

For Office Use Only:

File Number	<u>ANPL2022168</u>	Application Fee	<u>\$1599.00 - paid</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u>\$514.15</u>
Pre-consultation Meeting	<u></u>	Well & Septic Info Provided	<u>N/A</u>
Application Submitted	<u>June 7, 2022</u>	Planner	<u>Hanne Yager</u>
Complete Application	<u>June 16, 2022</u>	Public Notice Sign	<u>-</u>

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 33103340303321000014

A. Applicant Information

Name of Owner Paul Hogenwaring

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 14 Golden Meadow Drive

Town and Postal Code Port Dover NOA 1N3

Phone Number 519-761-0523

Cell Number _____

Email haven@execulink.com

Name of Applicant Paul Hogenwaring

Address 14 Golden Meadow Drive

Town and Postal Code Port Dover NOA 1N3

Phone Number 519-761-0523

Cell Number _____

Email haven@execulink.com

Name of Agent Bill Klyn Carpentry Inc. (Mark)
Address 2 Palmer Street East
Town and Postal Code Norwich NoJ 1P0
Phone Number 519-424-2816
Cell Number 519-532-4494
Email mark@bk1carpentry.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner Agent Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

NA

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Plan 37m38 Lot 20

Municipal Civic Address: 14 Golden Meadow Drive

Present Official Plan Designation(s): Urban Residential + HL

Present Zoning: R1-A

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

Partial Hazard Land zoning

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Residential Home

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Deck w a roof. See eng. drawings

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

See eng. drawings 4.27m x 6.09m deck covered with a gable roof 4.27m x 9.14m. Deck 3.04m above grade. Gable peak - 7.3m above grade

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

N/A

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	irreg. 150 162.8'			150 162.8'	
Lot depth	172'			172'	
Lot width	irreg.			irreg.	
Lot area	19,393.23ft ²			19,323.23ft ²	
Lot coverage	18%			19.8%	
Front yard	19'			19'	
Rear yard	129'			115'	
Height	unchanged			unchanged	
Left Interior side yard	30.5'			30.5'	
Right Interior side yard	20.5'			20.5'	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Hazard Land zone runs through the middle of the property and existing house. Leaving any deck built stuck in the hazard zone

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
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Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

Plan approved by the LPRCA

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

no changes to the flow of water on the property.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. All Applications: Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)
-

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)
-

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Golden Meadows Drive

G. All Applications: Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Proposed project has been approved by the LPRCA

I. Transfers, Easements and Postponement of Interest

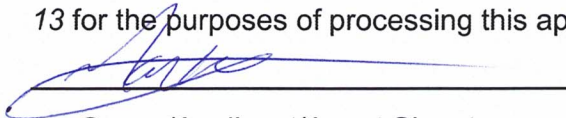
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant/Agent Signature

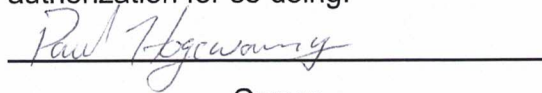
June 2, 2022
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Paul Hogenwaring am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bill Klyn Carpentry to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner

06/02/2022
Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Mark Klyn of Tillsonburg

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. ~~Parking space totals – required and proposed~~
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. ~~Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures~~
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



REAR VIEW



LEFT SIDE VIEW



RIGHT SIDE VIEW

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1510 psf
- CONSTRUCTION SEQUENCING:
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1" (30cm) LIFTS EVENLY AROUND STRUCTURE.
COMPACT BACKFILL TO 98% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE

GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD: 1.12 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (1/50): 0.45 KPA (9.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR FOURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN FOURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9.20.5.2.

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.

RISE: MAX. 7 1/8"
RUN: MIN. 8 1/4"
TREAD: MIN. 8 1/4"
NOSE: MAX. 1"
HEADROOM: MIN. 6'-8"
UNIFORM RISE/RUN

LEGEND

SOLID BEARING
SB FOR GIRDER
POINT LOAD
SINGLE JOIST
DOUBLE JOIST
TRIPLE JOIST
DOUBLE CEILING JOIST

STRUCTURAL NOTES

1. ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) FLY 2X10 C/W 2X4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE
2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE

REVISIONS

No.	DATE	DESCRIPTION
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-	-	-
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DESIGNER DISCLAIMER

1. THESE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE.
2. IF ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING.
3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

COVERED DECK = 211 sq.ft.

PROPOSED DECK FOR
BILL KLYN CARPENTRY
14 GOLDEN MEADOWS DR.
PROJECT NUMBER
C45-2108-01

djDESIGN
Architectural • Energy • HVAC

Phone: (519) 539-9981 378 Hunter Street Woodstock, ON
E-mail: plans@djdesign.ca Website: www.djdesign.ca N4B 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

