

For Office Use Only:

File Number	ANPL2022168	Application Fee	\$1599.00 - paid
Related File Number	-	Conservation Authority Fee	\$514.15
Pre-consultation Meeting		Well & Septic Info Provided	N/A
Application Submitted	June 7, 2022	Planner	Hanne Yager
Complete Application	June 16, 2022	Public Notice Sign	-

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 33103340303321000014**A. Applicant Information****Name of Owner**Paul Hogenwaning

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 14 Golden Meadow Drive
Town and Postal Code Port Dover NOA 1N3
Phone Number 519-761-0523
Cell Number
Email haven @ execulink. com

Name of Applicant

Address 14 Golden Meadow Drive
Town and Postal Code Port Dover NOA 1N3
Phone Number 519-761-0523
Cell Number
Email haven @ execulink. com

Name of Agent Bill Klyn Carpentry Inc. (Mark)
Address 2 Palmer Street East
Town and Postal Code Norwich NOJ 1P0
Phone Number 519- 424- 2816
Cell Number 519- 532- 4494
Email mark@bkcarpentry.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

N/A

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Plan 37m38 Lot 20

Municipal Civic Address: 14 Golden Meadow Drive

Present Official Plan Designation(s): Urban Residential + HL

Present Zoning: R1 - A

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

Partial Hazard Land zoning

3. Present use of the subject lands:

Residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Residential Home

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

Deck is a roof. See eng. drawings

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

See eng. drawings 4.27m x 6.09m deck covered with a gable roof 4.27m x 9.14m. Deck 3.04m above grade. Gable peak -7.3m above grade

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

N/A

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. Failure to complete this section will result in an incomplete application.

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage	irreg. 160 162.8'			189 ¹ 162.8'	
Lot depth	172'			172'	
Lot width	irreg.			irreg.	
Lot area	19,393.23 ft ²			19,323.23 ft ²	
Lot coverage	18%			19.8%	
Front yard	19'			19'	
Rear yard	129'			115'	
Height	unchanged			unchanged	
Left Interior side yard	30.5'			30.5'	
Right Interior side yard	20.5'			20.5'	
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

Hazard Land zone runs through the middle of the property and existing house. Leaving any deck built stuck in the hazard zone

3. **Consent/Severance/Boundary Adjustment:** Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

4. **Easement/Right-of-Way:** Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____
Area: _____
Proposed Use: _____

5. Surplus Farm Dwelling Severances Only: List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____
Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Date of Land Purchase: _____

Note: If additional space is needed please attach a separate sheet.

D. All Applications: Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. All Applications: Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

Plan approved by the LPRCA

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

no changes to the flow of water on the property.

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. All Applications: Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



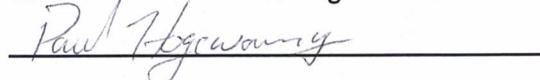
Date

J. Owner's Authorization

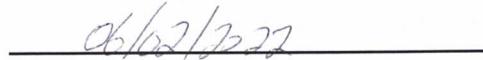
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Paul Hogen异 am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bill Klyn Carpentry to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

Owner

Date

***Note: If property is owned by an Ontario Ltd. Corporation, Articles of Incorporation are required to be attached to the application.**

K. Declaration

I, Mark Klyn of Tilsonburg
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In _____

This _____ day of _____

A.D., 20_____

A Commissioner, etc.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

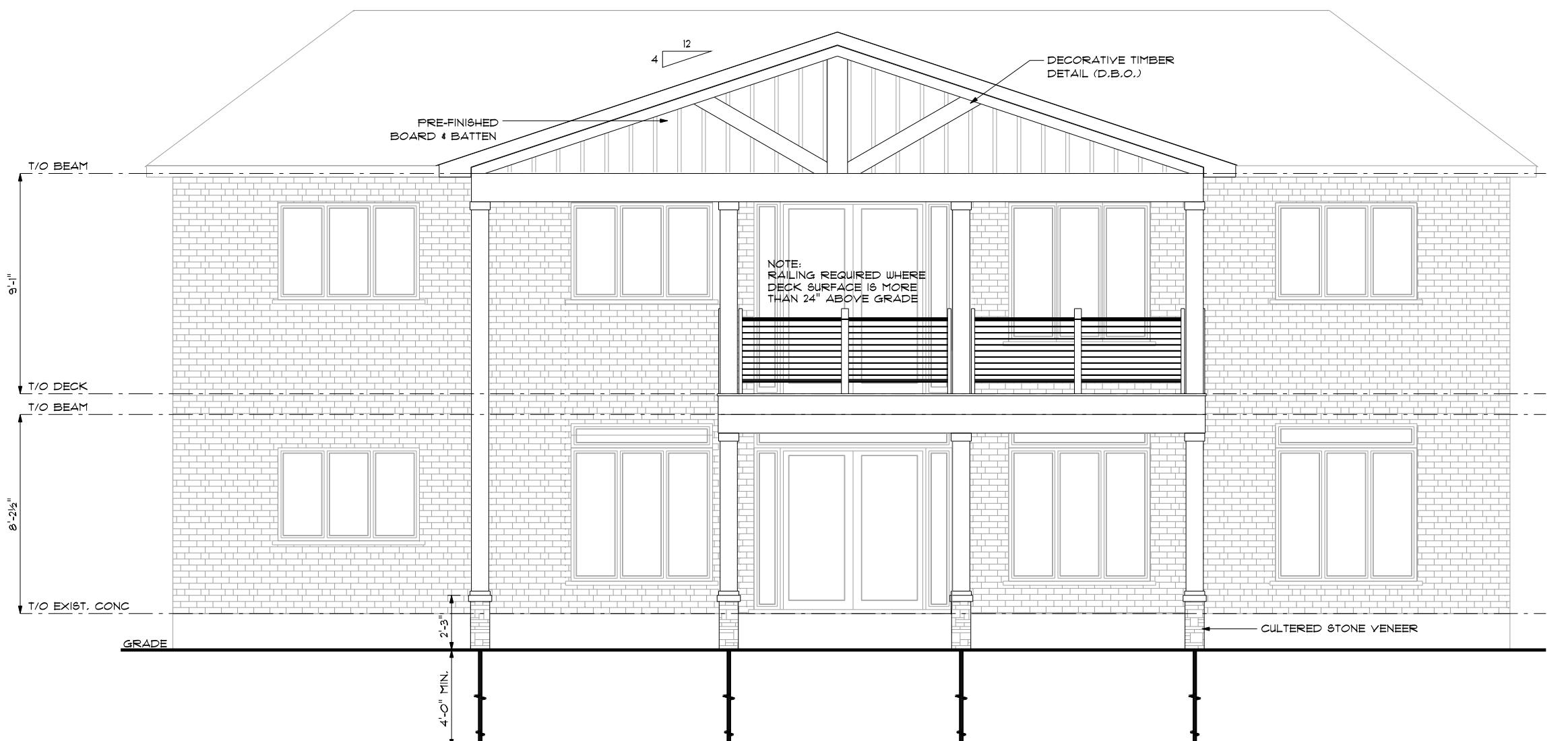
1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. ~~Parking space totals – required and proposed~~
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. ~~Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures~~
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.



