

For Office Use Only:	ANPL2022112	Application Fee	1560 ⁴ pd
File Number	N/A	Conservation Authority Fee	502 ⁹ v pd
Related File Number		Well & Septic Info Provided	N/A
Pre-consultation Meeting	-	Planner	Hanne Yager
Application Submitted	May 5, 2021	Complete Application Resubmitted: April 4, 2022	Public Notice Sign
		Deemed complete:	May 2, 2022

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 543070265000000

A. Applicant Information

Name of Owner	Paul Thomas White
It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.	
Address	522 Plane Tree Dr
Town and Postal Code	London, N6G 5L6
Phone Number	
Cell Number	519-852-2540
Email	paulwhite@stonetownsupply.ca

Name of Applicant	Mike Ross / William J Ross Construction
Address	877 Ireland Road
Town and Postal Code	Simcoe, N3Y 4K2
Phone Number	519-426-6985
Cell Number	519-429-0617
Email	mike@rossconstruction.ca

Name of Agent	Mike Ross / William J. Ross Construction
Address	877 Ireland Road
Town and Postal Code	Siimcoe, N3Y 4K2
Phone Number	519-426-6985
Cell Number	519-429-0617
Email	mike@rossconstruction.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

SWAL Plan 436 Lot 542

Municipal Civic Address: 11 Rogers Ave, Long Point

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Seasonal Dwelling

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Cottage and Boat House (see Attached)

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

Proposed to demolish existing Cottage and rebuild new modern safe seasonal dwelling (see attached)

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
a long time

9. Existing use of abutting properties:
Seasonal dwelling

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply. **Failure to complete this section will result in an incomplete application.**

1. Site Information (Please refer to Zoning By-law to confirm permitted dimensions)

	Existing	Permitted	Provision	Proposed	Deficiency
Lot frontage					
Lot depth					
Lot width					
Lot area					
Lot coverage					
Front yard					
Rear yard					
Height					
Left Interior side yard					
Right Interior side yard					
Exterior side yard (corner lot)					
Parking Spaces (number)					
Aisle width					
Stall size					
Loading Spaces					
Other					

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown
3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance 10 m

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance 100 meters (marsh)

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water Communal wells
 Individual wells Other (describe below)

Sewage Treatment

Municipal sewers Communal system
 Septic tank and tile bed in good working order Other (describe below)

Storm Drainage

Storm sewers Open ditches
 Other (describe below)

2. Existing or proposed access to subject lands

Municipal road
 Unopened road

Name of road/street:

Provincial highway
 Other (describe below)

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition
- Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

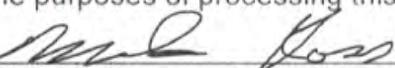
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

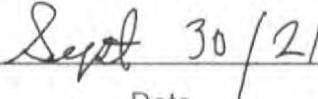
Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



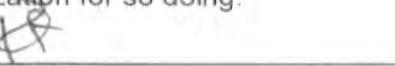
Date

J. Owner's Authorization

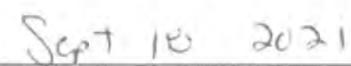
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Paul Thomas White am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Mike Ross to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

Owner

Date

K. Declaration

I, Mike Ross of Simcoe, Ont

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Norfolk County

mk Ross

Owner/Applicant/Agent Signature

In Simcoe, Ont

This 30th day of September 2021

A.D., 20

Sherry Mott

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.

A Commissioner, etc.

WATER WAY

Site plan showing property boundaries and proposed configurations. Key features include:

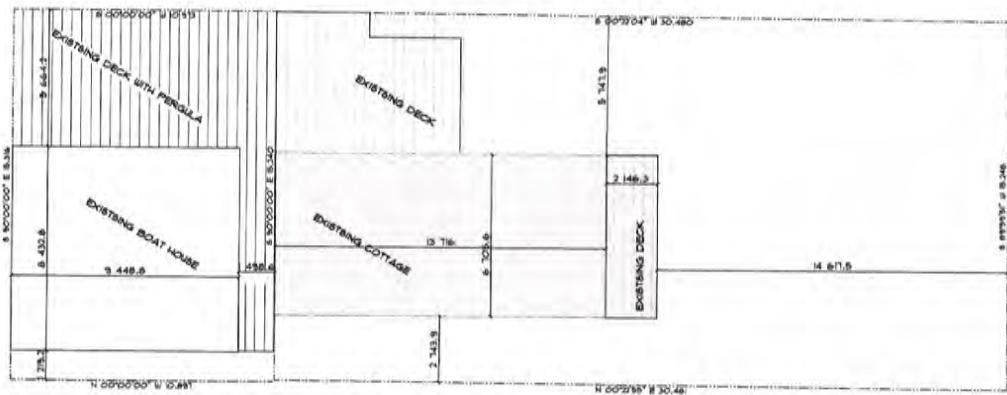
- Existing Deck with Pergola:** Located on the left, with dimensions 9' 448.8" by 8' 432.8".
- Existing Boat House:** Located below the deck, with dimensions 9' 448.8" by 4' 386.2".
- Proposed New Configuration:** A rectangular area with dimensions 14' 412.8" by 4' 872.0".
- Proposed Septic Area:** Indicated by a cloud-like boundary on the right side.
- Property Lines and Coordinates:**
 - Top boundary: N 00°00'00" W 10.315'
 - Left boundary: S 00°00'00" E 15.116'
 - Right boundary: S 00°22'04" W 30.480'
 - Bottom boundary: N 00°00'00" W 10.387'
 - Other coordinates: S 00°00'00" E 15.240' (Upper Deck), S 00°00'00" E 15.246' (Right boundary), S 00°22'51" W 30.246' (Bottom boundary).

Main Site Metric

SCALE: 1:150

PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
	
SECTION LETTER	A
PAGE	8
APPROVED: By owner	
SCALE: 0.0866 - 1:10"	
PRINT DATE: October 5, 2024	Proposed site Plan Metric
BCIN: • 2839	
	
MIKE ROSS 877 Ireland Ross Simcoe Ontario N3V 4K2	
PHONE: 519-426-5895 FAX: 866-821-6135 mike@rossconstruction.ca	

Water Way



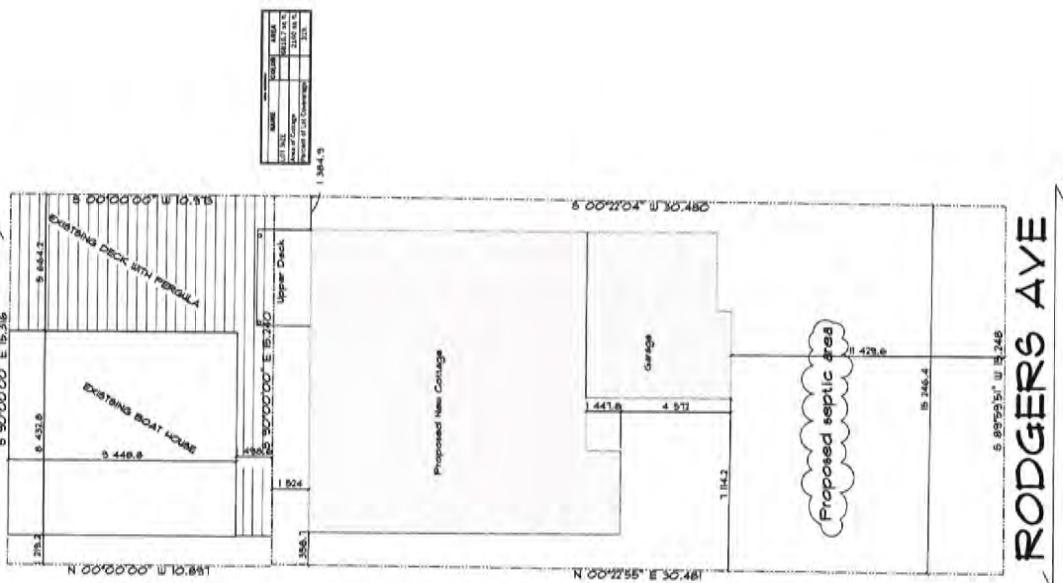
Existing Site metric

SCALE: 1:150

RODGERS AVE.

PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
BCIN# • 21639	
BCIN • 21639	
ROSS	
GENERAL CONTRACTORS LTD.	
MIKE ROSS	
877 Ireland Ross	
Simcoe	
Ontario N3V 4K2	
PHONE: 866-821-6735	
FAX: 866-826-8985	
mike@rossconstruction.ca	
SECTION LETTER	PAGE
A	11
PAGE	9
APPROVED: By owner	
SCALE: 0.0800" = 1'-0"	
PRINT DATE: October 5, 2022 Existing Site plan Metric	

WATER WAY



Main Site Metric

SCALE: 1:150

PROPOSED PROJECT For:		
Paul White & Jeannie Webber		
 ROSS E.C.N. • 71633 ROSS CONSTRUCTION LTD.		APPROVED: <i>by owner</i> SCALE: 0.0800" = 1'-0" PRINT DATE: October 5, 2023 PROPOSED SITE PLAN Metric
MIKE ROSS PHONE: 519-426-8885 FAX: 866-821-6135 mike@rossconstruction.ca		
 A 11 PAGE NUMBERS		

MIKE ROSS

CONTRACTOR/ARCHITECTURE LTD.