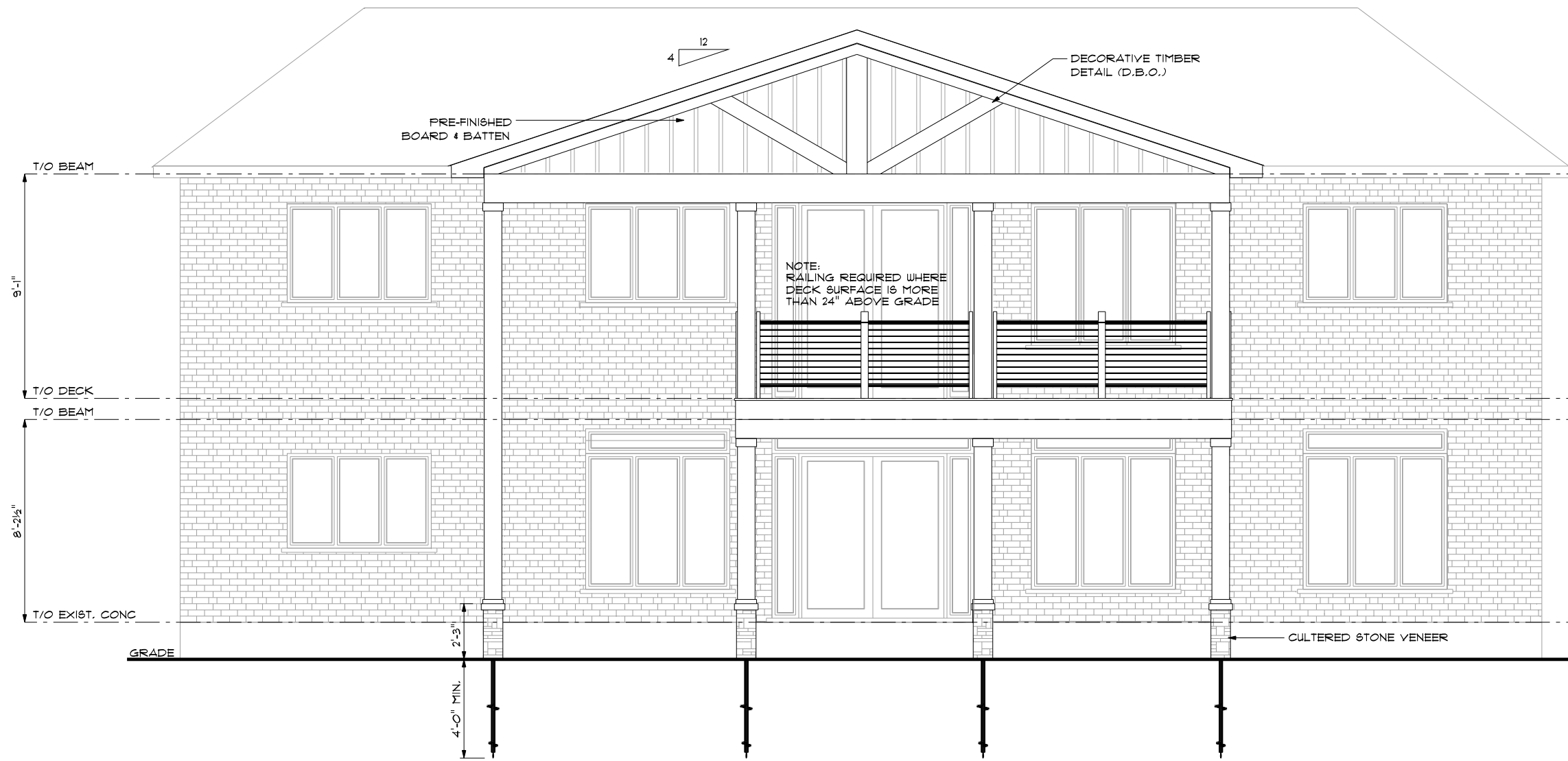
QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.1.3.1. OF THE BUILDING CODE

DEREK JUKEMA 21159
NAME BCIN
SIGNATURE

3D MODEL RENDERS

Scale: AS NOTED
Date: 2022-02-01
Drawn by: AR
Designed by: AR
Checked by: ATW

A-1



REAR ELEVATION

SCALE 1/4"=1'-0"

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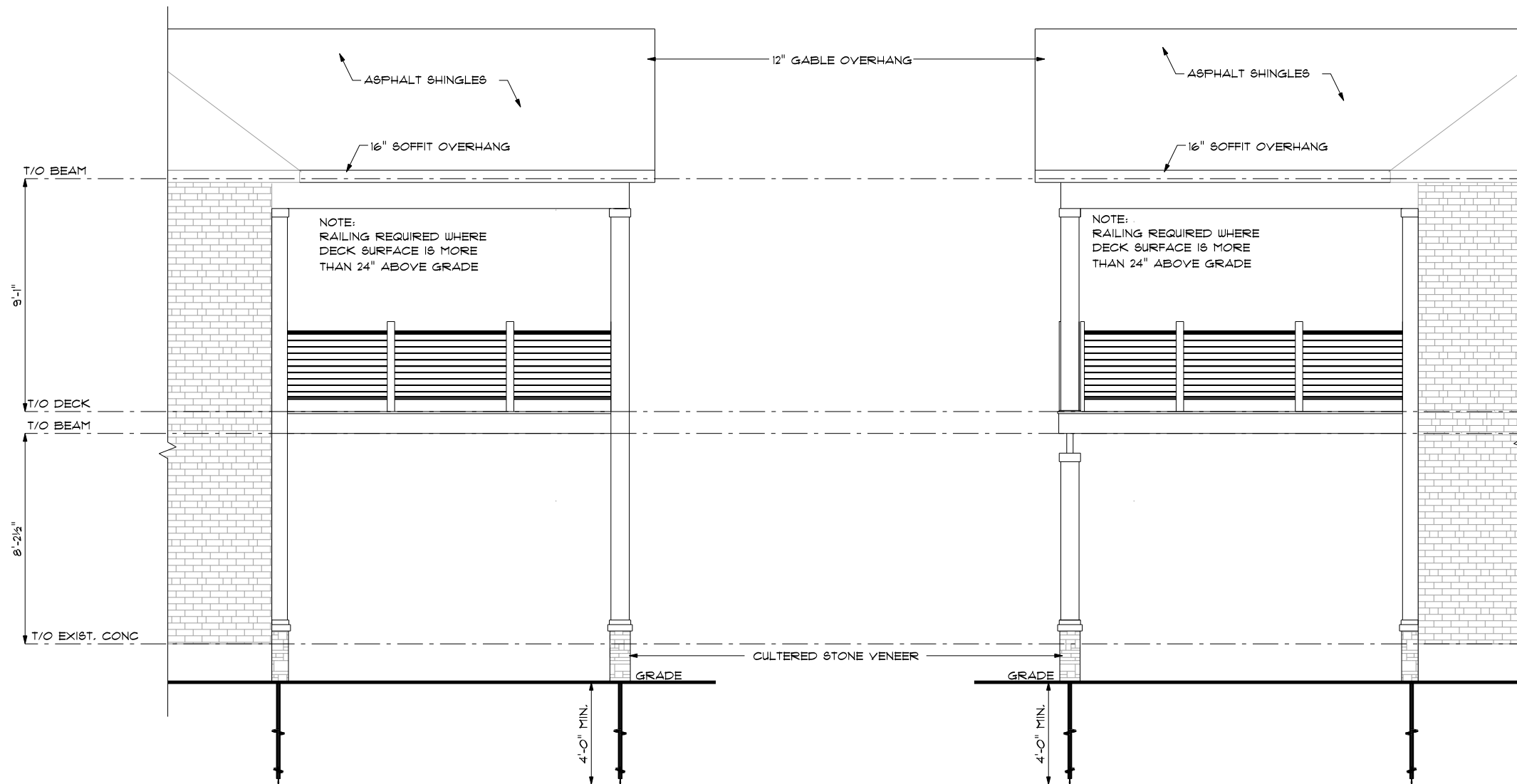
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DEREK JUKEMA 21759
 NAME BCIN