REAR ELEVATION

SCALE 1/4" = 0"

GENERAL NOTES

TO CHECK 4: VERIFY ANY DISCREPENCIES
INSTRUCTION BEGINS.
1. TO BE READ AND NOT TO BE SCALED
2. INSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO
3. OF O.B.C. 4 LOCAL BY-LAWS.
4. 65' TO BEAR ON UNDISTURBED SOIL TO
5. 1ST LEVELS (4"0" MIN. BELOW GRADE)
6. LANS. X-SECTIONS & DETAILS FOR ALL TYP.
7. LANS. & DETAILS AND NOTES.
8. 100% COVERAGE
9. STRENGTH (2000 psi - 20 MPa) (3000 psi)
10. 1400 MPa (60 ksi)
11. BEARING CAPACITY - 1570 psf
12. ON SEQUENCING:
13. INTERIOR OF BUILDING W/COMPACTED SAND
14. TO BE PLACED IN 15 (30cm) LIFTS
15. CUND STRUCTURE
16. BACKFILL TO 95% STANDARD PROCTOR.
17. 4 GIRDLERS DESIGNED BY TRUSS MANUF.
18. TEMPORARY BRACING FOR ALL COLUMNS UNTIL
19. CINN. INSTALLATION COMPLETE.

DESIGN NOTES

DATA LOCATION: SIMCOE

W LOAD: 1.3 KPA (17.2 psf)
 SW LOAD: 1.12 KPA (23.4 psf)
 S0: 0.48 KPA (10 psf)
 0.45 KPA (9.4 psf)

EXPANSION JOINT FOR FOURED CONC. SLABS
 SPACES > 20' O.C. E.W. IN Poured CONC. SLABS
 2 SPRUCE OR BETTER
 LYZANIZED STEEL

THICK LINTEL SPANS

1/2" H x 1/4" T 8'-2"
3 1/2" H x 5/16" T 10'-1"

3 1/2" H x 3 1/2" T
3 1/2" H x 7 1/16" T 11'-1"
3 1/2" H x 1/2" T 12'-4"

LEGEND

IN. 8 1/4"	SB	SB FOR GIRDER
IN. 9 1/4"	PL	POINT LOAD
TAX. 1"	S.J.	SINGLE JOIST
IN. 6'-5"	D.J.	DOUBLE JOIST
RUN	T.J.	TRIPLE JOIST
	D.C.J.	DOUBLE CEILING JOIST

STRUCTURAL NOTES

IOR 4 INTERIOR BEARING LINTELS TO BE MIN.
O C/W 2X4 DRYWALL NAILER & FLYWOOD FILLERS
ACH FLY, UNLESS NOTED OTHERWISE
ING & DRILLING OF FRAMING MEMBERS TO
O NATIONAL & LOCAL BUILDING CODES
APPROPRIATE SOLID BLOCKING WITHIN FLOOR
L LOAD AREAS

REVISIONS

DESIGNER DISCI AIMER

ANS WERE PRODUCED WITH INFORMATION
D ON OR BEFORE THE PRINTED DATE.
RRORS OR OMISSIONS ARE FOUND ON THE
S, THE DESIGNER IS TO BE INFORMED
EY TO HELP RESOLVE ANY ISSUES PRIOR
ORK PROCEEDING.