BCIN. # 21639

877 Ireland Ross

Orlando NY 4K2

PHONE: 619-426-6986

FAX: 866-821-6135

smcc@rossconstruction.ca

Print Date: September 26, 2021

Page: 4

SECTION LETTER

PAGE

NUMBERS

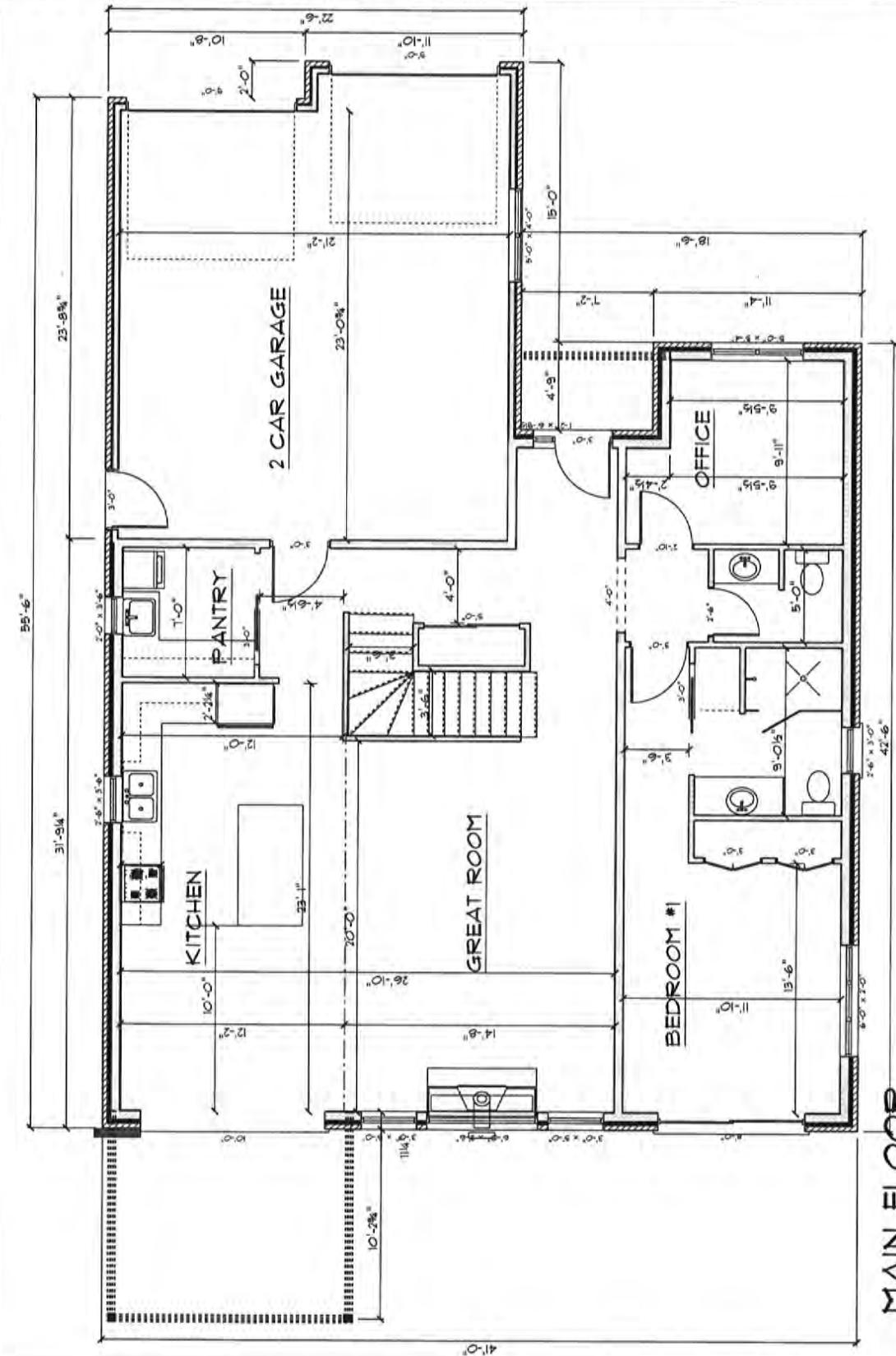
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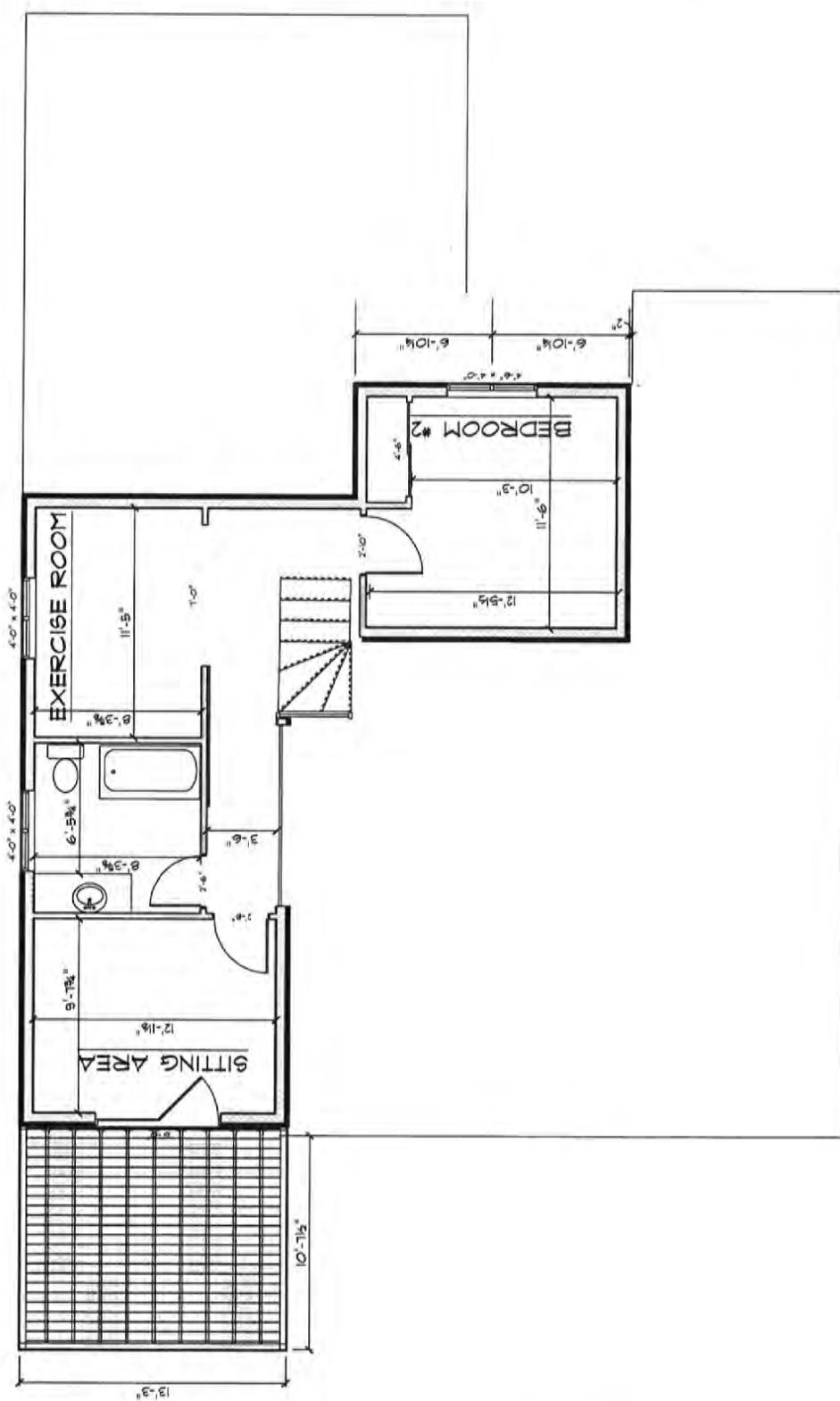
APPROVED: By owner

PRINT DATE: September 26, 2021

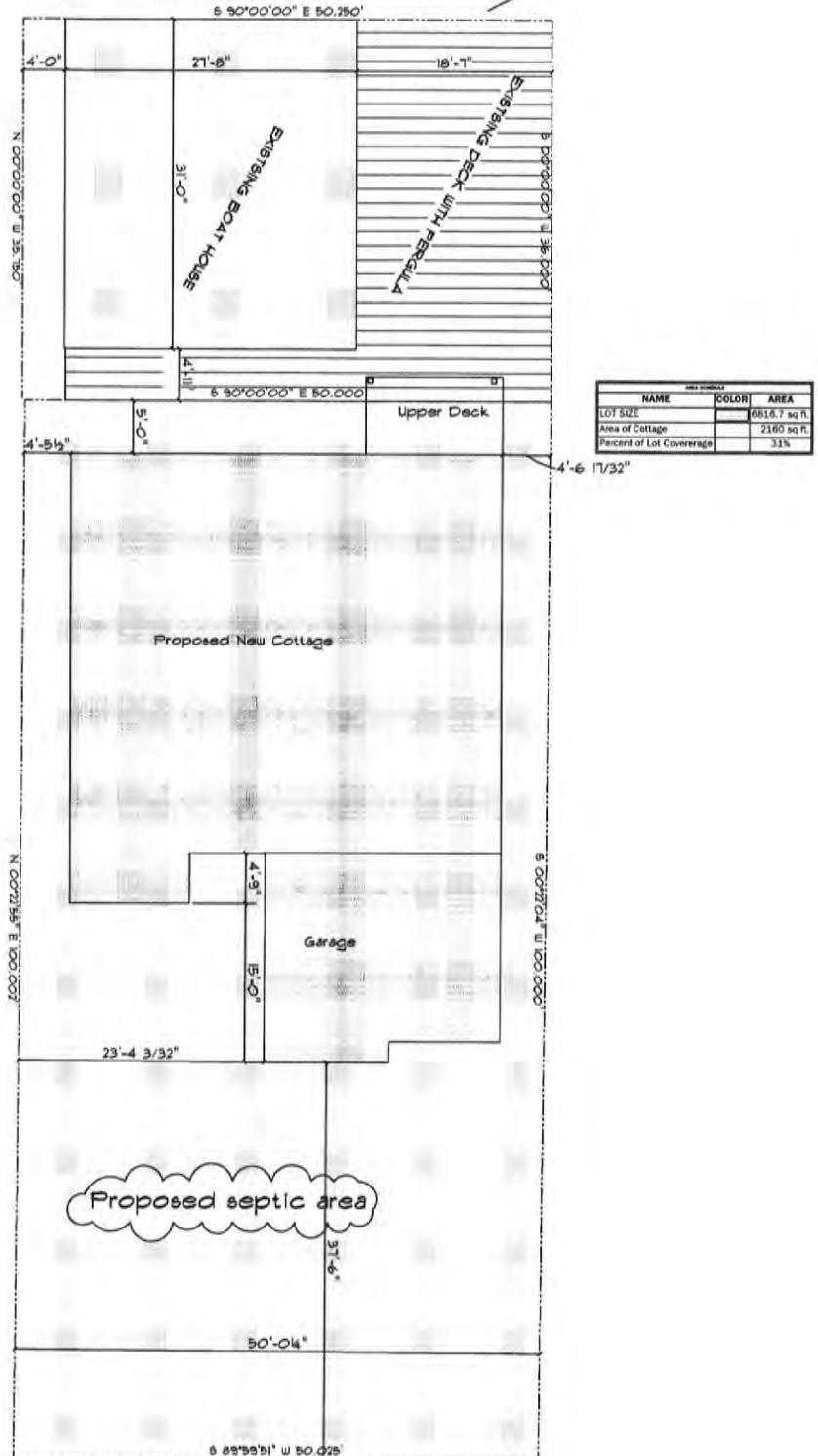
Main

PROPOSED PROJECT FOR:
PAUL White & Jeanne Webb





WATER WAY



RODGERS AVE



BCIN: * 21639

MIKE ROSS
877 Ireland Ross PHONE: 519-426-6985
Simcoe FAX: 866-821-6135
Ontario N3Y 4K2 mike@rossconstruction.ca

PROPOSED PROJECT For:

Paul White & Jeannie Webber



APPROVED: By *owners*

SCALE: 0.0900" = 1'-0"

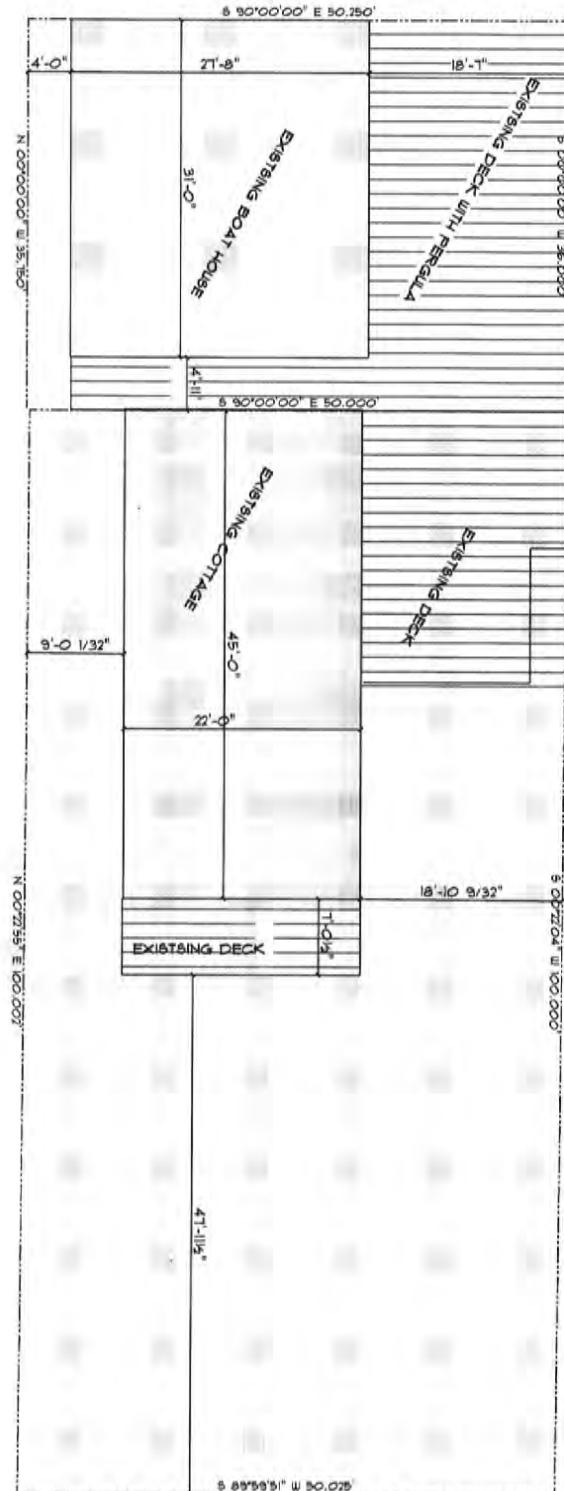
PRINT DATE: September 26, 2021

PAGE:

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Proposed Site Plan

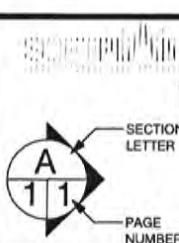
Water Way



RODGERS AVE.