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 Date: 2022-02-01
 Drawn by: AR
 Designed by: AR
 Checked by: ATW

A-2



RIGHT ELEVATION

SCALE 1/4"=1'-0"

LEFT ELEVATION

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2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE

REVISIONS

No.	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
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-	-	-
-	-	-
-	-	-

DESIGNER DISCLAIMER

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3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

COVERED DECK = 211 sq.ft.

PROPOSED DECK FOR
 BILL KLYN CARPENTRY
 14 GOLDEN MEADOWS DR.

PROJECT NUMBER
 C45-2108-01

djDESIGN
 Architectural • Energy • HVAC
 Phone: (905) 595-9981 378 Hunter Street
 E-mail: plans@djdsgn.ca Woodstock, ON
 Website: www.djdsgn.ca N4S 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

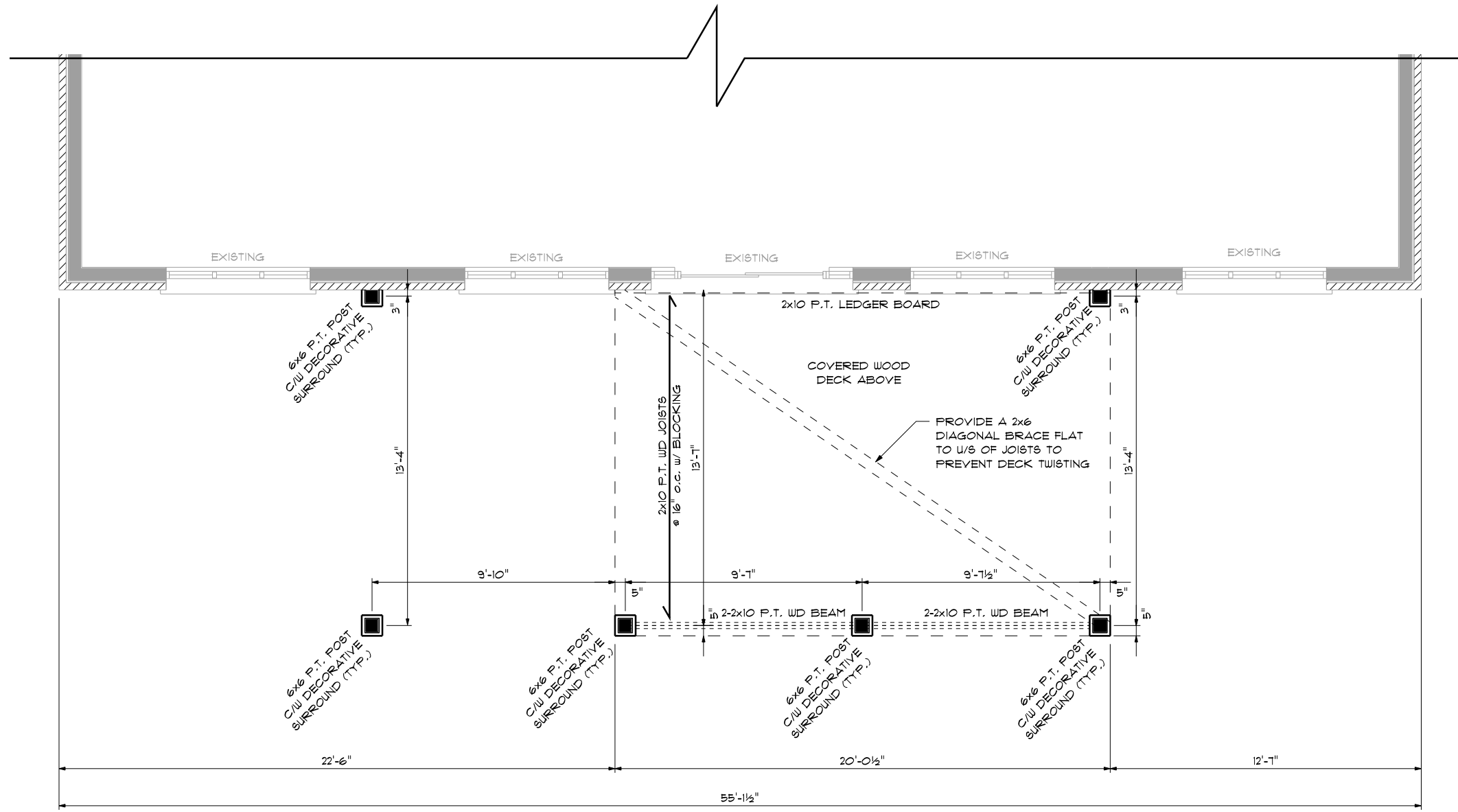
QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2113.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
 NAME BCN
 SIGNATURE