STRUCTURAL REQUIREMENTS TO BE AND MET ON SITE WITH THE HYA

CAR AREAS

OBSCURED DECK FOR

**BILLED KLYN CARPENTRY
14 GOLDEN MEADOWS DR.**

4 GOLDEN MEADOWS DR.
PROJECT NUMBER

PROJECT ZURB

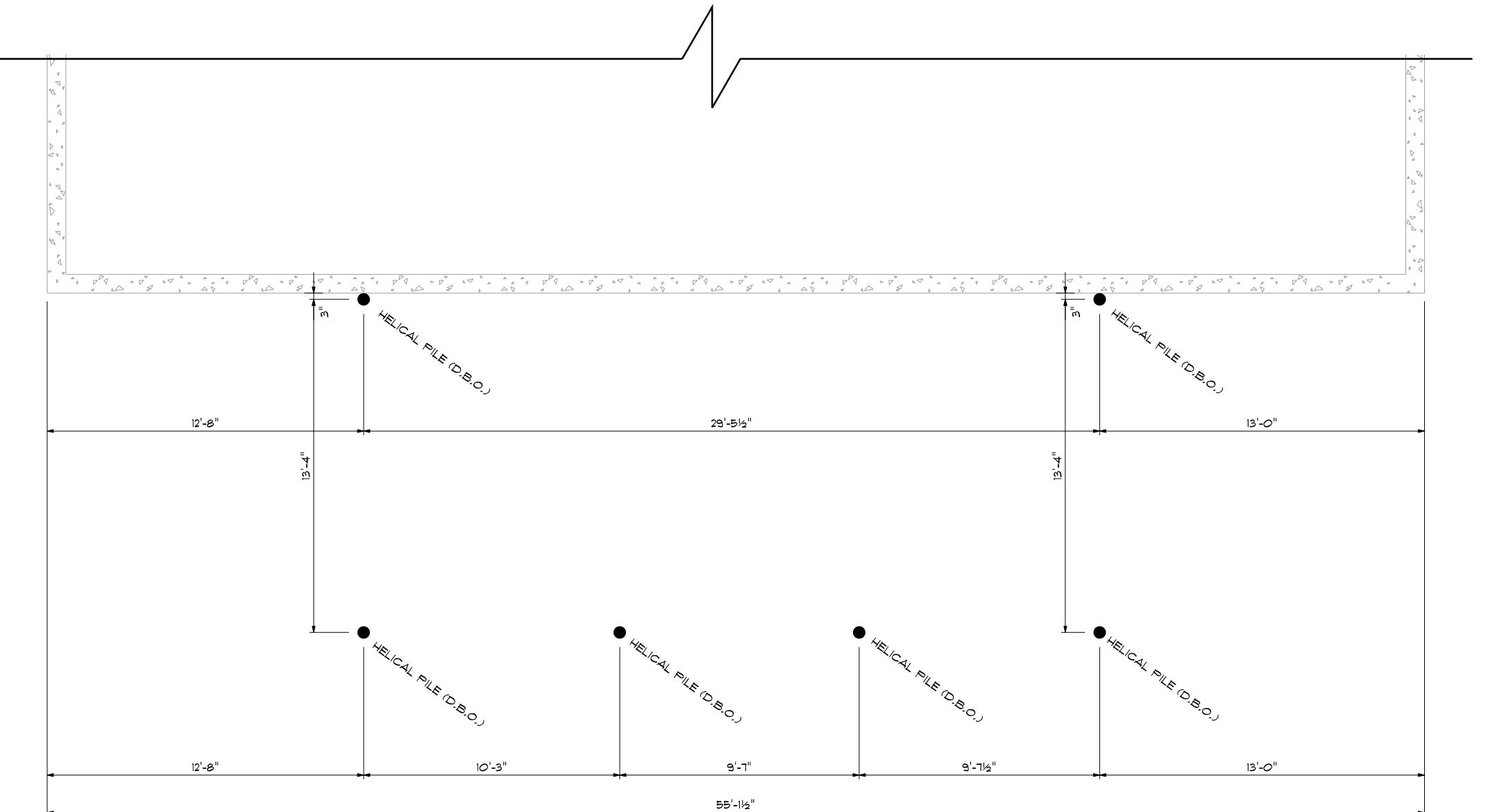
Woodstock,
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SIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER
2.1.5.1. OF THE BUILDING CODE
 JUKEMA 21759
BCIN



SIGNATURE

REAR ELEVATION



FOUNDATION PLAN

SCALE 3/16" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO CHECK & VERIFY ANY DISCREPANCIES BEFORE COMMENCING WORK.
- DRAWINGS ARE TO BE READ AND NOT TO BE SCALED.
- ALL CONSTRUCTION MATERIALS & EQUIP. TO ADHERE TO LATEST EDITION OF O.B.C. & LOCAL BY-LAWS.
- ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL TO LOCAL FROST LEVELS (4'0" MIN. BELOW GRADE).
- REFER TO PLAN AND X-SECTION & DETAILS FOR ALL TYP. CONSTRUCTION PER THIS DRAWING AND NOTES.
- 1/2" MIN. CONC. REBAR COVERAGE.
- MIN. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi).
- STEEL STRENGTH - 400 MPa (60 ksi).
- ASSUMED SOIL BEARING CAPACITY - 1500 psf.
- CONSTRUCTION SEQUENCING:

 - BACKFILL INTERIOR OF BUILDING W/COMPACTED SAND & GRAVEL TO PLANE LEVEL IN 30CM LISTS.
 - EVENLY AROUND STRUCTURE.
 - COMPACT BACKFILL TO 95% STANDARD PROCTOR.
 - ROOF TRUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
 - PROVIDE TEMPORARY BRACING FOR ALL COLUMNS UNTIL FINAL BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DESIGN DATA LOCATION: SIMCOE