MIKE ROSS
877 Ireland Ross PHONE: 519-426-6985
Simcoe FAX: 866-821-6135
Ontario N3Y 4K2 mike@rossconstruction.ca



PROPOSED PROJECT For:
Paul White & Jeannie Webber

APPROVED: 

SCALE: 0.0900" = 1'-0"

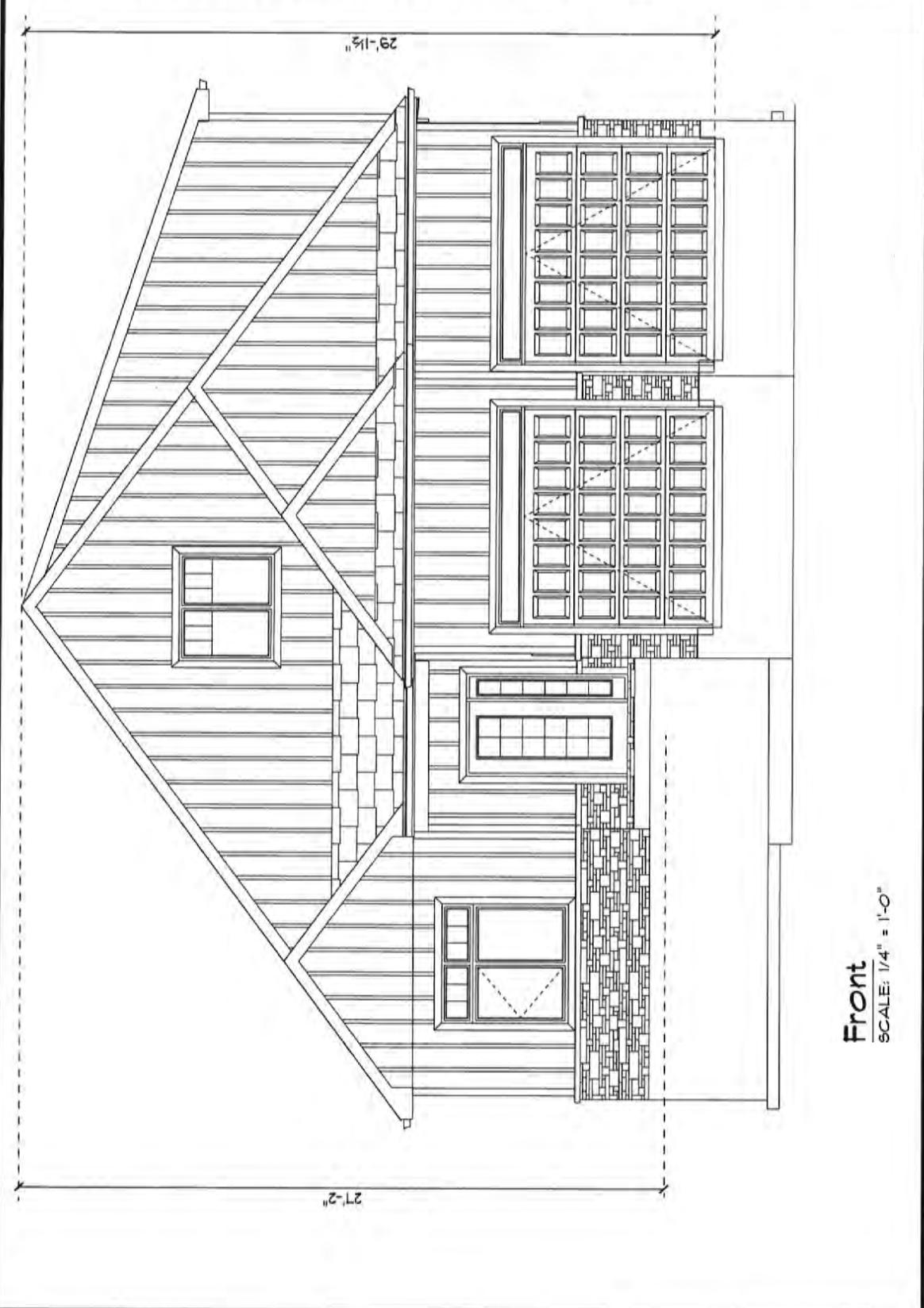
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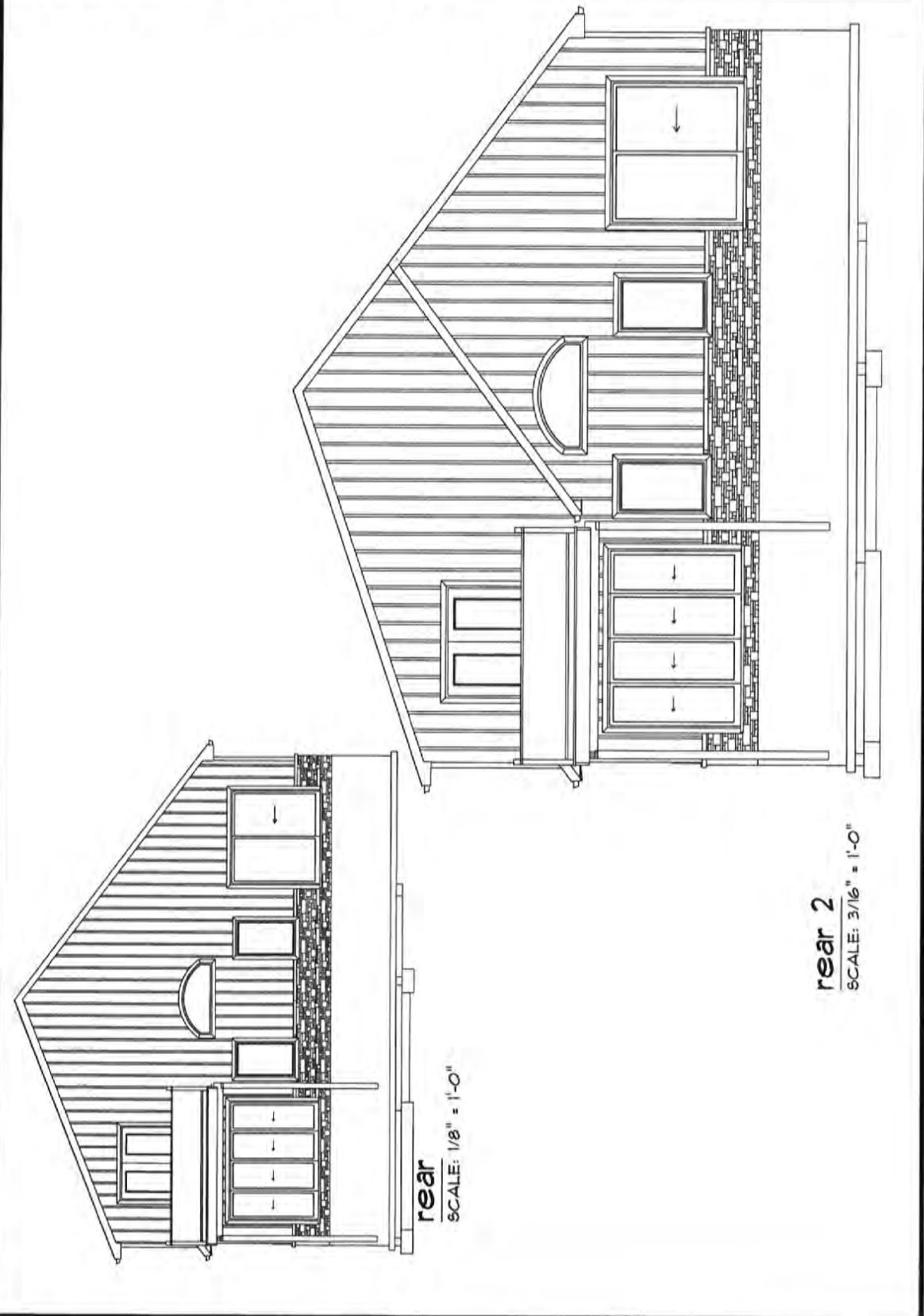
7

Existing Site Plan

877 Reband Ross		Ontario N3Y 4K2	
Simcoe		mike@rossconstruction.ca	
PHONE: 519-426-6986		FAX: 866-821-6135	
APPROVED: By owner		PRINT DATE: September 26, 2021	
SCALE: 1/4" = 1'-0"		PAGE: 1	
 SECTION LETTER PAGE NUMBERS			
MIKE ROSS CONSTRUCTION LTD. BCIN: # 27639			
Paul White & Jeannine Webber PROPOSED PROJECT FOR:			



PROPOSED PROJECT FOR:		Paul White & Jeanneie Webber	
877 Ireland Ross		CONSTRUCTION LTD.	
BCIN: # 21639		ROSS	
PHONE: 519-426-6985		FAX: 866-821-6135	
Ontario N3Y 4K2		Mike@rossconstruction.ca	
Mike Ross		Simeone	
PRINT DATE: September 26, 2021		SCALE: As Noted	
PAGE: 2		APPROVED: By Owner	
SECTION LETTER		PAGE NUMBERS	
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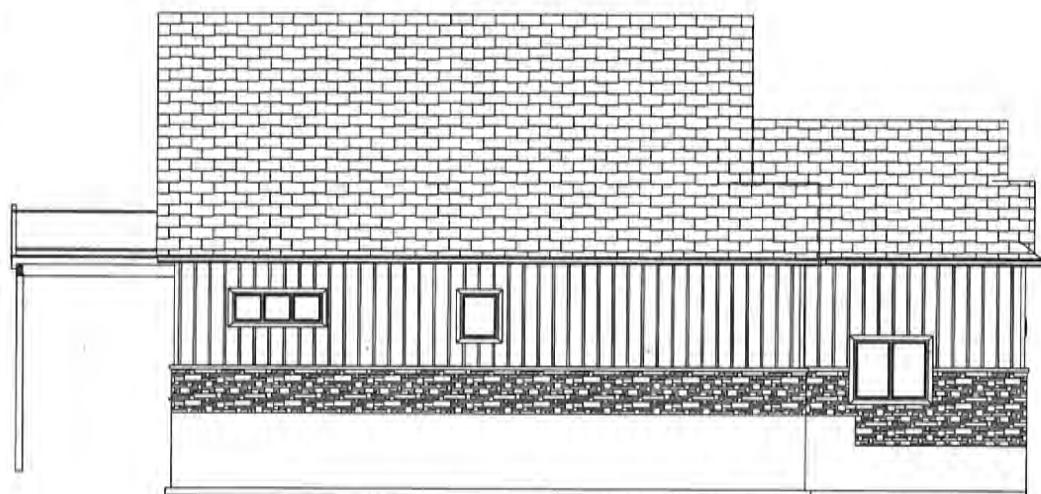
West side

SCALE: 1/8" = 1'-0"



East side

SCALE: 1/8" = 1'-0"



ROSS
CONSTRUCTION LTD.



BCIN: # 21639

MIKE ROSS
877 Ireland Ross
Simcoe
Ontario N3Y 4K2
PHONE: 519-426-6985
FAX: 866-821-6135
mike@rossconstruction.ca



SECTION
LETTER
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PROPOSED PROJECT For:
Paul White & Jeannie Webber

APPROVED: By owners

SCALE: 1/8" = 1'-0"

PRINT DATE: September 26, 2021

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Sides



Long Point Region Conservation Authority

PERMIT No. LPRCA-23/22

**FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &
ALTERATIONS TO SHORELINES & WATERCOURSES**

(CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	Paul White	Telephone:	519-852-2540
Address:	522 Plane Tree Road	N8G 5L6	
	London, ON		
Agent :	William J. Ross Construction	Telephone:	519-429-0617
Address:	877 Ireland Road	Postal Code:	N3Y 4K2
	Simcoe, ON		

Location/Address of works: 11 Rogers Avenue; 33.10.543.070.26500

Lot: 542 Plan: 436 Municipality: Norfolk

Description of Works: Demolish the existing residential structure and construct a 167 m² two-storey replacement residential structure and septic system.

Type of fill:

This permit is valid on the above location only for the period of:

DATE: February 23, 2022 to February 23, 2024

This permit shall be subject to the following conditions:

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)

SPECIFIC CONDITIONS :

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated October 30, 2021 and the associated information.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name 11 Rogers Avenue - Long Point		Unit no.	Lot/con.
---	--	----------	----------

Municipality Norfolk County	Postal code N0E 1M0	Plan number/ other description	
--------------------------------	------------------------	--------------------------------	--

B. Individual who reviews and takes responsibility for design activities

Name Madana Vasantha, P.Eng.	Firm 2478153 Ontario Inc. o/a Girard Engineering
---------------------------------	---

Street address 212 Main Street West - P.O. Box 98 - Otterville	Unit no.	Lot/con.
---	----------	----------

Municipality Norwich Township	Postal code N0J 1R0	Province Ontario	E-mail info@girardengineering.ca
----------------------------------	------------------------	---------------------	-------------------------------------

Telephone number (519) 879-6875	Fax number ()	Cell number ()
--------------------------------------	-------------------	--------------------

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

<input checked="" type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input checked="" type="checkbox"/> Building Structural
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems

Description of designer's work Structural Review of Foundation Wall Reinforcing Detail as prepared by Ross Construction Ltd. for Paul White & Jeannie Webber

D. Declaration of Designer

I _____ Madana Vasantha _____ declare that (choose one as appropriate): (print name)

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: _____

Firm BCIN: _____

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: _____

Basis for exemption from registration: _____

The design work is exempt from the registration and qualification requirements of the Building Code.