RIGHT & LEFT ELEVATIONS

Scale:	3/16" = 1'-0"
Date:	2022-02-01
Drawn by:	AR
Designed by:	AR
Checked by:	ATW

A-3



MAIN FLOOR PLAN
SCALE 3/16" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 15'10 psf
- CONSTRUCTION SEQUENCING:
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 11" (30cm) LIFTS EVENLY AROUND STRUCTURE.
COMPACT BACKFILL TO 98% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
GROUND SNOW LOAD: 1.3 KPA (27.2 psf)
SPECIFIED SNOW LOAD: 1.12 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (1/50): 0.45 KPA (9.4 psf)
1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPAN
4" BRICK/STONE O.B.C. 9.20.5.2.
BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
BL-3 6" V x 3 1/2" H x 1/8" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.		LEGEND	
RISE:	MAX. 7 1/8"		SOLID BEARING
RUN:	MIN. 8 1/4"		SB FOR GIRDER
TREAD:	MIN. 9 1/4"		POINT LOAD
NOBING:	MAX. 1"		SINGLE JOIST
HEADROOM:	MIN. 6'-5"		DOUBLE JOIST
UNIFORM RISE/RUN:			TRIPLE JOIST
			DOUBLE CEILING JOIST

STRUCTURAL NOTES

1. ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) PLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE
2. ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES
3. PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE

REVISIONS

No.	DATE	DESCRIPTION
-	-	-
-	-	-
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-	-	-
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3. HVAC STRUCTURAL REQUIREMENTS TO BE VERIFIED AND MET ON SITE WITH THE HVAC INSTALLER.

PLAN AREAS

COVERED DECK = 211 sq.ft.

PROPOSED DECK FOR

BILL KLYN CARPENTRY
14 GOLDEN MEADOWS DR.

PROJECT NUMBER

C45-2108-01

Architectural • Energy • HVAC
Phone: (905) 595-9981 378 Hunter Street
E-mail: plan@djdesign.ca Woodstock, ON
Web site: www.djdesign.ca N4S 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN

QUALIFICATION INFORMATION

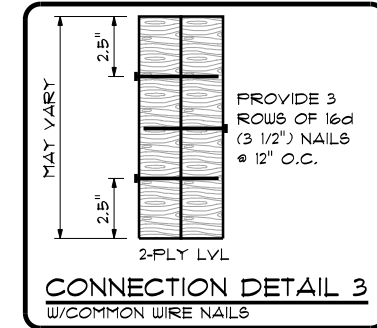
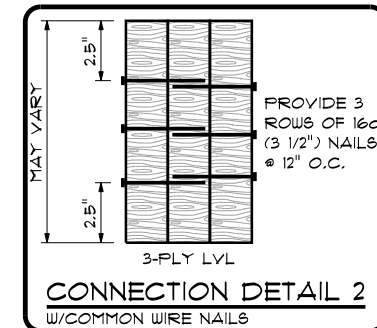
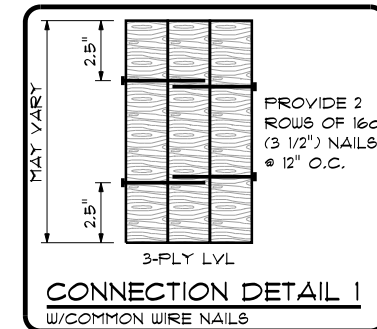
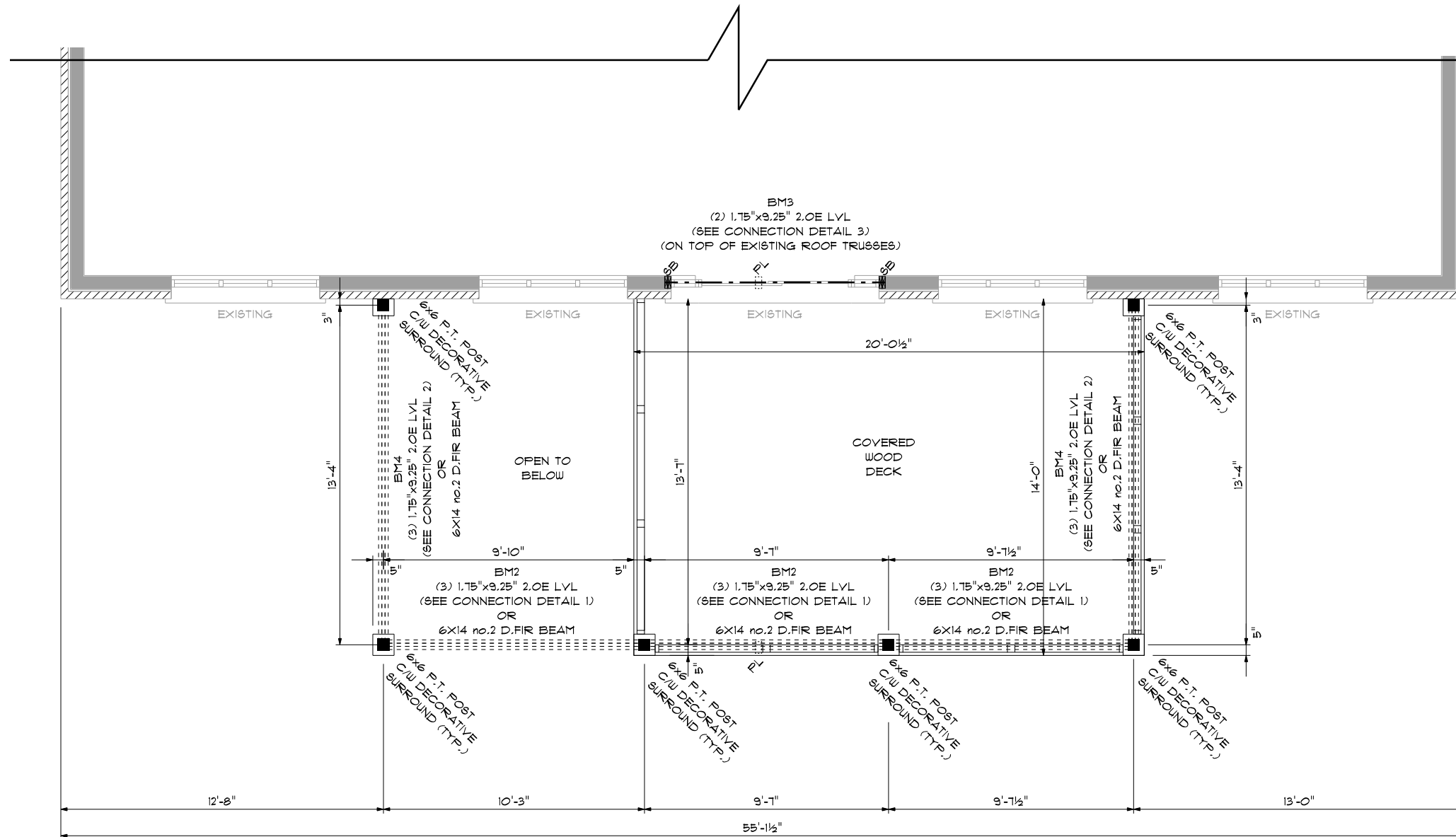
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 213.1.1. OF THE BUILDING CODE