GROUND SNOW LOAD: 13 kPa (21.2 psf)
SPECIFIED SNOW LOAD: 11.2 kPa (18.4 psf)
DEAD LOAD: 0.48 kPa (0.4 psf)
WIND LOAD (1/0): 0.45 kPa (9.4 psf)

1/2" PERIMETER EXPANSION JOINT FOR POURED CONC. SLABS
1/4" CONTROL JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
ALL WOOD NO. 2 SPRUCE OR BETTER
ALL BOLTS GALVANIZED STEEL

MAX. BRICK LINTEL SPANS

4" BRICK/STONE O.B.C. 9.20.5.2

BL-1 4" V x 3 1/2" H x 1/4" T 8'-2"
BL-2 5" V x 3 1/2" H x 5/16" T 10'-1"
BL-3 6" V x 3 1/2" H x 7/16" T 11'-1"
BL-4 6" V x 3 1/2" H x 1/2" T 12'-4"

STAIR INFO.

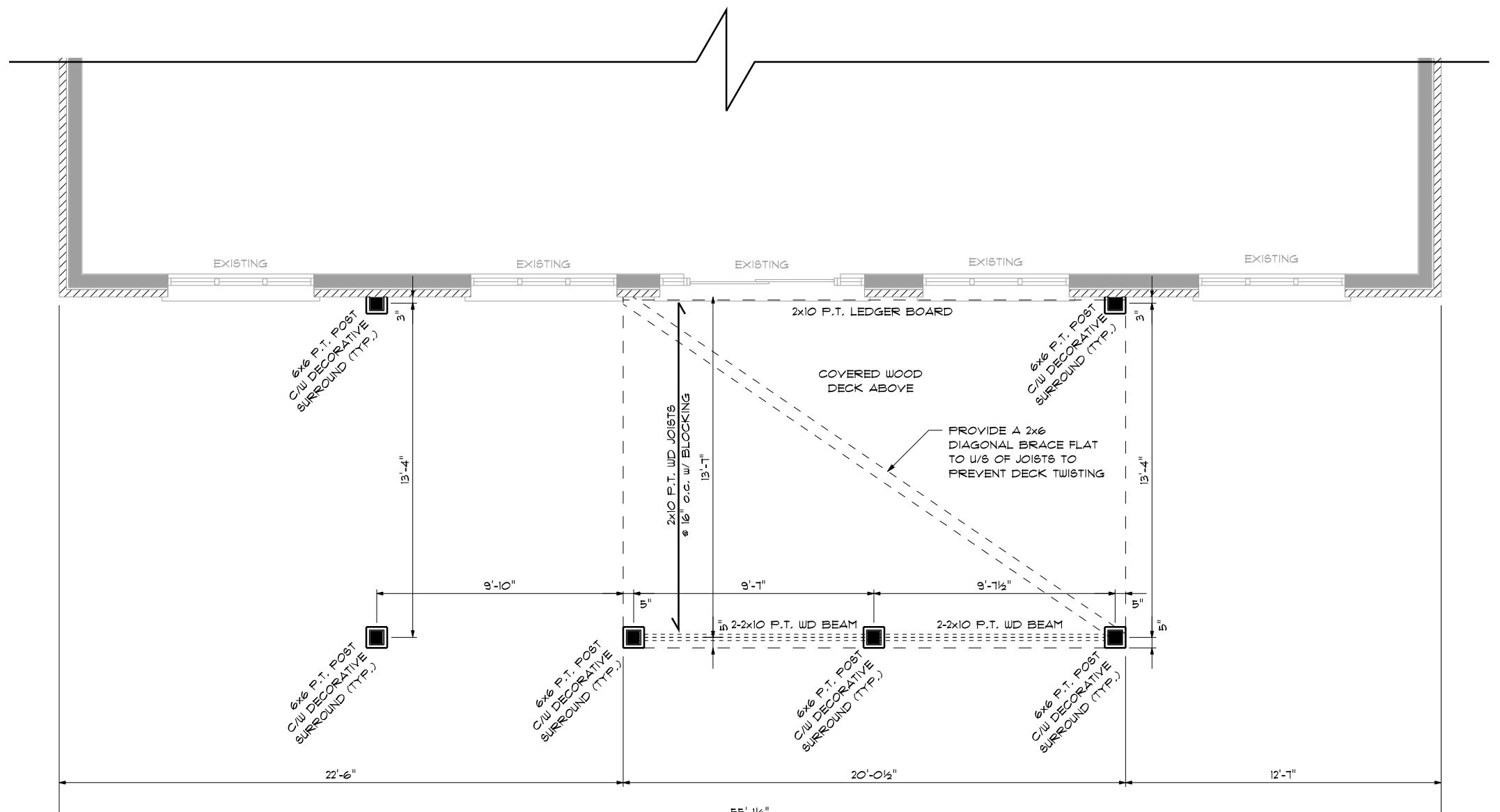
RISE	MAX. 1 1/8"	SOLID BEARING
RUN	MIN. 8 1/4"	SB FOR GIRDER
TREAD	MIN. 9 1/4"	FOR LOAD
NO. OF Treads	MAX. 1"	SINGLE JOIST
HALLROOM	6'5"	DOUBLE JOIST
UNIFORM RISE/RUN		T.J. TRIPLE JOIST
		D.C.J. DOUBLE CEILING JOIST

STRUCTURAL NOTES

- ALL EXTERIOR & INTERIOR BEARING LINTELS TO BE MIN. (2) 16" X 10" C/W 2X4 DRYWALL NAILER & PLYWOOD FILLERS BETWEEN EACH FLY. UNLESS NOTED OTHERWISE.
- ALL NOTCHING & DRILLING OF FRAMING MEMBERS TO CONFORM TO NATIONAL & LOCAL BUILDING CODES.
- PROVIDE APPROPRIATE SOLID BLOCKING WITHIN FLOOR SYSTEM FOR LOADS ABOVE.