Basis for exemption from registration and qualification: Professional Engineer

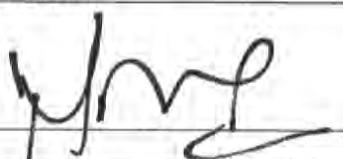
I certify that:

1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

January 19, 2022

Date

Signature of Designer



NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) d. of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of authorization, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

VROOM + LEONARD

154 Baker's Lane
Windham Centre, ON
N0E 2A0

paigevroom@gmail.com
519.909.9872

mlla@isp.ca
519.671.5267

To: Norfolk County and Mike Ross

From: Paige Vroom and Shae-Lynn Dehens, Vroom + Leonard

Date: 2022 02 28

SUBJECT: SPECIES AT RISK SCREENING LETTER OF OPINION FOR 11 ROGERS AVE LONG POINT

INTRODUCTION

This Letter of Opinion (LOP) is being prepared on behalf of Mike Ross (the proponent) relating to the property at 11 Rogers Ave, Long Point, ON of Norfolk County. This letter accompanies an application for a Minor Variance. It is prepared by Vroom + Leonard, who have decade of experience with the Southern Ontario landscape.

The legal parcel is \pm 0.11 ac in size and is a waterfront property along a channel constructed off the shoreline of Lake Erie. Currently, the subject lands contain maintained residential lands with an existing residential dwelling and a boathouse along the channel. According to the Norfolk County Official Plan 2021 (OP) Schedule "B-13" Land Use Plan, the primary land use is "Resort Residential" (See Figure 3). According to the Norfolk County OP Schedule "C-7" Natural Heritage Plan, the lands are located within a Provincially Significant Wetland (PSW), the Long Point Provincially Significant Life Science Area of Natural and Scientific Interest (ANSI), a Significant Natural Area and within the buffer area of the UNESCO Long Point Biosphere Reserve (See Figure 4).

The proponent intends to tear down the existing house and replace it with a larger, single detached residential dwelling with an attached garage.

We have been informed that Norfolk County has requested that a Species at Risk (SAR) screening/ Letter of Opinion (LOP) be completed as part of the application.

NATURAL HERITAGE ATTRIBUTES

The subject lands have been highly disturbed and culturally influenced. The subject lands consist of an existing cottage and boathouse surrounded by maintained lawn, ornamental gardens and plantings, and a hardened shoreline.

There are no naturally occurring ELC communities or habitat on the subject lands as they have been altered for cultural use. In our opinion, given the lack of naturalness on-site, there is no need for any life science work to be conducted.

Given the maintained yard there are no Species at Risk (SAR) plants or Significant Wildlife Habitat (SWH), and faunal SAR would be transient if present and would not rely on the subject lands.

The adjacent land use to the north, east, and west is residential. The only natural area within the 120 m study area (as defined by the Significant Wildlife Habitat Technical Guide 2000) exists 80 m northwest. This area is separated from the subject lands by a municipal road, residential use, and a constructed channel with a hardened shoreline.

Floral Species at Risk

An NHIC 1 km² database screening identified seven floral SAR or rare species that have been discovered in the general area in the past. These species include Eastern Prickly-pear Cactus [SARO: END/COSEWICK: END], Annual Yellow Flatsedge [Not ranked/Not ranked/ S-rank: S2], Kearny's Threeawn Grass [Not ranked/Not ranked/S2], Great Plains Ladies'-tresses [Not ranked/Not ranked/S3], American Bugseed [Not ranked/Not ranked/S3], Low Nutrush [Not ranked/Not ranked/S3], and Large Yellow Pond-lily [Not ranked/Not ranked/S3]. Only the Eastern Prickly-pear cactus is protected under the ESA. However, due to the entirely maintained nature of the subject lands and adjacent area, this species is not anticipated on-site where it could be directly impacted.

Faunal Species at Risk

An NHIC 1 km² database screening identified thirty-two faunal SAR or rare species that have been discovered in the general area in the past. These species are given in the following text. However, no habitat exists on-site or directly adjacent to the proposed site alteration. Again, the only natural vegetation and terrestrial habitat within the study area exists 80 m north and is separated from the proposed site alteration via a municipal road, residential use, and constructed open waterways. The aquatic habitat as noted has been altered with seawalls, and dug channels and see boat activity. For these reasons, the aquatic habitat is also not likely to support SAR.

Aquatic

Seven of the thirty-two faunal SAR or rare species identified are aquatic, including Eastern Sand Darter [SARO: END/ COSEWICK: THR/ S-rank: S2], Lake Chubster [THR/END/S2], Pugnose Shiner [END/THR/S2], Warmouth [END/END], Silver Lamprey [SC/SC], Grass Pickerel [SC/SC], and Spotted Gar [END/END]. The proposed development will not impact any fish habitat as it is restricted to the already developed residential tablelands. As long as proper sediment and erosion control laid out by the OPSS/OPSD are used, the tableland development should not impact the aquatic habitat.

Birds

Ten of the identified SAR or rare faunal species were avian species, depicted in Table 1. There is no suitable habitat on-site that could be directly impacted by the proposed site alteration. The Long Point region is also considered a Colonial Waterbird Nesting Area described by the Significant Wildlife Habitat Guide (OMNR).

Table 1:

Species	Ranking	Habitat Description
---------	---------	---------------------

Purple Martin	SARO: Not ranked COSEWICK: Not ranked	This species is a migratory bird. Southern Ontario is in the northern stretch of its breeding habitat. This species prefers towns, farms and semi-open country near water for its breeding habitat. (https://www.audubon.org/field-guide/bird/purple-martin)
King Rail	SARO: Endangered COSEWICK: Endangered	King Rails are found in densely vegetated freshwater marshes with open shallow water that merges with shrubby areas. (https://www.ontario.ca/page/king-rail)
Piping Plover	SARO: Endangered COSEWICK: Endangered	Piping Plovers nest exclusively on dry sandy or gravelly beaches just above the reach of high water and waves. When not migrating, this bird spends virtually all of its time between the water's edge and the back of the beach. (https://www.ontario.ca/page/piping-plover)
Eastern Meadowlark	SARO: Threatened COSEWICK: Threatened	Eastern Meadowlarks breed primarily in moderately tall grasslands, such as pastures and hayfields, but are also found in alfalfa fields, weedy borders of croplands, roadsides, orchards, airports, shrubby overgrown fields, or other open areas. Small trees, shrubs or fence posts are used as elevated song perches. (https://www.ontario.ca/page/eastern-meadowlark)
Wood Thrush	SARO: Special Concern COSEWICK: Threatened	The wood thrush lives in mature deciduous and mixed (conifer-deciduous) forests. They seek moist stands of trees with well-developed undergrowth and tall trees for singing perches. These birds prefer large forests but will also use smaller stands of trees. They build their nests in living saplings, trees or shrubs, usually in sugar maple or American beech. (https://www.ontario.ca/page/wood-thrush)
Least Bittern	SARO: Threatened COSEWICK: Threatened	In Ontario, the Least bittern is found in various wetland habitats but strongly prefers cattail marshes with a mix of open pools and channels. This bird builds its nest above the marsh water in dense vegetation stands, hidden among the cattails. (https://www.ontario.ca/page/least-bittern)
Yellow Breasted Chat	SARO: Endangered COSEWICK: Endangered	The Yellow-breasted chat lives in thickets and scrub, especially locations where clearings have become overgrown. These birds spend their winters in coastal marshes. (https://www.ontario.ca/page/yellow-breasted-chat)
Barn Swallow	SARO: Threatened COSEWICK: Threatened	Barn Swallows often live in close association with humans, building their cup-shaped mud nests almost exclusively on human-made structures such as open barns, under bridges and in culverts. The species is attracted to open structures that include ledges where they can build their nests, which are often re-used from year to year. (https://www.ontario.ca/page/barn-swallow)
Short-eared Owl	SARO: Special Concern COSEWICK: Special Concern	The Short-eared Owl lives in open areas such as grasslands, marshes and tundra where it nests on the ground and hunts for small mammals, especially voles. (https://www.ontario.ca/page/short-eared-owl#:~:text=The%20Short%2Deared%20Owl%20has,wings%20and%20a%20tail.)
Eastern Whip-poor-will	SARO: Threatened	The Eastern Whip-poor-will is usually found in areas with a mix of open and forested areas, such as savannahs, open woodlands or openings in more mature, deciduous, coniferous and mixed forests. It forages in these open areas and uses

	COSEWICK: Special Concern,	forested areas for roosting (resting and sleeping) and nesting. (https://www.ontario.ca/page/eastern-whip-poor-will)
--	----------------------------------	--

Herptiles

Eight SAR or rare herptile species were identified as historically recorded in the general area.

Two snake species were identified, including Eastern Milksnake [Not ranked/SC] and Eastern Ribbonsnake [SC/SC]. There is no suitable habitat for Eastern Milksnakes on-site as they prefer large forests, open meadows and marshes. Eastern Ribbonsnakes prefer marshes and shallow water, hibernating in underground burrows or rock crevices; the habitat on site is not considered suitable.

Five species of turtle were identified, including Eastern Musk Turtle [SC/SC], Midland Painted Turtle [Not ranked/SC], Northern Map Turtle [SC/SC], Snapping Turtle [SC/SC], and Blanding's Turtle [THR/END]. Given the hardened shorelines and lack of basking features there is no nesting or basking habitat. The waterways could be used by SAR for foraging, and given the depth of water there is potential overwintering habitat. However, there is no water work planned as part of the proposed development.

The NHIC 1km² mapping also identified the beach-dependent species of toad, Fowler's Toad [SARO: END]. Fowler's Toad is restricted to three localities in Ontario: Long Point, Niagara and Rondeau. Despite this, there is no suitable sandy shoreline habitat within the study area as the southern waterfront border consists of a seawall separating the tablelands from a deeper inlet of Lake Erie.

Mammals

According to the NHIC 1km² mapping, only one SAR or rare mammal species was identified as previously recorded in the general area: the American Badger [END/END]. There is no suitable habitat on-site for this species as they prefer tallgrass prairies, sand barrens and farmland.

Insects

Six SAR or rare insect species were identified as previously recorded in the general area by the NHIC 1km² mapping, including Little White Tiger Beetle [Not ranked/Not ranked], Swamp Darner [Not ranked/Not ranked], Seaside Grasshopper [Not ranked/Not ranked], Four Toothed Mason Wasp [Not ranked/Not ranked], a species of Potter's wasp known as *Eumenes fraternus* [Not ranked/Not ranked], and Monarch Butterfly [SC/END]. These species are not protected under the Endangered Species Act (ESA) 2007, given their status and would not allude to any legal concerns of the project.

SUMMARY & CONCLUSIONS

In our opinion, given the lack of any native vegetation or natural habitat on or directly adjacent to the subject lands, the surrounding heavily modified urban landscape in the direct vicinity of the site, and the fact that the land use will remain the same, there would be no direct impact on any SAR or SWH if they were present. Regarding any potential flora

or faunal species in within the 120 m study area, the natural vegetation and terrestrial habitat is separated from the proposed site alteration via a municipal road, residential use, and man-made channels with hardened shorelines. The aquatic habitat in the vicinity of the subject lands has been altered for human use and lacks natural habitat features. The only mode of indirect impact could result from erosion, sedimentation, or pollution into the adjacent waterway. Proper sediment and erosion control (SEC) laid out by the OPSS/OPSD will ensure the tableland development does not indirectly impact any adjacent habitat.