DEREK JUKEMA 21759
NAME BCN
SIGNATURE

MAIN FLOOR PLAN

Scale:	3/16" = 1'-0"
Date:	2022-02-01
Drawn by:	AR
Designed by:	AR
Checked by:	ATW

A-5



GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED
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- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'-0" MIN. BELOW GRADE)
- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING:
- BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1' (30cm) LIFTS EVENLY AROUND STRUCTURE.
- COMPACT BACKFILL TO 98% STANDARD PROCTOR.
- ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
- PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE

GROUND SNOW LOAD: 1.3 KPA (27.2 psf)

SPECIFIED SNOW LOAD: 1.12 KPA (23.4 psf)

DEAD LOAD: 0.48 KPA (10 psf)

WIND LOAD (150): 0.48 KPA (10.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS

1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS

ALL WOOD No. 2 SPRUCE OR BETTER

ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS

4" BRICK/STONE O.B.C. 9.20.5.2.

- BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
- BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
- BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
- BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.	LEGEND
RISE: MAX. 1 1/8"	SOLID BEARING
RUN: MIN. 8 1/4"	SB FOR GIRDER
TREAD: MIN. 8 1/4"	POINT LOAD
NOSE: MAX. 1"	S.J. SINGLE JOIST
HEADROOM: MIN. 6'-8"	D.J. DOUBLE JOIST
UNIFORM RISER/RUN	T.J. TRIPLE JOIST
	D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) PLY 2X10 C/W 2X4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE
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REVISIONS

No.	DATE	DESCRIPTION

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PLAN AREAS

COVERED DECK = 271 sq.ft.

PROPOSED DECK FOR

BILL KLYN CARPENTRY
14 GOLDEN MEADOWS DR.
PROJECT NUMBER
C45-2108-01

djDESIGN
Architectural • Energy • HVAC

Phone: (519) 539-9561 378 Hunter Street
E-mail: plans@djdesign.ca Woodstock, ON
Website: www.djdesign.ca N48 4G2

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN.

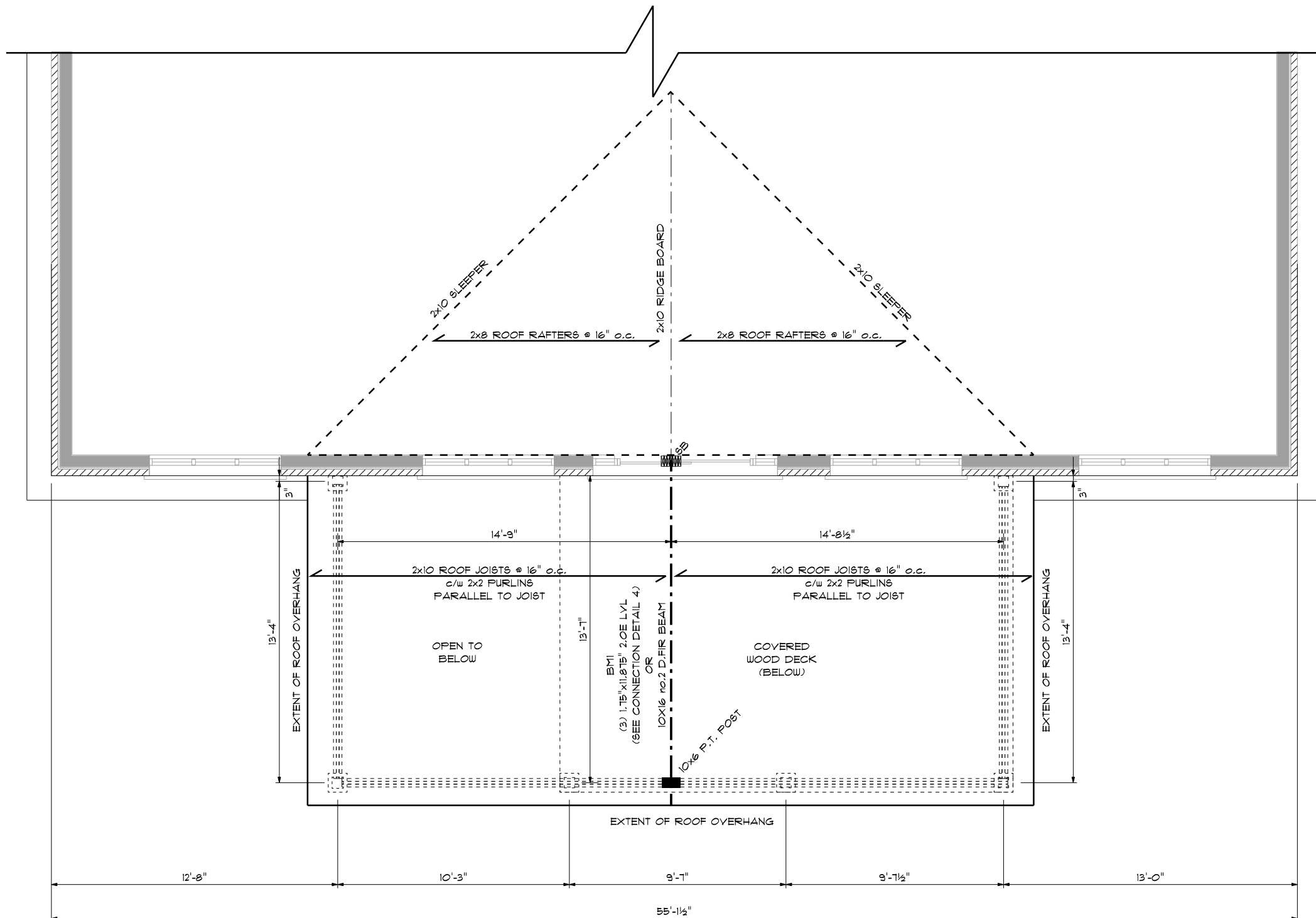
QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER 213.1.1. OF THE BUILDING CODE