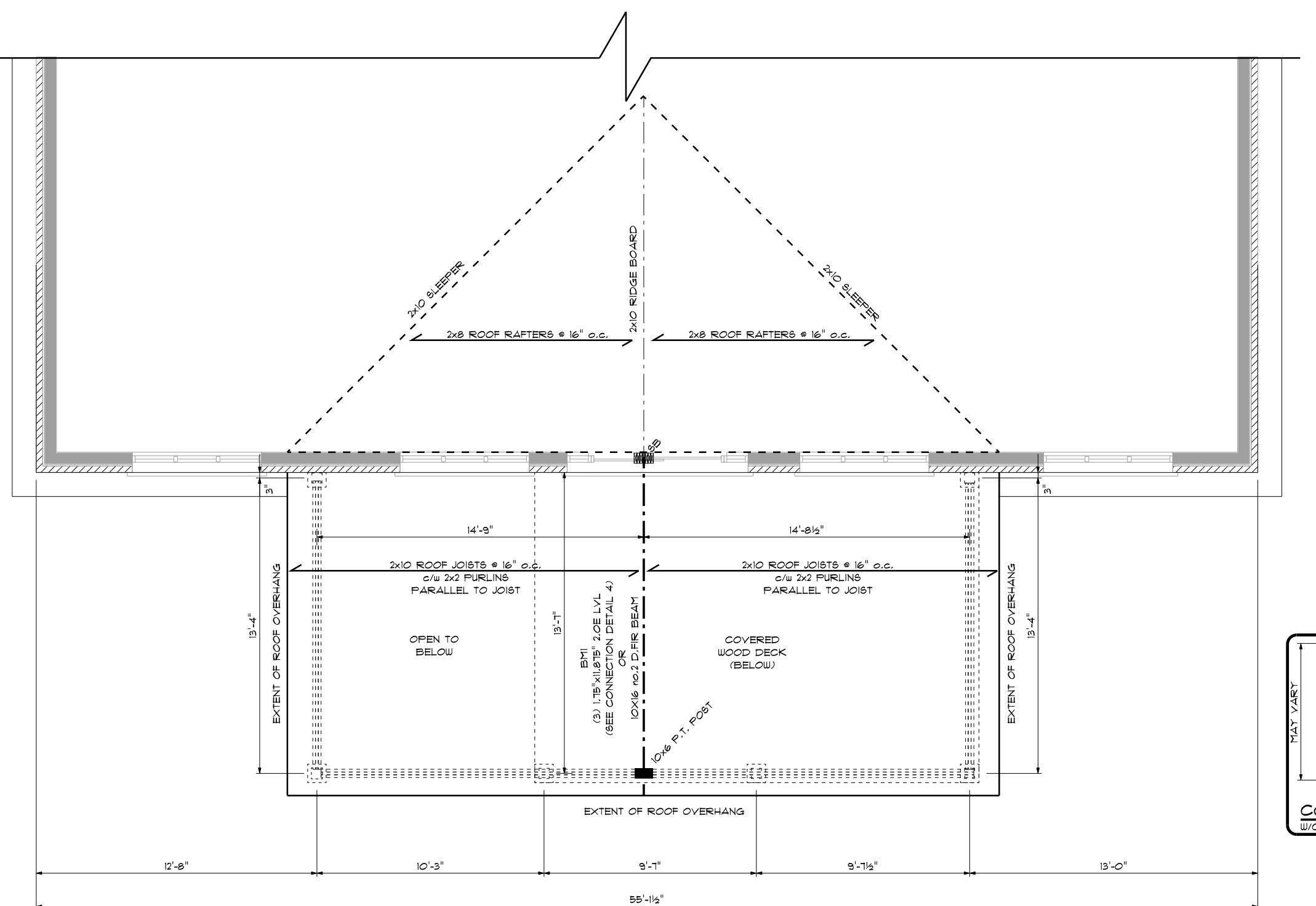
REVISIONS

NO.	DATE	DESCRIPTION
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MAIN FLOOR PLAN

SCALE 3/16" = 1'-0"



ROOF PLAN

SCAL E 3/16"-1" O"

GENERAL NOTES

CTOR TO CHECK & VERIFY ANY DISCREPENCIES
E CONSTRUCTION BEGINS.
6.3. ARE TO BE READ AND NOT TO BE SCALED
INSTRUCTION, MATERIALS & EQUIP. TO ADHERE TO
EDITION OF C.O.C. & LOCAL BY-LAWS.
7. TINGS TO BE ON UNDISTURBED SOIL TO
FROST LEVELS (4'-0" MIN. BELOW GRADE)
8. PLANS, X-SECTIONS & DETAILS FOR ALL TYP.
ECTION DETAILS AND NOTES.
9. CONG. REBAR COVERAGE
10. CONC. STRENGTH (28 DAYS) - 20 MPa (3000 psi)
11. CONC. WEIGHT (100 cu. yds.) - 16 ksf
12. SOIL BEARING CAPACITY - 15 to 18 psf
13. SOIL SEQUENCING
14. INTERIOR OF BUILDING (UNCOMPACTED SAND
15. TO BE PLACED IN 18" (30cm) LIFTS
16. AROUND STRUCTURE,
17. ACT BACKFILL TO 95% STANDARD PROCTOR.
18. RUSSES & GIRDERS DESIGNED BY TRUSS MANUF.
19. TEMPORARY BRACING FOR ALL COLUMNS UNTIL
20. BRACING INSTALLATION COMPLETE.