Shae-Lynn Dehens



VROOM - LEONARD

Biologists & Landscape Architects

Paige Vroom / MSc Aquatic
Mike Leonard / OALA

519-909-9872 / paigevroom@gmail.com
519-671-5267 / mlla@isp.ca

Figure 1: General Site Location



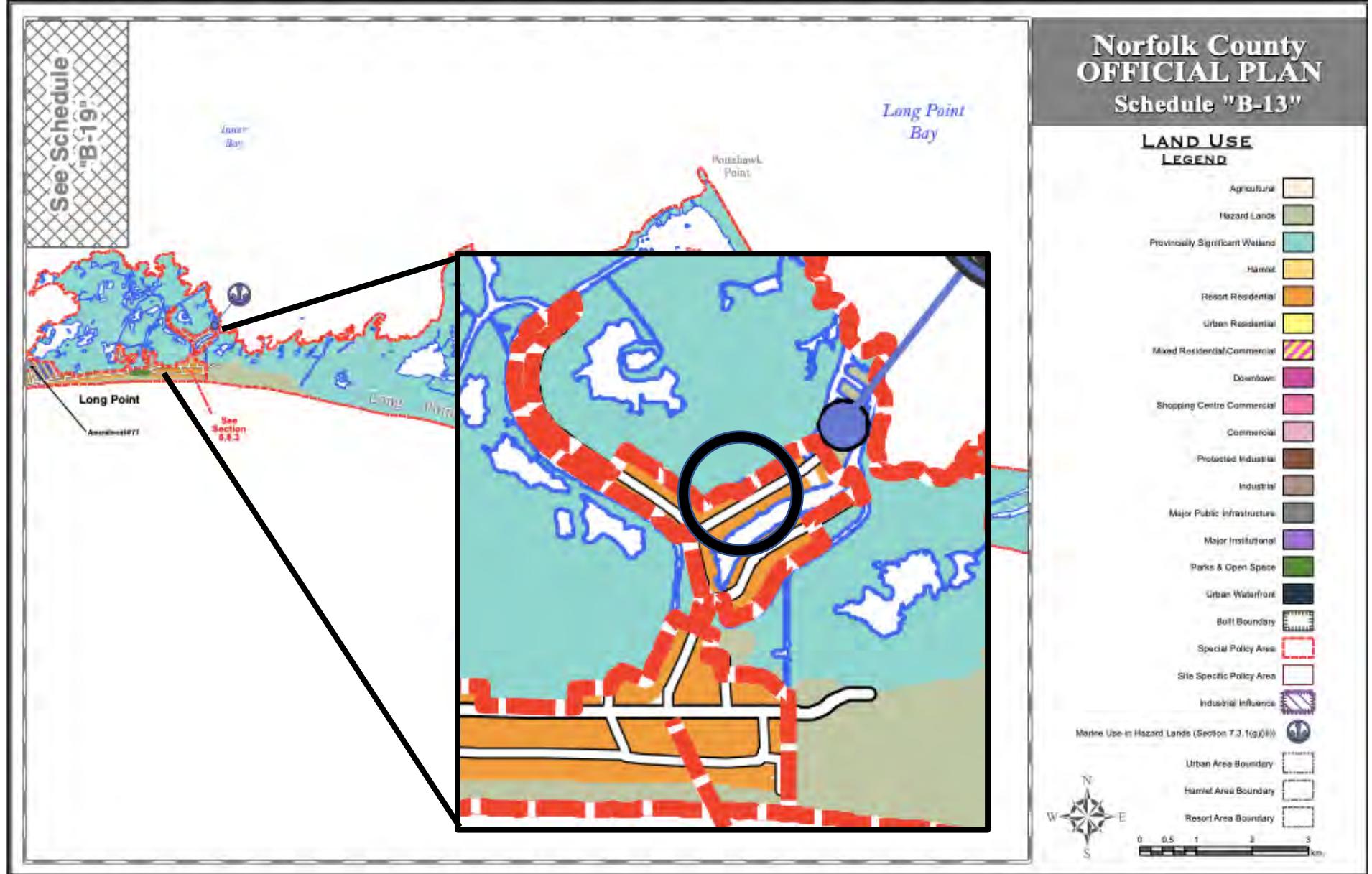
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Figure 2: Specific Site Location (red = existing legal parcel,
yellow = study area)



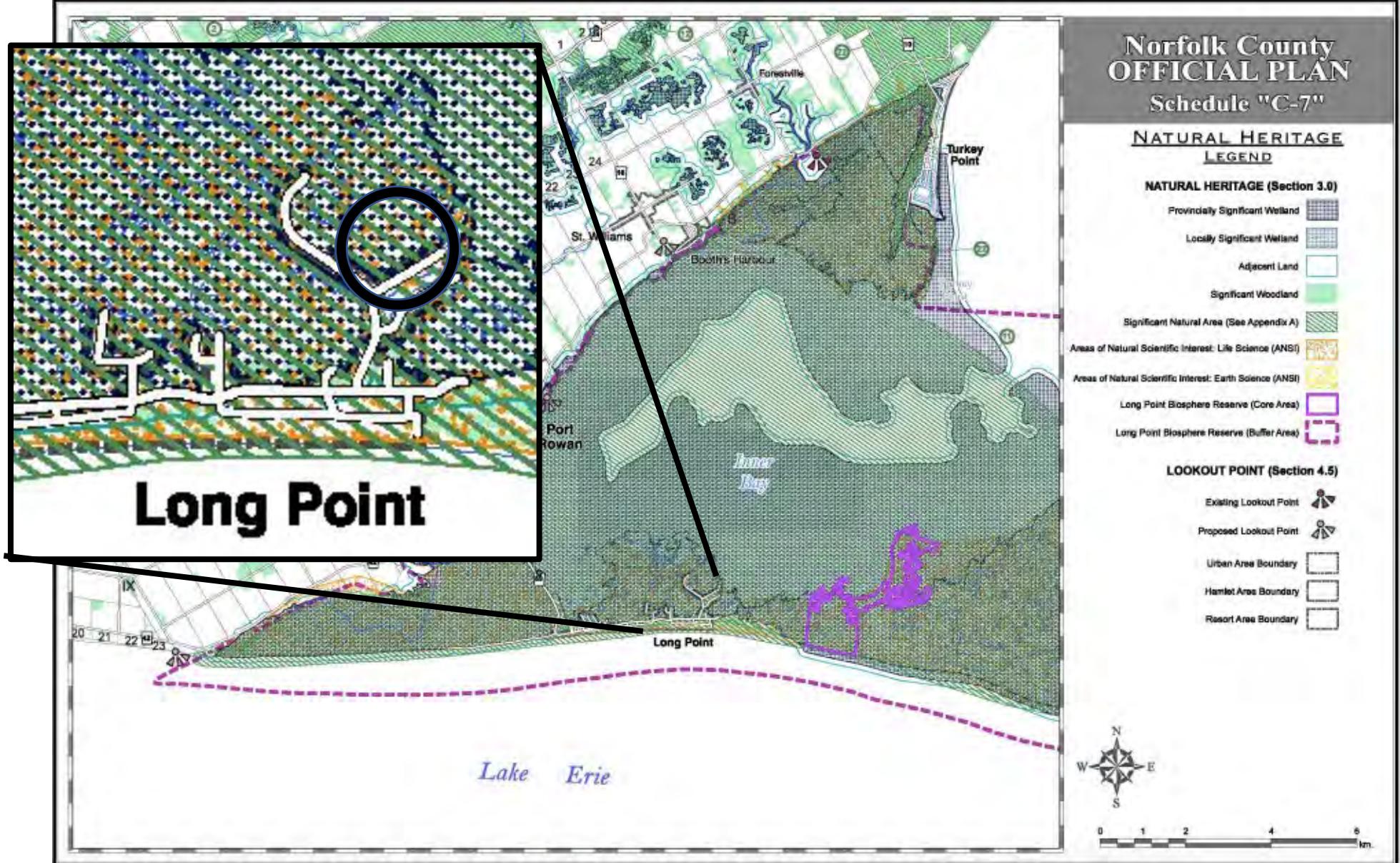
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519-671-5267 / mlla@isp.ca

Figure 3: Norfolk County Schedule "B-13" Land Use Plan



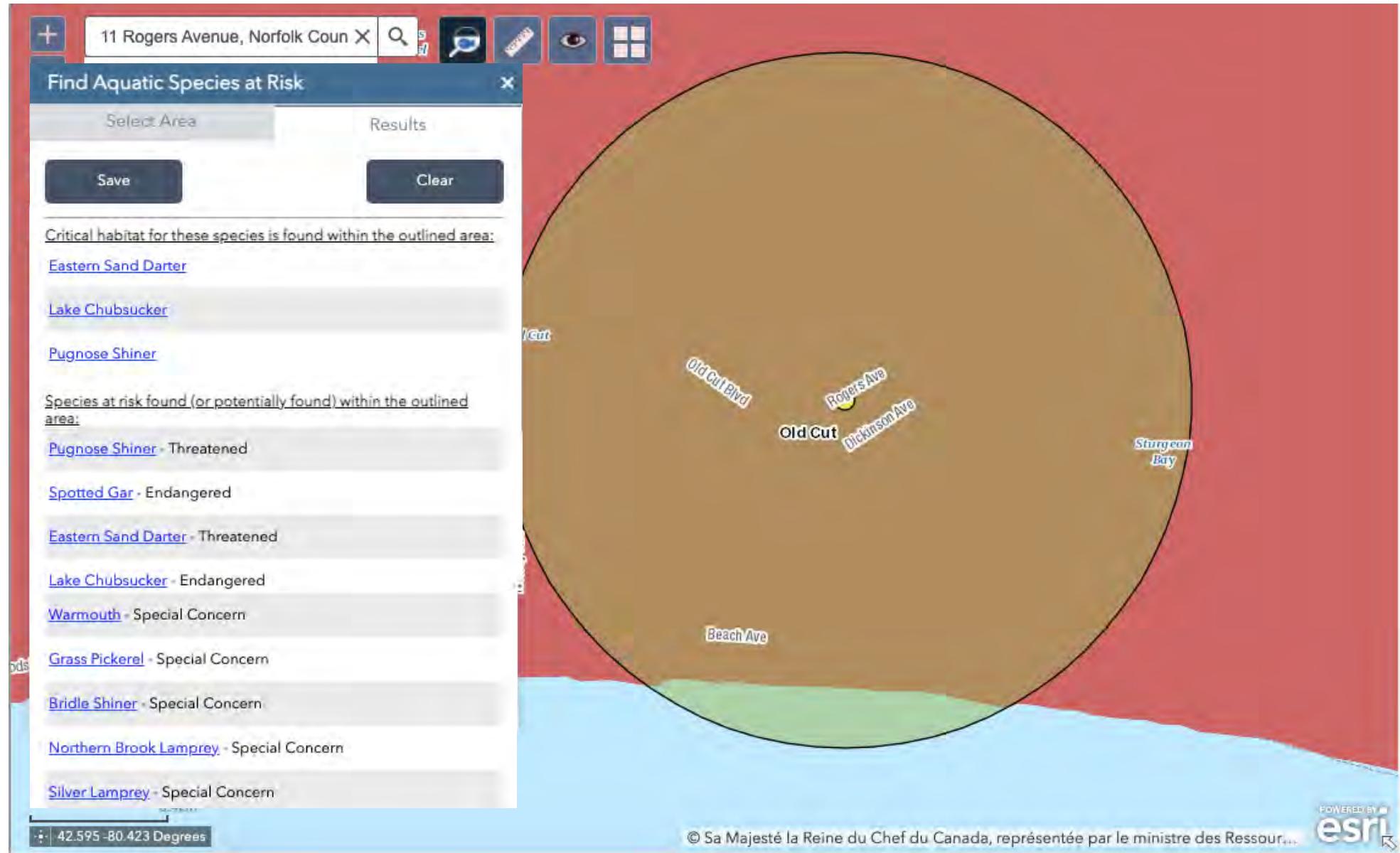
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Figure 4: Norfolk County Schedule "C-7" Natural Heritage Plan



