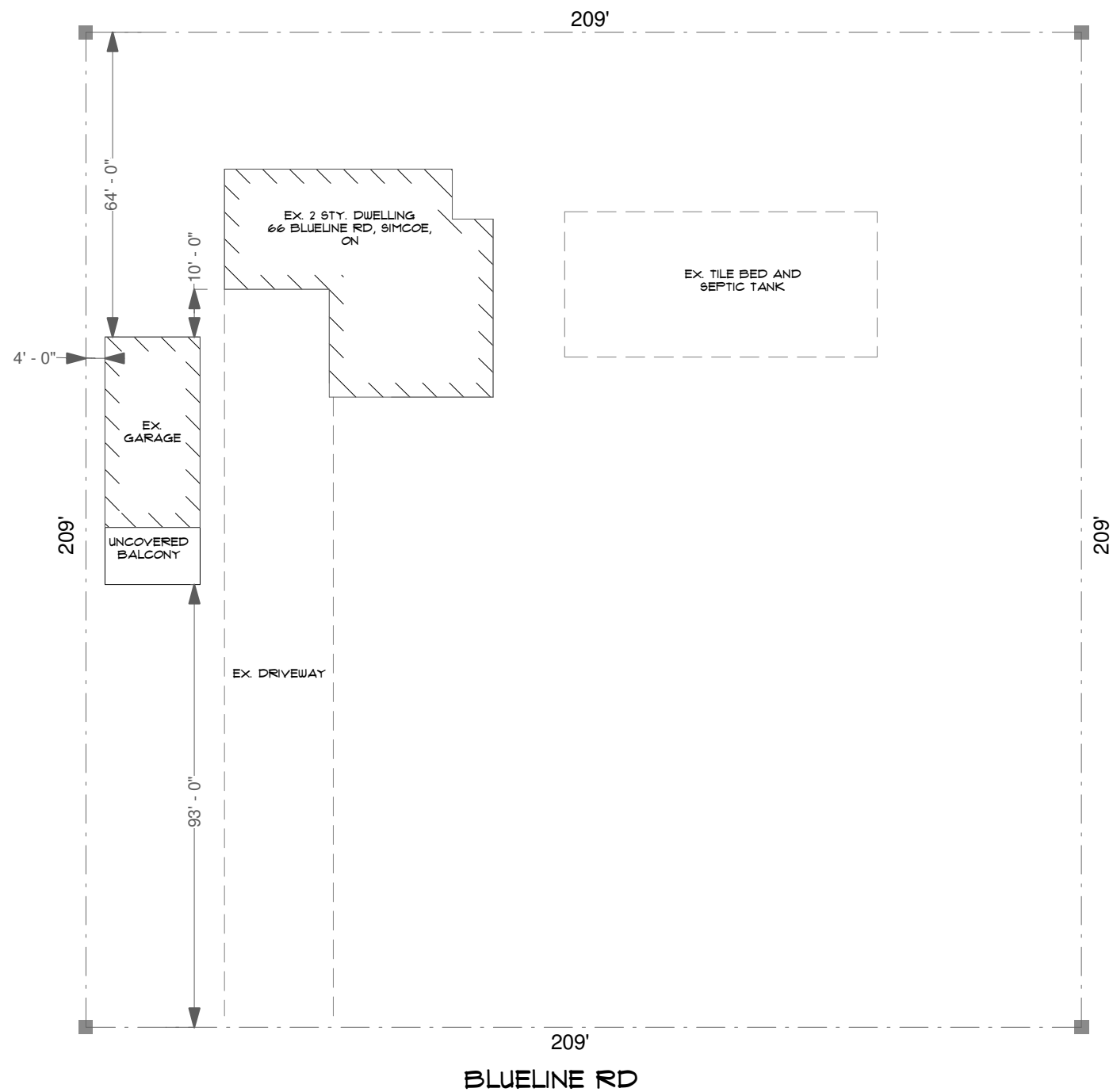
A-7

SCALE: 1/4"=1'-0"



CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON



CONVERSION & PORCH ADDITION

66 BLUELINE RD, SIMCOE, ON

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1 OF THE 2006 ONTARIO BUILDING CODE.

JOHN BARNHART *JB* 41773

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1 OF THE 2006 ONTARIO BUILDING CODE.