DESIGN NOTES

DATA LOCATION: SIMCOE
 SNOW LOAD: 1.3 KPA (21.2 psf)
 D SNOW LOAD: 1.12 KPA (23.4 psf)
 AD: 0.48 KPA (10 psf)
 AD (1/50): 0.48 KPA (9.4 psf)
EXTERIOR EXPANSION JOINT FOR FOURED CONC. SLABS
 JOINTS @ 20' O.C. E.W. IN POURED CONC. SLABS
 No. 2 SPRUCE OR BETTER
GALVANIZED STEEL

BRICK LINTEL SPANS

CK/STONE O.B.C. 9.20.5.2.

✓ x 3 1/2" H x 1/4" T 8'-2"
✓ x 3 1/2" H x 5/16" T 10'-1"
✓ x 3 1/2" H x 7/16" T 11'-1"
✓ x 3 1/2" H x 1/2" T 12'-4"

INFO. LEGEND

MAX. 7 1/8"	88	SOLID BEARING
MIN. 8 1/4"	89	88 FOR GIRDER
MIN. 9 1/4"	90	POINT LOAD
MAX. 1"	S.J.	SINGLE JOIST
M. MIN. 6'-5"	D.J.	DOUBLE JOIST
RISE/RUN	T.J.	TRIPLE JOIST
	D.C.J.	DOUBLE CEILING JOIST

STRUCTURAL NOTES

INTERIOR & EXTERIOR BEARING LINTELS TO BE MIN.
2X10 C/C 2X4 DRYWALL NAILER + 4PLY WOOD FILLERS
IN EACH PLY, UNLESS NOTED OTHERWISE
NOTCHING & DRILLING OF FRAMING MEMBERS TO
ARM TO NATIONAL & LOCAL BUILDING CODES
DE APPROPRIATE SOLID BLOCKING WITHIN FLOOR
FOR LOADS ABOVE

REVISIONS

DESIGNER DISCLAIMER

THE PLANS WERE PRODUCED WITH INFORMATION PROVIDED ON OR BEFORE THE PRINTED DATE. ANY ERRORS OR OMISSIONS ARE FOUND ON THE DRAWINGS, THE DESIGNER IS TO BE INFORMED IMMEDIATELY TO HELP RESOLVE ANY ISSUES PRIOR TO THE WORK PROCEEDING. STRUCTURAL REQUIREMENTS TO BE

PLANT AREAS

PLAN AREAS
RED DECK = 271 sq.ft.

PROPOSED RECK EQ

BILL KLYN CARPENTRY
14 GOLDEN MEADOWS DR.
PROJECT NUMBER
C15-2108-01

DESIGNED HAS REVIEWED AND TAKES RESPONSIBILITY
AND HAS THE QUALIFICATIONS AND MEETS THE REQUIRE-
MENT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK