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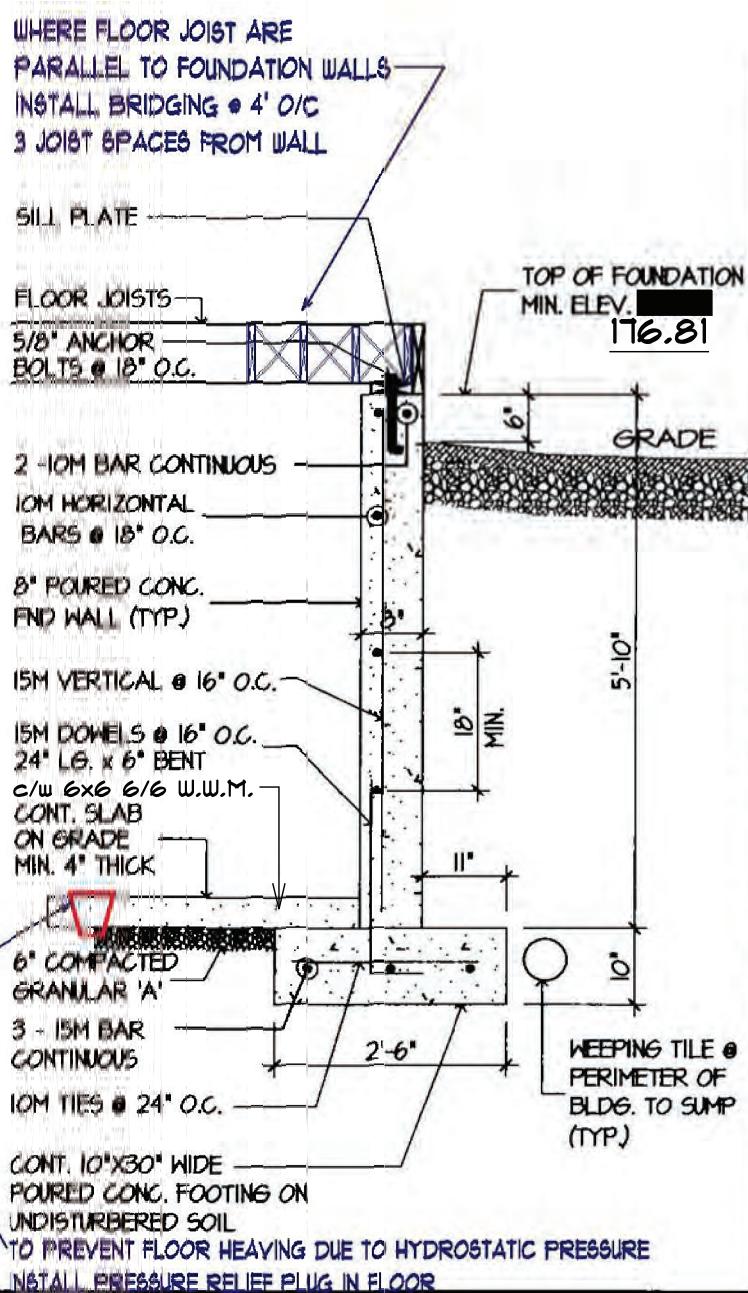
Figure 5: DFO Aquatic Species At Risk Watercourse Map

Foundation Detail

**ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM
CGYD 1928 VERTICAL DATUM**



THIS STAMP APPLIES TO THE DESIGN OF THE FOUNDATION ONLY - ALL OTHER ARCHITECTURAL and STRUCTURAL ELEMENTS ARE THE RESPONSIBILITY OF OTHERS.



NOTE: ALL OF THE FOLLOWING CONDITIONS ARE ASSUMED TO BE SATISFIED FOR ENCLOSED SKETCH:

MIN. STRENGTH OF CONC. TO BE 25MPa.

REINFORCED STEEL BARS TO BE GRADE 400.

OUTSIDE FND WALL TO BE WELL DRAINED (WEPPING TILES ASSUMED AROUND THE PERIMETER OF THE FND WALLS).

BUILDING TO BE MAX. 2 STOREY HIGH.

MIN. THICKNESS OF THE FND WALL TO BE 8".

FINISHED GRADE TO BE MIN. OF 6" BELOW TOP OF FND WALL.

FLOOR JOISTS TO PROVIDE LATERAL BRACING AT THE TOP OF THE FND WALL (FLOOR JOISTS EITHER PARALLEL OR PERPENDICULAR TO FND WALL TO BE CONNECTED TO CONT. SILL PLATE ANCHORED TO TOP OF THE FND WALL).

MIN. BEARING CAPACITY OF THE SOIL TO BE 3000psf TO BE CONFIRMED BY ENGINEER.

U/S OF FTG. ASSUMED TO BE MIN. 3'-0" ABOVE WATER TABLE.

TYPI. FOUNDATION WALL REINFORCING

1/2" = 1'-0"

NOTE:

The foundation has been designed to withstand the static and dynamic pressures generated during large storm and flooding event to prevent structural damage.

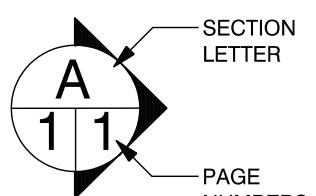
These components of the foundation include:

- All continuous 30" x 10" 25 MPa concrete footing c/w (3) 15m continuous Bars, 10 M Ties@24" o.c. & 15M dowel (24long & 6" bent) @ 16" o.c.
- All 5-10" x 8" 25 MPa concrete foundation walls c/w (2) 10m continuous @ top of wall, 10m horizontal bars@ 18" o.c. + 15m Vertical bars @ 16" o.c. -which when pinned top and bottom as noted will resist static & Hydro static pressures
- The 4" 25 MPa concrete floor slab w/ 6 x 6 6/6 W.W.M. c/w Pressure relief plugs (5) Required min. - (1) in each corner and (1) in centre of crawlspace) which will resist Hydro static pressure lifting the floor
- All Mechanical & Electric panel to be located above 176.81

All of these components are below 176.81M Geodetic unless noted otherwise



MIKE ROSS
877 Ireland Ross
Simcoe
Ontario N3Y 4K2
PHONE: 519-426-6985
FAX: 866-821-6135
mike@rossconstruction.ca



PROPOSED PROJECT For:

Paul White & Jeannie Webber

11 Rogers Ave
Long Point
On

APPROVED: By owners

SCALE: 0.2700" = 1'-0"

PRINT DATE: January 18, 2022

PAGE:

8

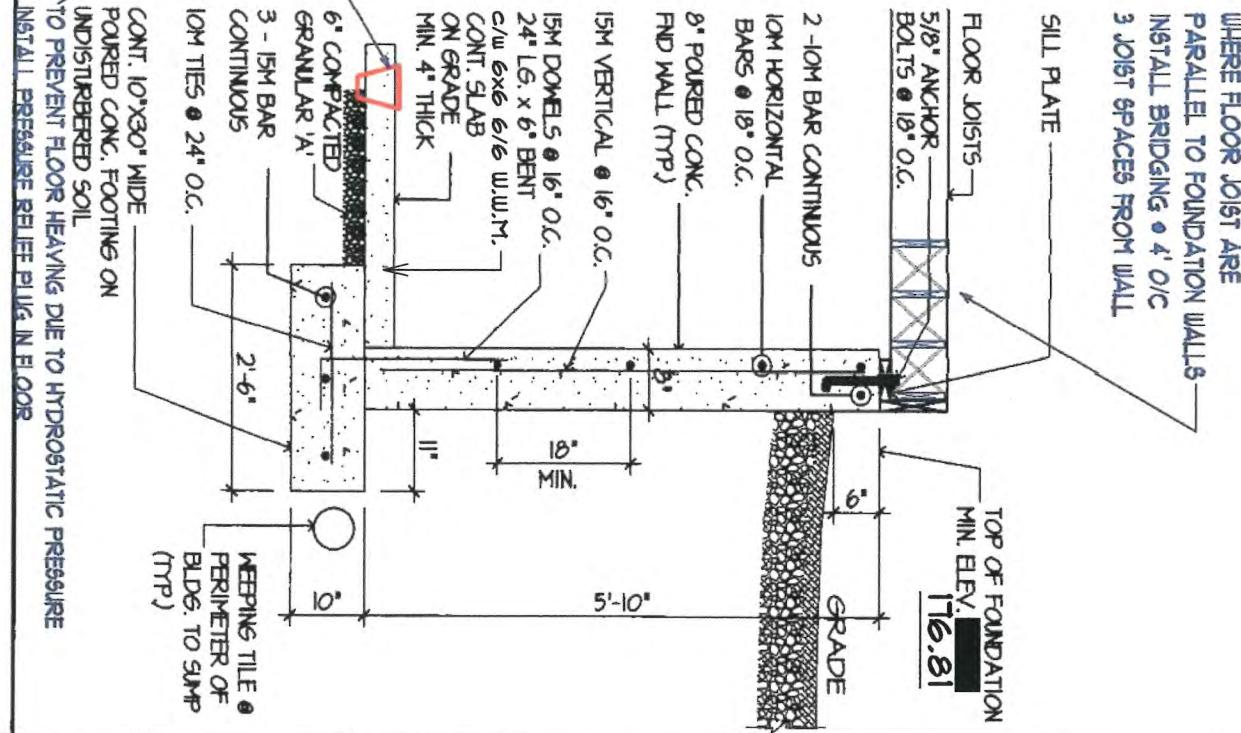
Stamped Foundation Drawing

ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM CGYD 1928 VERTICAL DATUM

THIS STAMP APPLIES TO THE DESIGN OF THE FOUNDATION
ONLY - ALL OTHER ARCHITECTURAL and STRUCTURAL
ELEMENTS ARE THE RESPONSIBILITY OF OTHERS.



Foundation Detail



TYP. FOUNDATION WALL REINFORCING

1/2" = 1'-0"

NOTE:

The foundation has been designed to withstand the static and dynamic pressures generated during large storm and flooding event to prevent structural damage. These components of the foundation include:

- All continuous 30" x 10" 25 MPa concrete footing c/w (3) 15m continuous Bars, 10 M Ties @ 24" O.C.
- All 5-10" x 8" 25 MPa concrete foundation walls c/w (2) 10m continuous @ top of wall, 10m horizontal bars @ 18" O.C. + 15m vertical bars @ 16" O.C. - which when pinned top and bottom as noted will resist static & Hydro static pressures
- The 4" 25 MPa concrete floor slab w/ 6 x 6 6/6 W.W.M. c/w Pressure relief plugs (5) Required min. - (1) in each corner and (1) in centre of crawlspace) which will resist Hydro static pressure lifting the floor
- All Mechanical & Electric panel to be located above 176.81m

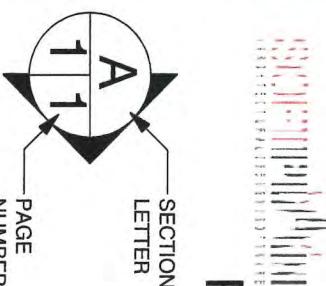
All of these components are below 176.81m Geodetic unless noted otherwise



BCN: # 27639
Certified Drawing

PROPOSED PROJECT For:
Paul White & Jeannie Webber
11 Rogers Ave
Long Point
On

877 Ireland Ross
Simcoe
Ontario N3Y 4K2
mike@rossconstruction.ca



APPROVED: By owners	PAGE:
SCALE: 0.2700" = 1'-0"	8
PRINT DATE: January 18, 2022	Foundation Drawing



Long Point Region Conservation Authority

PERMIT No. LPRCA-23/22 **FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS &** **ALTERATIONS TO SHORELINES & WATERCOURSES** (CONSERVATION AUTHORITIES ACT - ONTARIO REGULATION 178/06, UNDER O.REG.97/04)

4 Elm Street
Tillsonburg, ON
N4G 0C4
Phone (519) 842-4242
Fax (519) 842-7123
www.lprca.on.ca

Permission has been granted to:

Owner:	Paul White	Telephone:	519-852-2540
Address:	522 Plane Tree Road		N8G 5L6
	London, ON		
Agent :	William J. Ross Construction	Telephone:	519-429-0617
Address:	877 Ireland Road	Postal Code:	N3Y 4K2
	Simcoe, ON		

Location/Address of works: 11 Rogers Avenue; 33.10.543.070.26500**Lot:** 542 **Plan:** 436 **Municipality:** Norfolk**Description of Works:** Demolish the existing residential structure and construct a 167 m² two-storey replacement residential structure and septic system.**Type of fill:****This permit is valid on the above location only for the period of:****DATE: February 23, 2022 to February 23, 2024****This permit shall be subject to the following conditions:**

The Applicant and owner, by acceptance of and in consideration of the issuance of this permit, agrees to the following conditions:

GENERAL CONDITIONS: (SEE REVERSE SIDE OF PERMIT)**SPECIFIC CONDITIONS :**

1. Locations and dimensions of proposed works must be as indicated on the enclosed copy of the work permit application dated October 30, 2021 and the associated information.

GENERAL CONDITIONS:

1. This permit does not preclude any approvals required by any other laws or regulations.
2. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure. This step is considered necessary to prevent the undesirable migration of silt.
3. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
4. Authorized representatives of the Long Point Region Conservation Authority may at any time enter onto the lands which are described herein in order to make any surveys, examinations or inspections which are required for the purpose of insuring that the work(s) authorized by this permit are being carried out according to the terms of this permit.
5. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
6. This permit is not assignable.
7. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
8. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
9. The applicant agrees to maintain all existing drainage patterns.
10. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
11. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.