THE BUILDING PERMIT GUY 103362

FIRM NAME BCIN

ALL CODE REFERENCES REFER TO O.B.C. 2012 DIVISION 'B'

NOTE:

- 1) CONTRACTOR TO CHECK ALL DIMENSIONS, SPECIFICATIONS, ETC. ON SITE AND SHALL BE RESPONSIBLE FOR REPORTING ANY DESCREPCANCY TO THE ENGINEER AND/ OR DESIGNER.
 - 2) ALL WORKS TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- DO NOT SCALE DRAWINGS

A-8

SCALE: 1/32"=1'-0"



MAP A
CONTEXT MAP
Geographic Township of WOODHOUSE

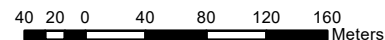
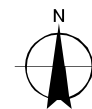
ANPL2022231



Legend

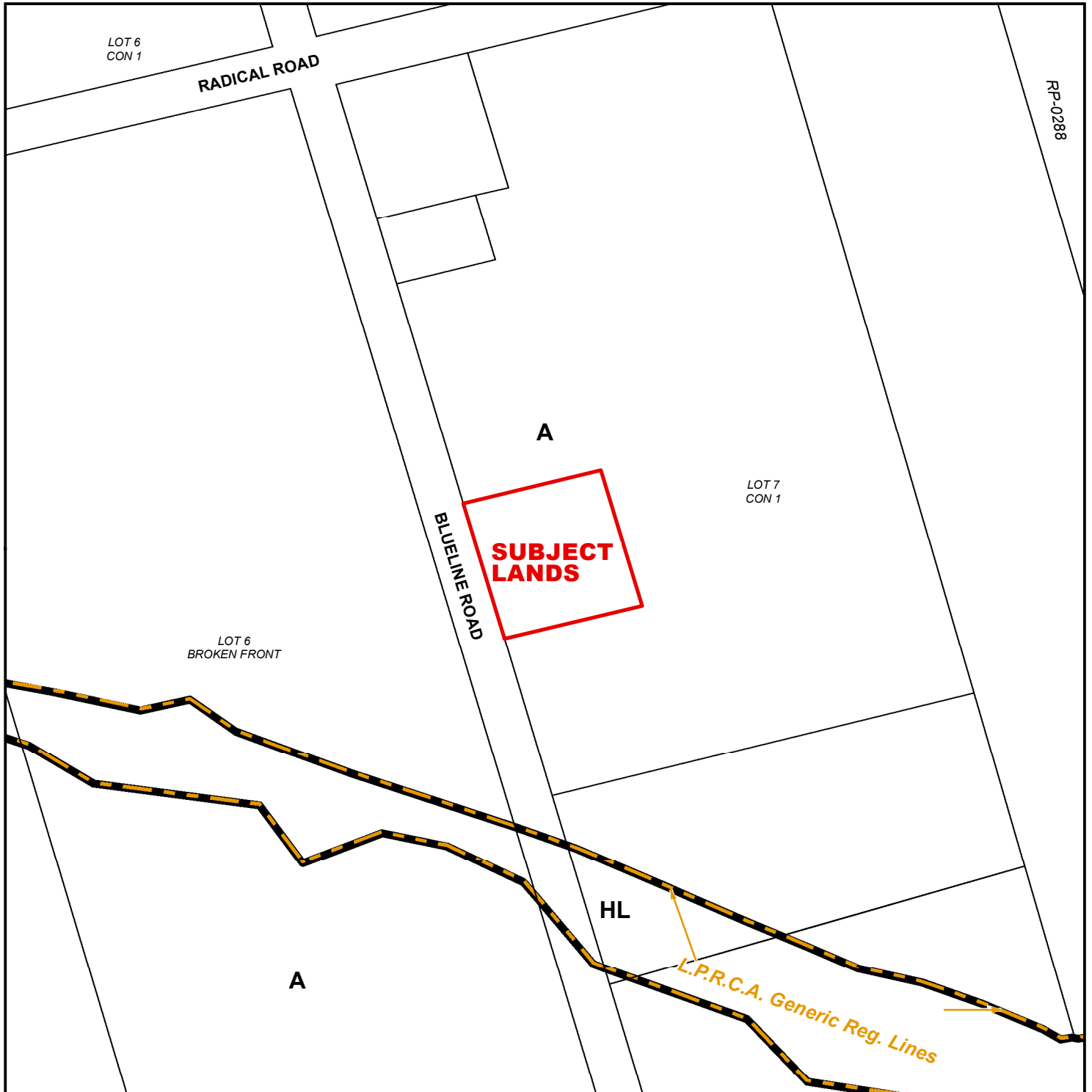
-  Subject Lands
- 2020 Air Photo

8/17/2022





MAP B
ZONING BY-LAW MAP
Geographic Township of WOODHOUSE

ANPL2022231



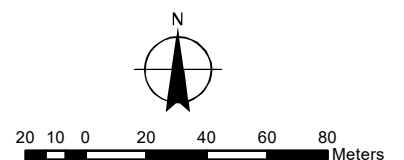
LEGEND

-  Subject Lands
-  LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

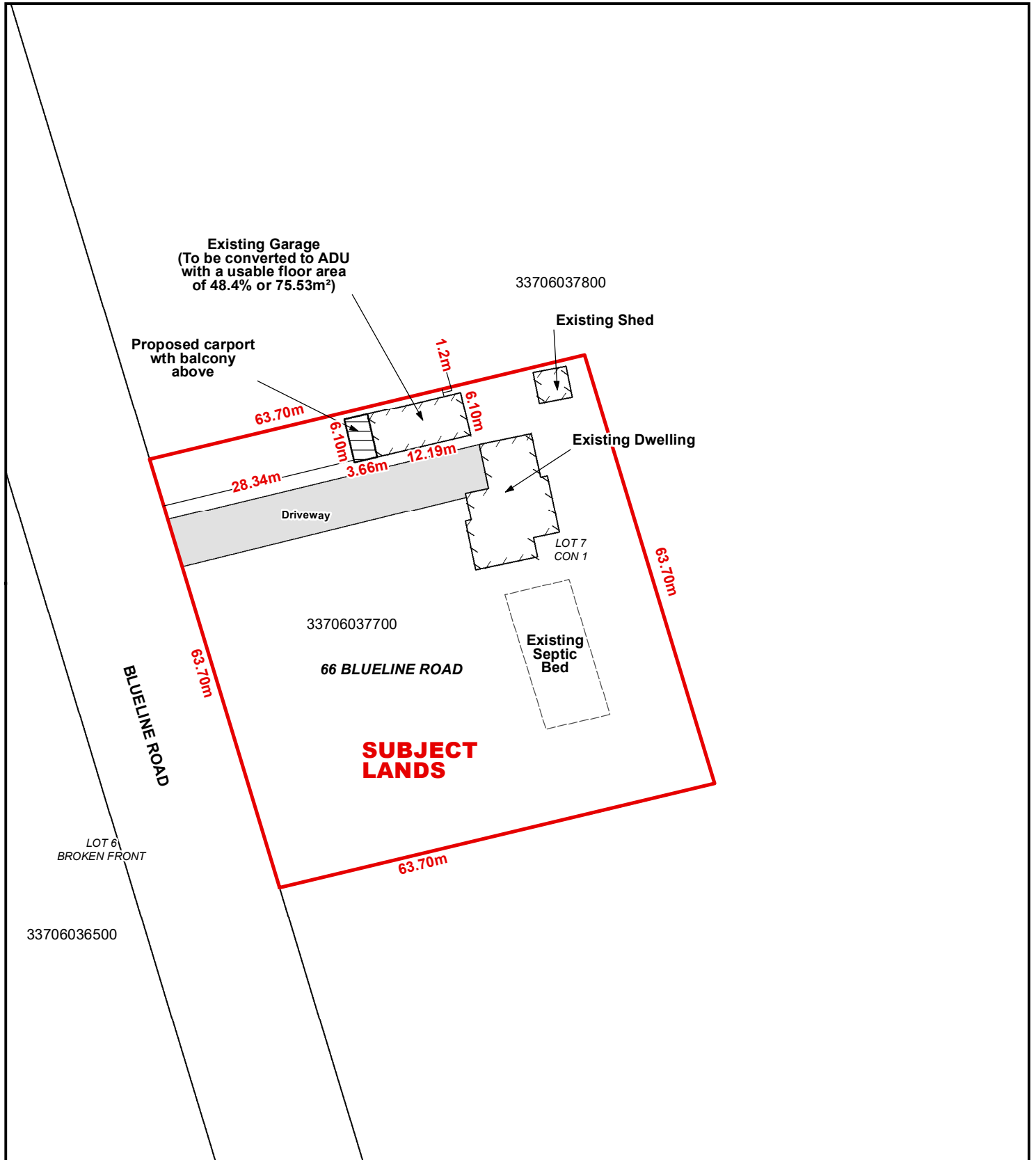
8/17/2022

- (H) - Holding
- A - Agricultural Zone
- HL - Hazard Land Zone




CONCEPTUAL PLAN

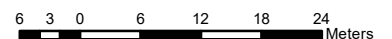
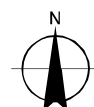
Geographic Township of WOODHOUSE