21159, OF THE BUILDING CODE
REK JUKEMA
21159
BGIN
SIGNATURE

ROOF PLAN

Paul and Pauline Hogewoning

14 Golden Meadow Dr.

NOA 1N3



CONTEXT MAP

Urban Area of PORT DOVER

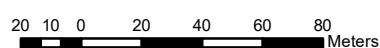


Legend

 Subject Lands

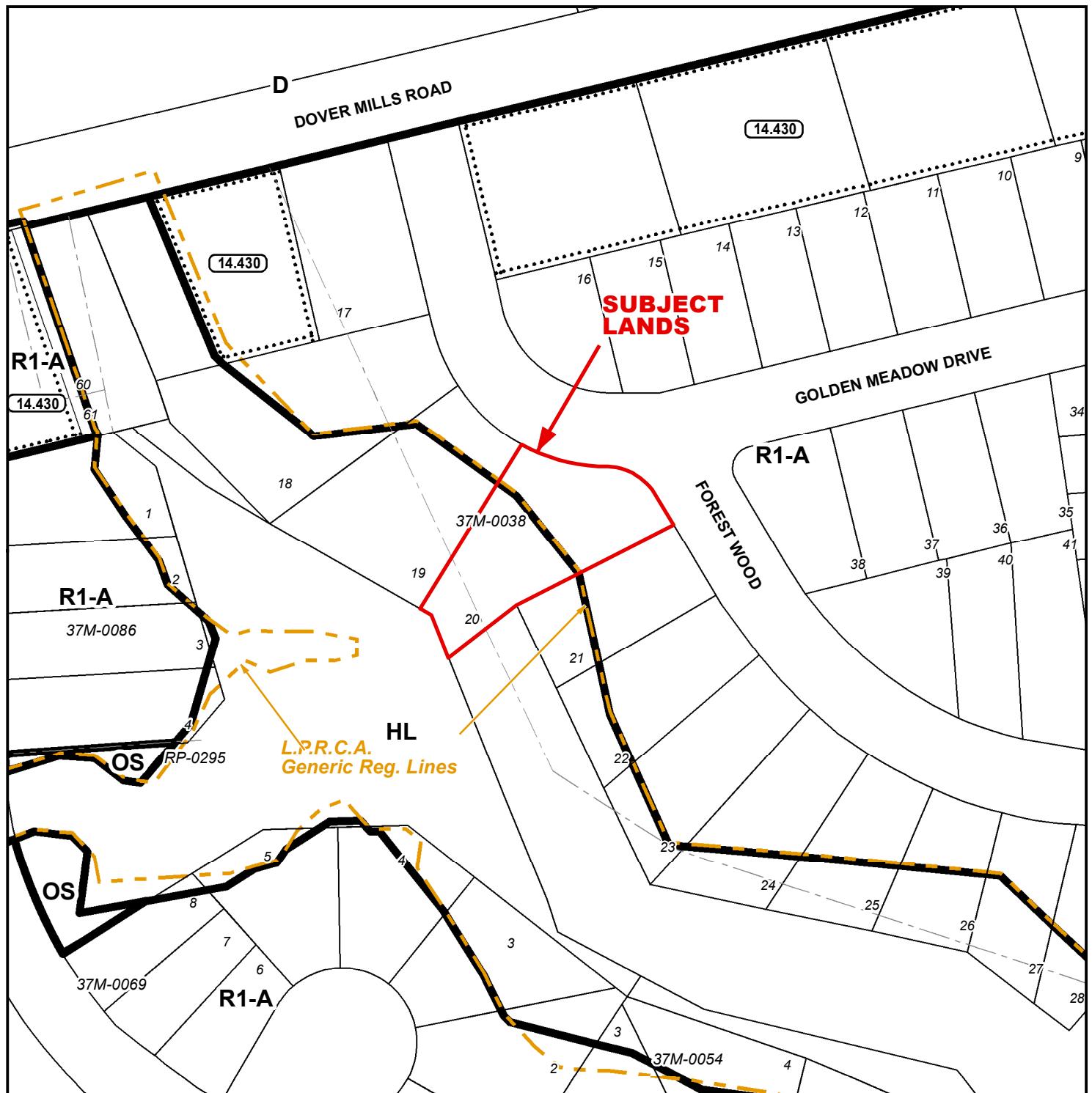
2020 Air Photo

6/23/2022

A scale bar with markings at 20, 10, 0, 20, 40, 60, and 80 meters.