Long Point Region Conservation Authority

4 Elm Street, Tillsonburg, ON N4G 0C4

Tel: (519) 842-4242 Fax: (519) 842-7123

Email: planning@lprca.on.ca Website: www.lprca.on.ca

Permit Application – Schedule A

REGULATION OF DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES (R.R.O. 1990 REG.178/06)

Application #

LPRCA -
Office Use Only

Applicant/ Owner's Name:	Paul White		
Mailing Address:	522 Plane Tree Rd		
Street Address	P.O. Box	Apartment/Unit #	
London	On	N8G 5L6	
City/Town	Province	Postal Code	
Primary Phone:	519-852-2540	Alternate Phone:	Email: paulwhite@stonetownsupply.ca
Agent's Name:	Mike Ross / William J. Ross Construction		
<input type="checkbox"/> Check if same as above			
Mailing Address:	877 Ireland Road		
Street Address	P.O. Box	Apartment/Unit #	
Simcoe	On	N3Y 4K2	
City/Town	Province	Postal Code	
Primary Phone:	519-429-0617	Alternate Phone:	Email: mike@rossconstruction.ca

Location of Proposed Work

Lot: 542 Concession/Plan: 436 Municipality: Norfolk
Municipal Address: 11 Rogers Ave. Long Point
Street Address

Tax Assessment Roll Number: 543-070-26500-0000

Proposed work: (Check all appropriate boxes)

<input type="checkbox"/> Place, dump, or remove fill	Quantity of fill:
<input type="checkbox"/> Site grading	
<input checked="" type="checkbox"/> Construct a new building or structure	Proposed square footage: 1800 Sq. Ft
<input type="checkbox"/> Alter or renovate an existing building or structure	Existing square footage: 1500 sq. ft
<input checked="" type="checkbox"/> Construct a septic system	
<input type="checkbox"/> Construct erosion control or shoreline protection	
<input type="checkbox"/> Construct new or replace existing watercourse crossing	
<input type="checkbox"/> Other: (please describe)	

Description of Proposed Works: Rebuild Cottage

PROPOSED START DATE: March 31/22

PROPOSED COMPLETION DATE: October /22

I understand that the information contained in this application form is accurate to the best of my knowledge and that the staff of the Long Point Region Conservation Authority (LPRCA) will undertake a detailed inspection of the subject lands as part of the application process.


Applicant Signature


Agent Signature

Date

Date

Oct 30 /21

at 30/21

Development, Interference with Wetlands and Alterations to Shorelines and Watercourses
Ontario Regulation 178/06

PROPERTY OWNER AUTHORIZATION

Subject Property

Property Location 11 Rogers Ave

Municipal Address or Lot and Concession or Lot and Plan

Municipality Norfolk County

Community Long Point

I/We Paul White

Hereby authorize Mike Ross / William J. Ross Construction

To provide as my agent any required authorizations or consents, to submit the enclosed application to the Long Point Region Conservation Authority, and to appear on my behalf at any hearing(s) of the application and to provide any information or material required by the Board relevant to the application for the purposes of obtaining permission to develop, interfere with a wetland or alter a shoreline or watercourse in accordance with the requirements of Ontario Regulation 178/06 as amended.

Signature of Owner: 

Date: Oct 30/21

APPLICATION FORM INSTRUCTIONS

Owner The legal owner(s) of the property where the proposed development or alteration will be carried out.

Applicant If the applicant is not the same as the property owner, written authorization is required from all property owners on whose property the proposed work will be carried out. The authorization(s) must be submitted with the application.

Agent If the applicant has assigned another party as an agent to act on the applicant's behalf for the project, written authorization from the applicant is required so stating.

Quantity of Fill Approximate quantity expressed in cubic metres, cubic yards, truck loads (12 yards) or tandem truck loads (18 yards)

Floor area For residential development, area of living space including full height basement and additional storeys, but not including attached garage, non-habitable crawl space, open breezeways, decks or porches.

APPLICATION CHECKLIST

Submission: LPRCA permit applications along with supporting information may be submitted in person to our office, or by fax, email or mail.

Office Use Only

Application # LPRCA-

List Issued: _____

Pre-consultation: Please contact LPRCA staff regarding the requirements specific to your proposal. Also, please make sure your contractors and consultants contact LPRCA staff before completing detailed drawings or technical studies.

Complete application: A complete application package includes (check all applicable):

Applicable Submitted

- ✓ A completed, signed and dated application form;
- ✓ Written authorization (if the applicant is not the owner of the property where the work is being done)
- ✓ Written authorization (if the property owner is assigning another party as an agent for the project);
- ✓ Application fee (see fee schedule, fees subject to change without notice);
- ✓ A scaled and detailed site plan;
- ✓ A scaled cross-sectional drawing and floor plans;

Drawings: One copy of all project drawings, reports, unless otherwise requested. Hardcopy drawings must be provided and readable on sheets no larger than 11" x 17". Electronic submission of drawings and reports is preferred. The drawings should include (either as part of the illustration or as notes).

- ✓ Legal description of the property (e.g. roll number, lot, concession, municipality);
- ✓ Scale, date, and directional arrow;
- ✓ Dimensions of the property (a copy of a legal survey may be required);
- ✓ Location, dimensions and geodetic elevations of all existing and proposed structures, grading, filling, excavating, and the distance to any waterbody(s) (e.g. wetlands, streams, lakes), valleys, steep slopes on or adjacent to the property;
- ✓ Location and type of sediment and erosion control measures (e.g. silt fence) and soil stabilization measures (e.g. seeding, sodding, planting)

Technical reports: One or more of the following technical reports may be required (as advised by LPRCA staff).

- Design drawings and description of the design elements for flood-proofing measures, stamped and certified by a qualified professional engineer (for development in floodplains and flood hazard areas)
- Slope stability study and erosion analysis, prepared by a qualified professional with expertise in geotechnical engineering, to determine the stable top-of-bank, the minimum development setback to address the potential erosion hazards, and associated foundation, construction, grading and drainage recommendations, in accordance with the Provincial Technical Guidelines (for development in erosion hazard areas)
- Coastal engineering assessment prepared by a qualified professional with expertise in coastal engineering in accordance with LPRCA's Shoreline Management Plan and the Provincial Technical Guidelines addressing hydrodynamic forces affecting the design and indicating how the aggravation of erosion on neighbouring properties is avoided (for shoreline alterations).
- Environmental Impact Study (EIS) clearly indicating that there will be no negative impact to the form or function of the wetland to the satisfaction of LPRCA (for development near wetlands)
- Hydraulic analysis by a qualified professional engineer addressing flood conveyance, storage-discharge, and changes in flood levels on-site and on adjacent properties (for development in floodplains, watercourse alterations).
- Complex and large-scale proposals may require additional technical studies and plans.

For Office Use Only

Application Submitted:

Complete Application:

Application Fee: Paid:

Board Approval Required Date of Board Meeting:

GENERAL CONDITIONS OF PERMIT

1. This permit does not absolve the permittee of the responsibility of obtaining necessary permission from applicable federal and provincial agencies or local municipalities.
2. The permittee agrees by acceptance of the permit:
 - a) to indemnify and save harmless, the Long Point Region Conservation Authority and its officers, employees, or agents, from and against all damage, injury, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omission of the permittee or of any of his agents, employees or contractors relating to any of the particular terms or conditions of this permit.
 - b) that this permit shall not release the permittee from any legal liability or obligation and remains in force subject to all limitations, requirements, requirements and liabilities imposed by law.
 - c) to provide certification of conformance to ensure compliance with the intent of the permit. This certification must be provided by an accredited professional and is to be submitted as may be specified in the permit.
3. Authorized representatives of the Long Point Region Conservation Authority will be granted entry at any time into lands and buildings which are the subject of this permit application in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
4. The project shall be carried out generally as per the plans submitted in support of the application as they may be amended by conditions of this permit.
5. Any activity or development other than that identified in this permit application must be reviewed by the LPRCA; at which time, staff will determine if additional approvals or an amended permit will be required.
6. The Long Point Region Conservation Authority may cancel this permit or may change any of the conditions at any time and without prior notice if it is determined that:
 - a) the works are not in conformance with the intent of the permission granted;
 - b) the information presented to obtain a permit is false;
 - c) the works or method of construction has detrimental impacts on the environment.
7. Temporary sediment & erosion control measures shall be installed around any disturbed and/or exposed ground or excavated material stockpiles, remain in place until the site has been suitably stabilized, and must be monitored regularly to ensure effectiveness. Remedial/Emergency measures must be taken at any sign of failure.
8. The applicant agrees to maintain all existing drainage patterns except as expressly identified in this permit.
9. It is the responsibility of the permittee to ensure the development is located within the extent of the property boundaries owned by the proponent.
10. This approval does not guarantee the soundness of the proposed work and it is the responsibility of the permittee to monitor and maintain the construction activity to ensure the integrity of the work.
11. This permit shall not be assigned (non-transferable).
12. Permits are valid for two years. No notice will be issued on expiration of the permit and it is the responsibility of the permittee to ensure a valid permit is in effect at the time work is occurring.
13. The Conservation Authority should be contacted within 48 hours prior to the commencement of construction.
14. The Long Point Region Conservation Authority may make copies of Schedule A, as required, for the purposes of assessing the proposal and, where approved, to form part of the permit issued.