Legend

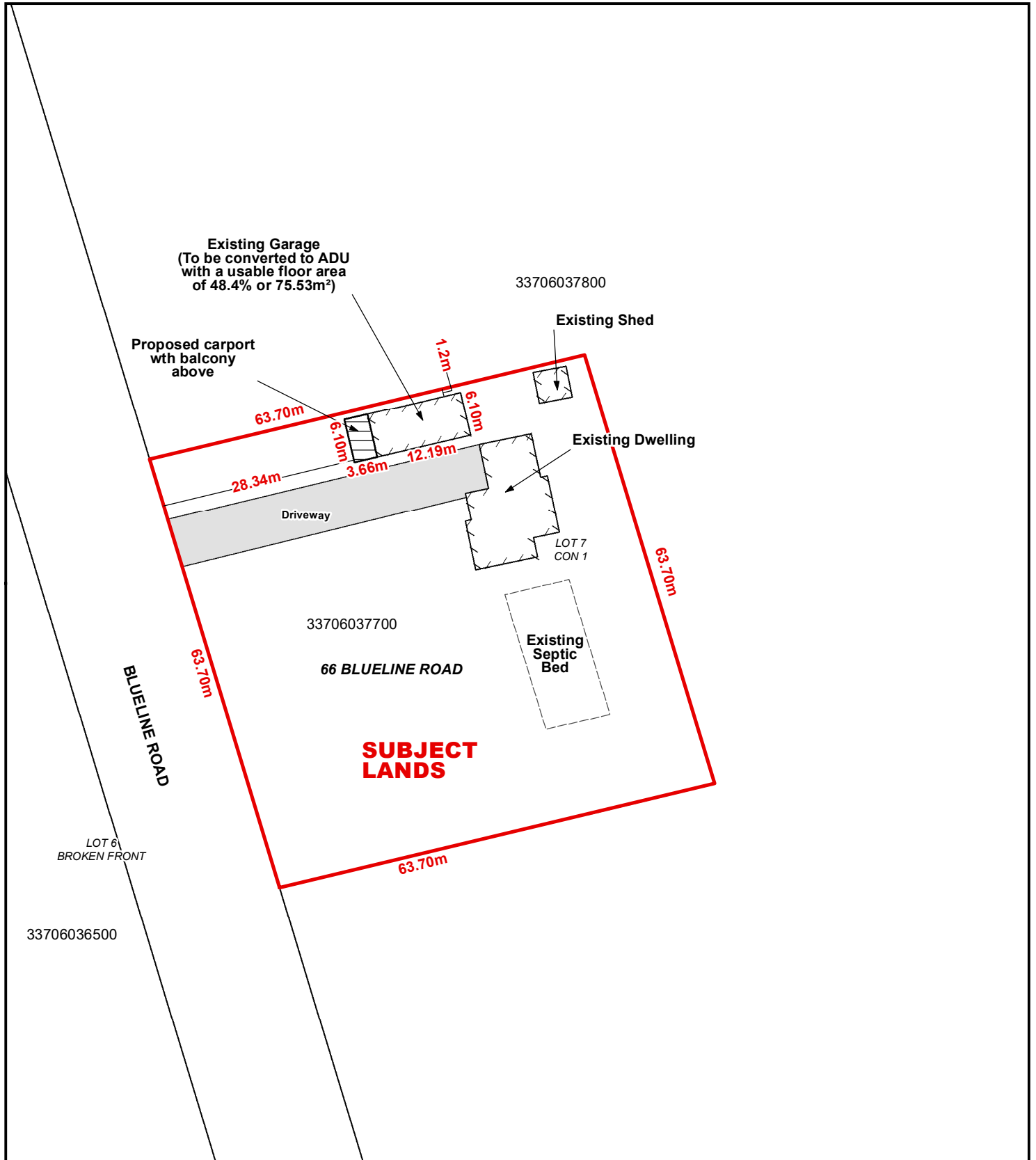
 Subject Lands

8/17/2022




CONCEPTUAL PLAN

Geographic Township of WOODHOUSE



Legend

 Subject Lands

8/17/2022