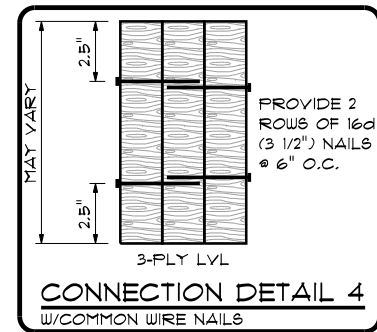
DEREK JUKEMA 21759
NAME BCIN

UPPER FLOOR PLAN

scale: 3/16" = 1'-0"	A-6
date: 2022-02-07	
drawn by: AR	
designed by: AR	
checked by: ATW	



ROOF PLAN
SCALE 3/16" = 1'-0"



GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE CONSTRUCTION BEGINS.
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- REFER TO PLANS, X-SECTIONS & DETAILS FOR ALL TYP. CONSTRUCTION DETAILS AND NOTES.
- 1 1/2" MIN. CONC. REBAR COVERAGE
- MIN. CONC. STRENGTH (28 DAYS) - 30 MPa (3000 psi)
- STEEL STRENGTH - 400 MPa (60 ksi)
- ASSUMED SOIL BEARING CAPACITY - 1570 psf
- CONSTRUCTION SEQUENCING:
BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND BACKFILL TO BE PLACED IN 1ft (30cm) LIFTS EVENLY AROUND STRUCTURE.
COMPACT BACKFILL TO 98% STANDARD PROCTOR.
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DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE
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SPECIFIED SNOW LOAD: 1.2 KPA (23.4 psf)
DEAD LOAD: 0.48 KPA (10 psf)
WIND LOAD (1/50): 0.48 KPA (9.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD No. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS
4" BRICK/STONE O.B.C. 9.20.5.2.

BL-1	4" V x 3 1/2" H x 1/4" T	8'-2"
BL-2	5" V x 3 1/2" H x 5/16" T	10'-1"
BL-3	6" V x 3 1/2" H x 1/4" T	11'-1"
BL-4	6" V x 3 1/2" H x 1/2" T	12'-4"

RISE:	MAX. 1 1/8"	SOLID BEARING
RUN:	MIN. 8 1/4"	SB FOR GIRDER
TREAD:	MIN. 9 1/4"	POINT LOAD
NOBING:	MAX. 1"	S.J. SINGLE JOIST
HEADROOM:	MIN. 6'-5"	D.J. DOUBLE JOIST
UNIFORM RISE/RUN:		T.J. TRIFLE JOIST
		D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

1. ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) FLY 2x10 C/W 2x4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY, UNLESS NOTED OTHERWISE
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REVISIONS

No.	DATE	DESCRIPTION

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PLAN AREAS

COVERED DECK = 271 sq.ft.

PROPOSED DECK FOR
BILL KLYN CARPENTRY
14 GOLDEN MEADOWS DR.

PROJECT NUMBER
C45-2108-01

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QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.1.1 OF THE BUILDING CODE

DEREK JUKEMA 21159
NAME BCN

ROOF PLAN

scale: 3/16" = 1'-0"	A-7
date: 2022-02-01	
drawn by: AR	
designed by: AR	
checked by: ATW	