ZONING BY-LAW MAP

Urban Area of PORT DOVER



LEGEND

ZONING BY-LAW 1-Z-2014

6/23/2022

- Subject Lands
- LPRCA Generic RegLines

(H) - Holding

D - Development Zone

HL - Hazard Land Zone

OS - Open Space Zone

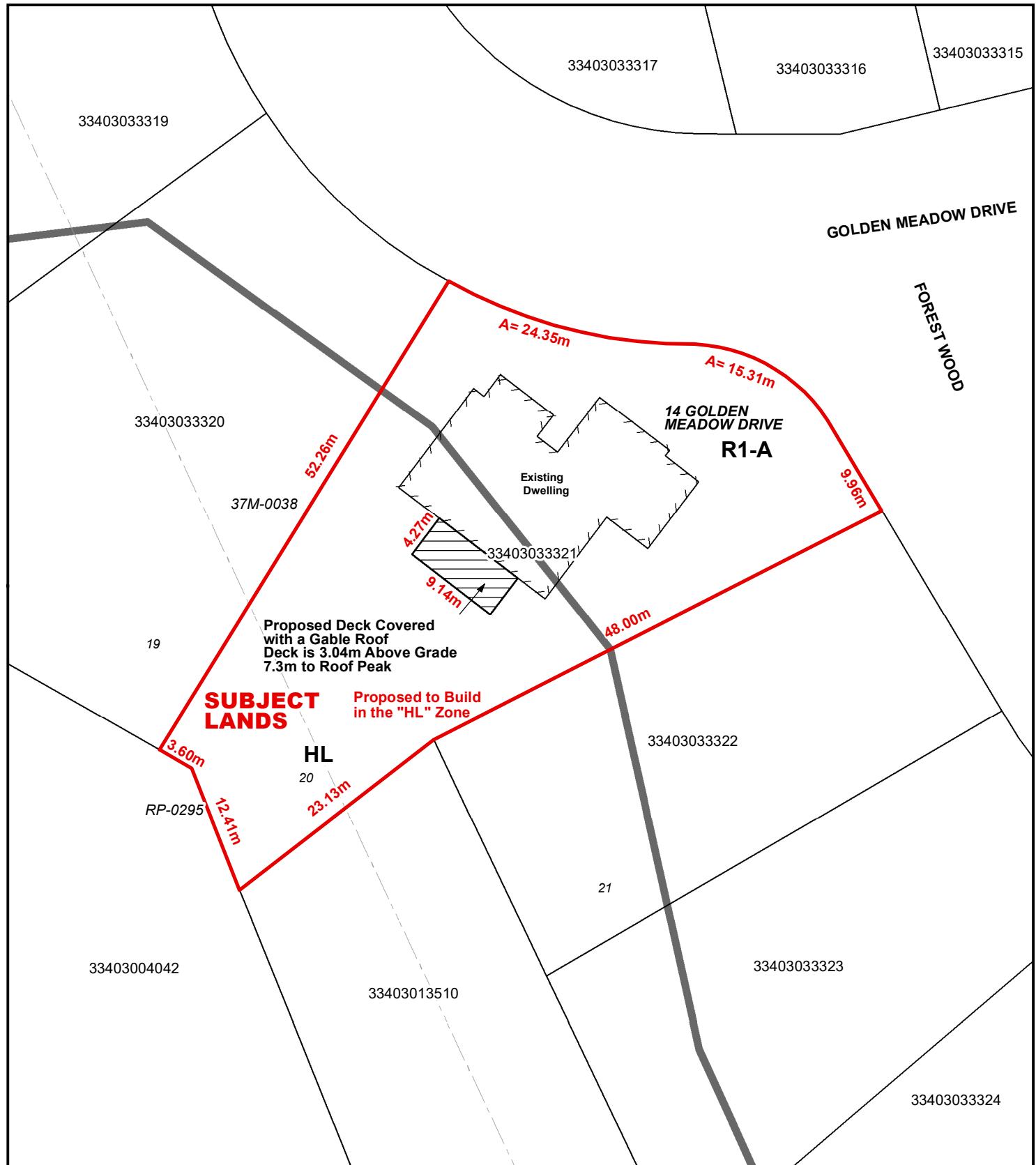
R1-A - Residential R1-A Zone



10 5 0 10 20 30 40 Meters

CONCEPTUAL PLAN

Urban Area of PORT DOVER



Legend

Subject Lands



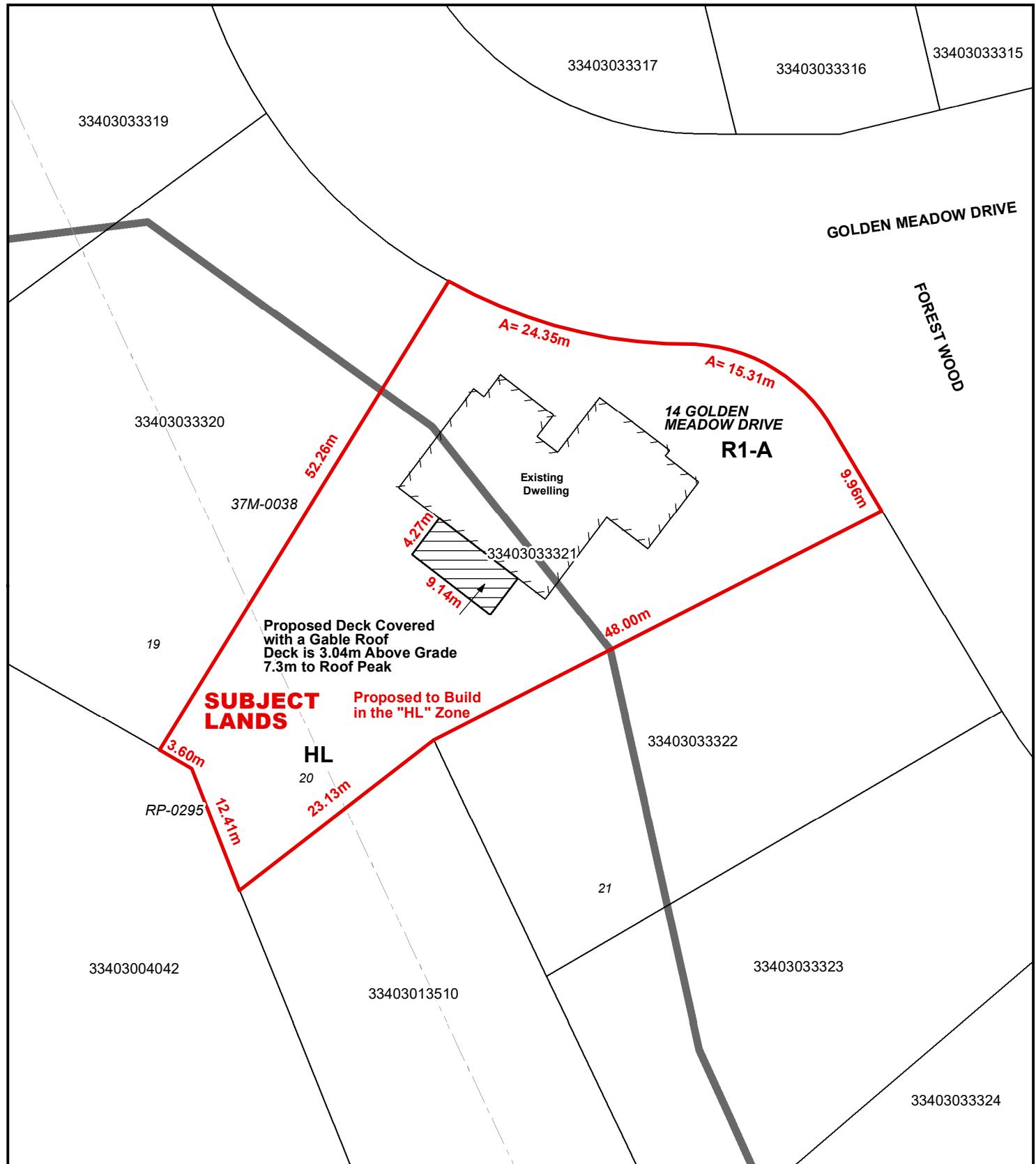
4 2 0 4 8 12 16 Meters

LOCATION OF LANDS AFFECTED

ANPL2022168

CONCEPTUAL PLAN

Urban Area of PORT DOVER



Legend

Subject Lands

6/23/2022



4 2 0 4 8 12 16 Meters