Paul and Pauline Hogewoning
14 Golden Meadows Dr,
Port Dover ON
N0A 1N3



MAP A


ANPL2022168

CONTEXT MAP

Urban Area of PORT DOVER

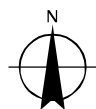


Legend

 Subject Lands

2020 Air Photo

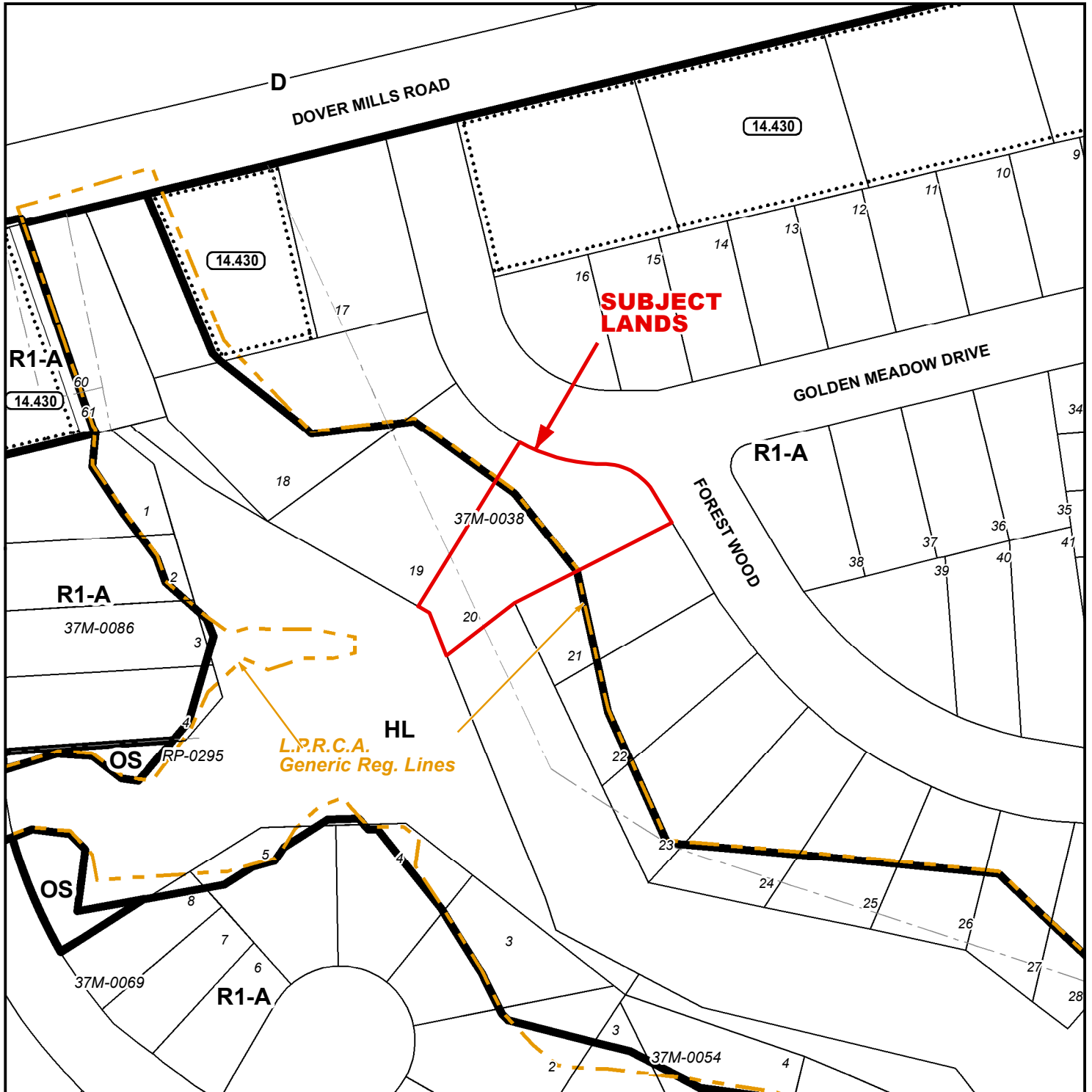
6/23/2022



20 10 0 20 40 60 80 Meters

MAP B
ZONING BY-LAW MAP
 Urban Area of PORT DOVER

ANPL2022168



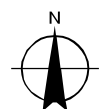
LEGEND

- Subject Lands
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

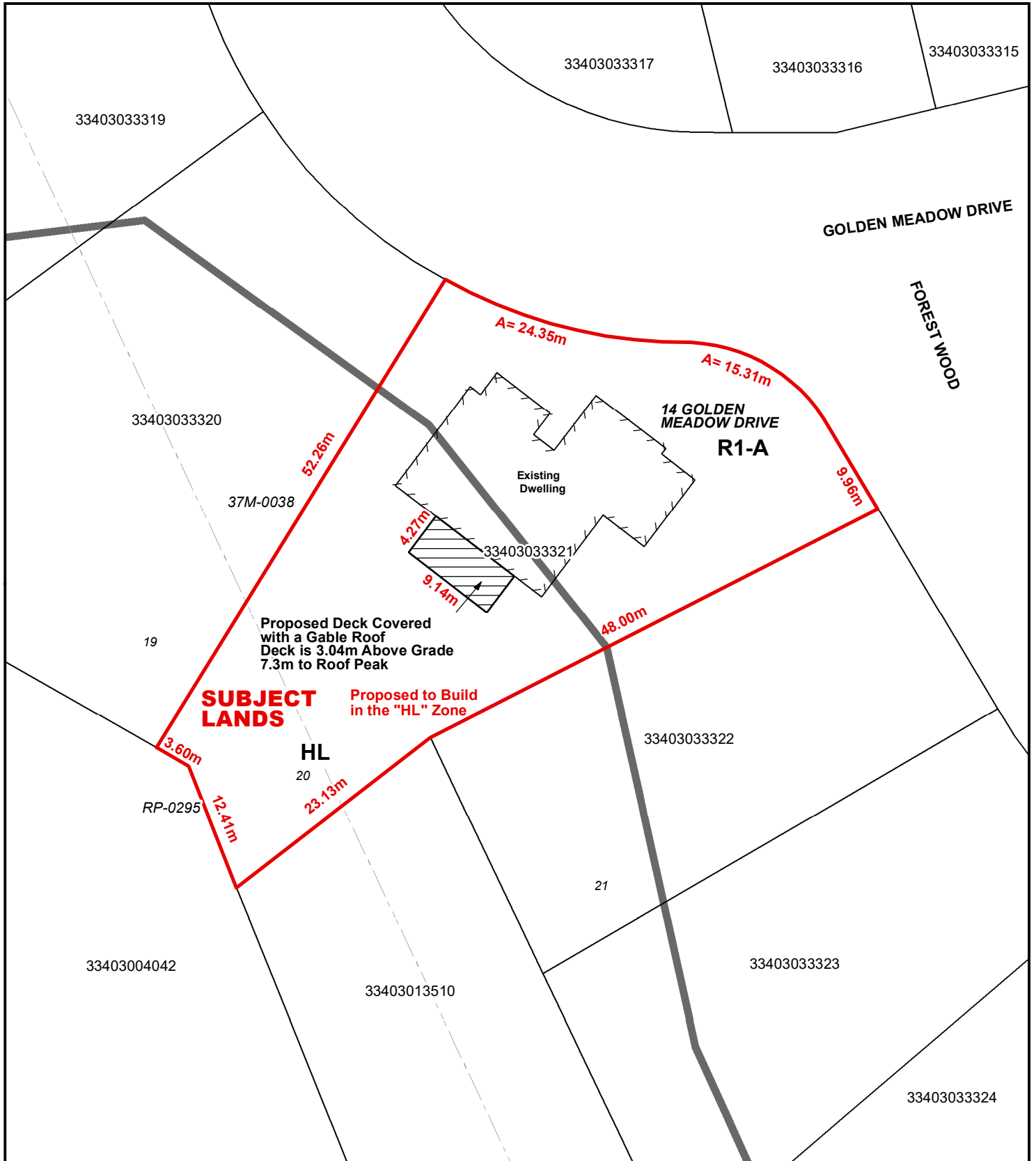
6/23/2022

- (H) - Holding
- D - Development Zone
- HL - Hazard Land Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone




10 5 0 10 20 30 40 Meters

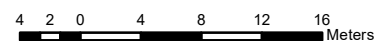
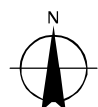
CONCEPTUAL PLAN
Urban Area of PORT DOVER



Legend

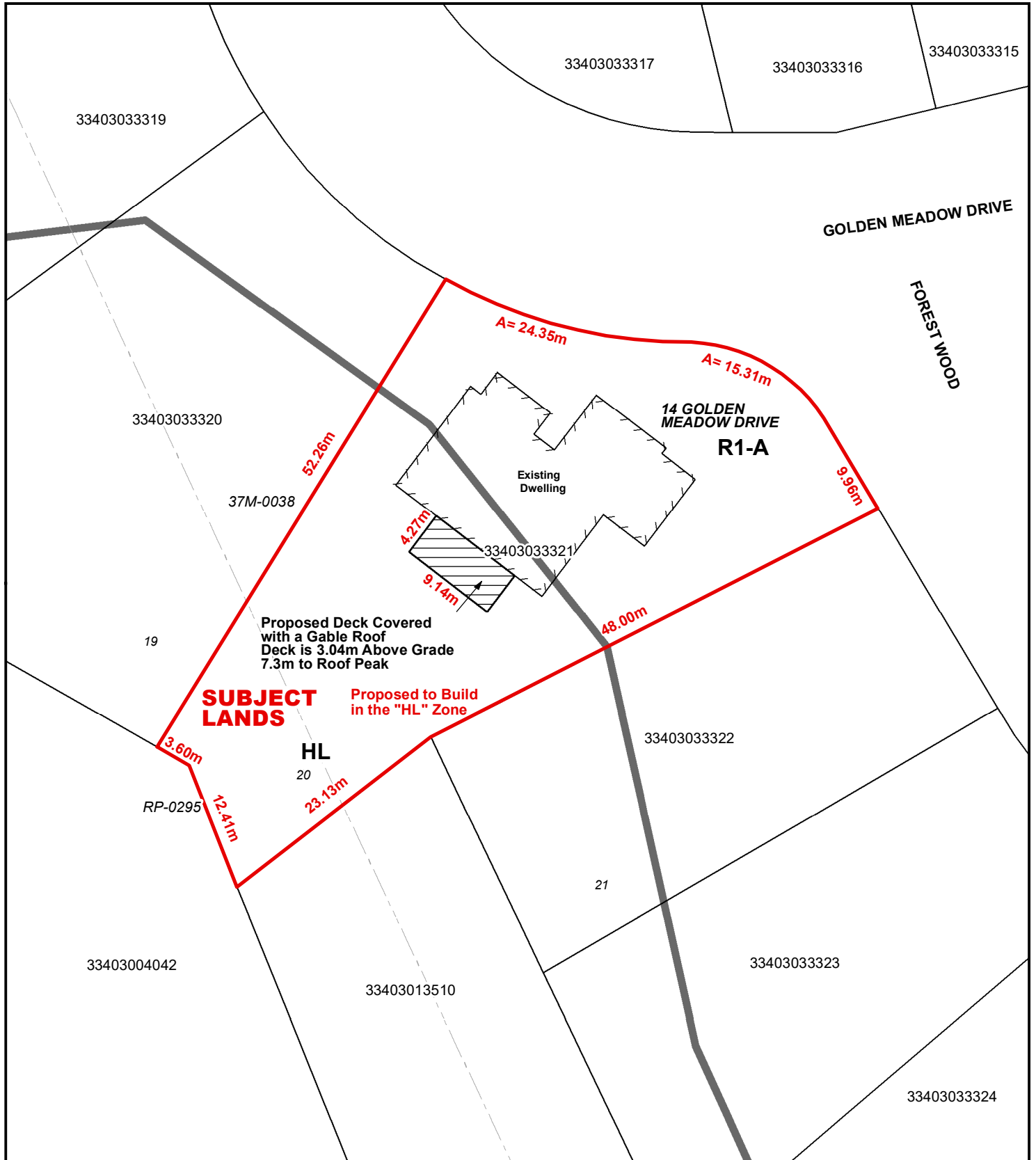
 Subject Lands

6/23/2022




CONCEPTUAL PLAN

Urban Area of PORT DOVER



Legend

 Subject Lands

6/23/2022