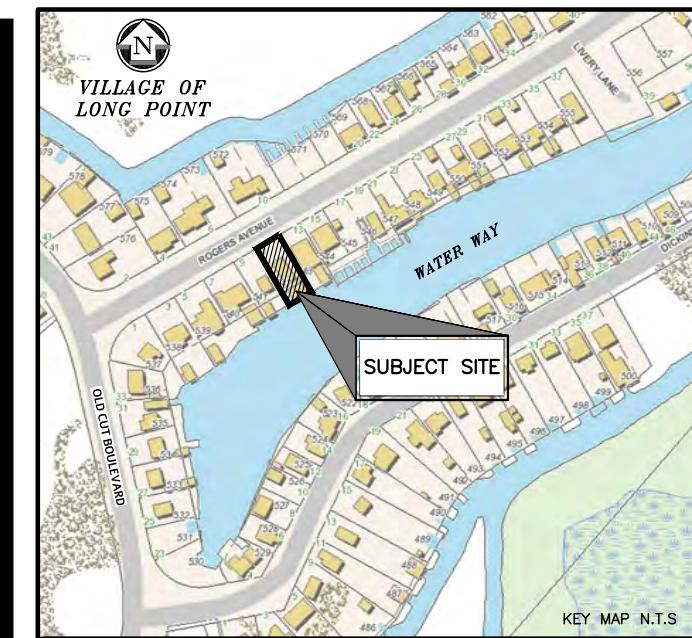
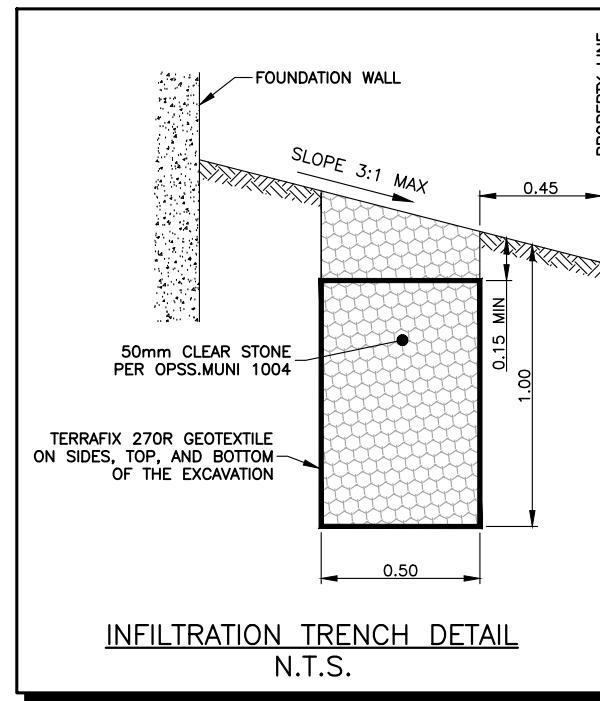
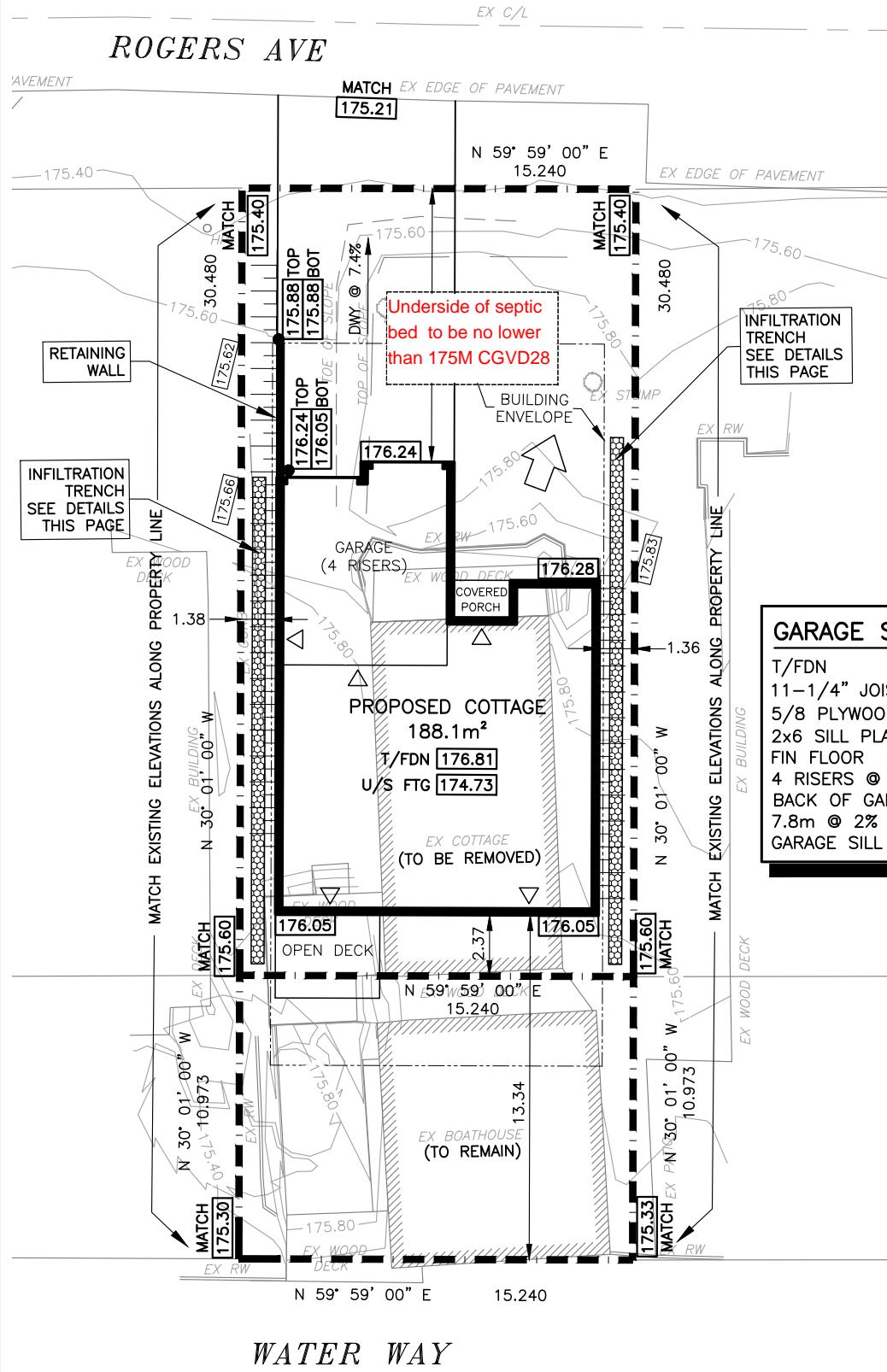
NOTICE OF COLLECTION

Pursuant to section 29(2) of the Municipal Freedom of Information and Protection of Individual Privacy Act, 1989, the personal information contained on this form is collected under the legal authority of the Conservation Authorities Act, R.S.O. 1980, c85, as amended. This information is used to assess applications for and, where approved, issue comment. The name of the applicant, location of the work and a description of the project may be published in LPRCA documents, including agendas, reports and meeting minutes which are posted on the LPRCA website. Questions about the collection of personal information should be directed to the Freedom of Information Coordinator, Long Point Region Conservation Authority, 4 Elm Street, Tillsonburg, Ontario, N4G 0C4, (519) 842-4242.

NOTE
TOPOGRAPHIC SURVEY COMPLETED BY G. DOUGLAS VALLEE LTD. BASED ON THE FOLLOWING INFORMATION:
COORDINATE SYSTEM:
CANADIAN GEODETIC VERTICAL DATUM OF 1928 (CGVD28)
DATE OF SURVEY: NOVEMBER 2021



SCALE 1 : 250
Meters



DATE	REVISION
NOV 30/21	ISSUED TO CLIENT FOR REVIEW

DESCRIPTION:

PROPOSED COTTAGE AND GARAGE TO BE CONSTRUCTED ON LOT 542 REGISTERED PLAN 436 IN LONG POINT NORFOLK COUNTY

SITE BENCHMARK:

BM: SPIKE IN FACE OF HYDRO POLE ON SOUTH SIDE FRONTING 15 ROGERS AVE. ELEVATION 176.500m



vallee
Consulting Engineers,
Architects & Planners

G. DOUGLAS VALLEE LIMITED
CONSULTING ENGINEERS, ARCHITECTS AND PLANNERS
2 TALBOT STREET NORTH
SIMCOE, ONTARIO N3Y 3W4
(519) 426-6270

Project Title: **11 ROGERS AVE**
LONG POINT - NORFOLK COUNTY

Drawing Title: **GRADING PLAN**

Home Builder: **ROSS CONSTRUCTION LTD.**

Designed by: **TJC** Drawn By: **NBN/TJC** Checked By: **JTI**

Scale: **1:250** Date: **NOV 18, 2021** Drawing No.:

Project No. **21-235** 01

LEGEND

175.48	PROPOSED SPOT ELEVATION
1.5%	PROPERTY LINE FLOW DIRECTION AND SLOPE
175.50	EXISTING CONTOUR
x175.50	EXISTING SPOT ELEVATION

NOTES

CONTRACTOR TO ENSURE THAT HOUSE FOUNDATION IS PLACED ON SUITABLE, DRY SOIL.

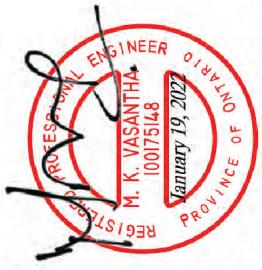
ACCORDING TO NORFOLK COUNTY REQUIREMENTS ALL FINAL GRADING MUST BE INSPECTED AND CERTIFIED BY AN ENGINEER OR ONTARIO LAND SURVEYOR. THE BUILDER SHALL ENSURE THAT THE REQUIRED INSPECTIONS ARE CARRIED OUT IN ACCORDANCE WITH COUNTY REQUIREMENTS.

ALL DISTANCES AND ELEVATIONS ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BUILDER TO CONFIRM BOTTOM OF FOOTING ELEVATION AND TOP OF FOUNDATION ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

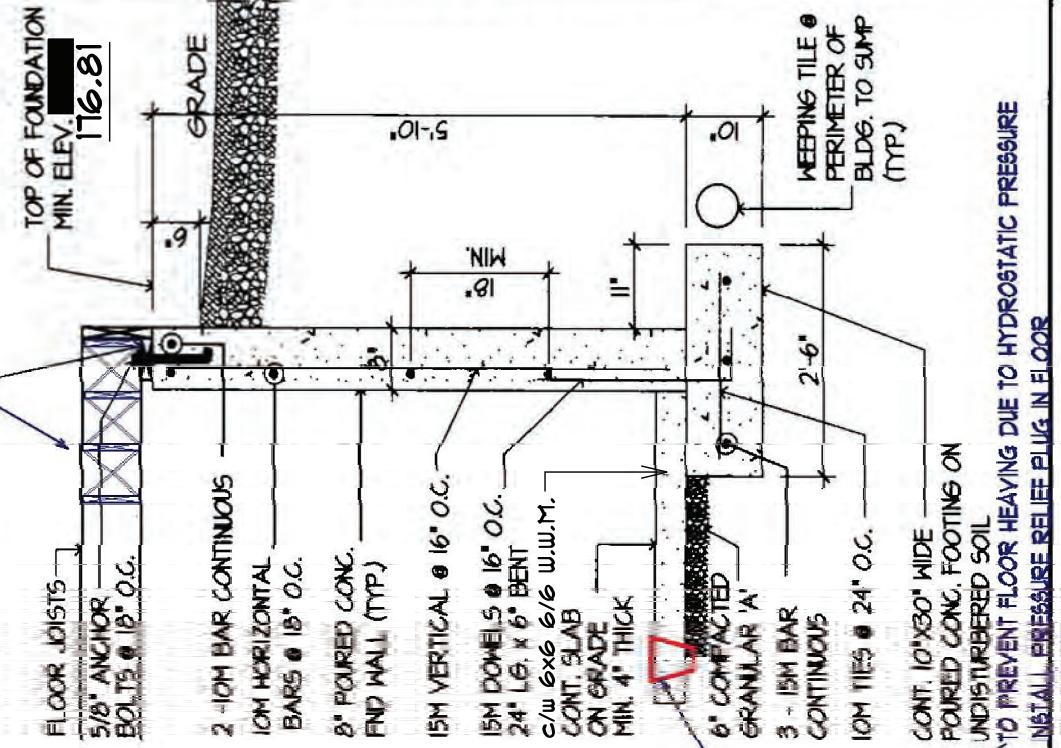
IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, AT LEAST 0.15m OF FOUNDATION WALL MUST REMAIN EXPOSED.

ALL ROOF LEADERS TO BE DIRECTED TOWARD FRONT LOT LINE OR REAR LOT LINE. LEADERS SHALL NOT DIRECT RUNOFF TO SIDE YARD.



ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC DATUM

WHERE FLOOR JOIST ARE
PARALLEL TO FOUNDATION WALLS
INSTALL BRIDGING @ 4' O/C
3 JOIST SPACES FROM WALL
SILL PLATE



TYPE: FOUNDATION WALL REINFORCING

1/2" = 1'-0"

NOTE:

The foundation has been designed to withstand the static and dynamic pressures generated during large storm and flooding event to prevent structural damage. These components of the foundation include:

- All continuous 30" x 10" 25 MPa concrete footing c/w (3) 15m continuous Bars, 10 M Ties @ 24" o.c. & 15m dowel (24 long & 6" bent) @ 16" o.c.
- All 5-10" x 8" 25 MPa concrete foundation walls c/w (2) 10m continuous @ top of wall, 10m horizontal bars @ 18" o.c. + 15m vertical bars @ 16" o.c., -which when pinned top and bottom as noted will resist static & Hydro static pressures
- The 4" 25 MPa concrete floor slab w/ 6 x 6 6/6 W.W.M. c/w Pressure relief plugs (5) Required min. - (1) in each corner and (1) in centre of crawlspace) which will resist Hydro static pressure lifting the floor
- All Mechanical & Electric panel to be located above 176.81

All of these components are below 176.81m Geodetic unless noted otherwise

Foundation Detail

THIS STAMP APPLIES TO THE DESIGN OF THE FOUNDATION
ONLY - ALL OTHER ARCHITECTURAL and STRUCTURAL
ELEMENTS ARE THE RESPONSIBILITY OF OTHERS.

PROPOSED PROJECT For:		
Paul White & Jeannie Webber	SECTION LETTER A PAGE 1	PAGE: On
11 Rogers Ave	Long Point	SCALE: 0.2700" = 1'-0"
11 Rogers Ave	Long Point	APPROVED: By owners
PRINT DATE: January 18, 2022	SECTION LETTER A PAGE 1	PAGE: 8
PRINT DATE: January 18, 2022	SECTION LETTER A PAGE 1	PAGE: PRINT DATE: January 18, 2022



MIKE ROSS
877 Ireland Ross
Simcoe
Ontario N3Y 4K2
PHONE: 519-426-6985
FAX: 866-821-6135
mike@rossconstruction.ca



PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
11 Rogers Ave Long Point	On
APPROVED: By owners	PAGE:
SCALE: As Noted	1
PRINT DATE: February 17, 2022	
SECTION LETTER	PAGE NUMBERS
A	
	
BCIN: # 27639	
MIKE ROSS	
PHONE: 519-426-6985	
FAX: mike@rossconstruction.ca	
877 Ireland Ross Simcoe Ontario N3Y 4K2	



Front

SCALE: 3/16" = 1'-0"

PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
11 Rogers Ave Long Point	On
APPROVED: By owners	PAGE:
SCALE: 3/16" = 1'-0"	2
PRINT DATE: February 17, 2022	Front 2d
SECTION LETTER	
PAGE NUMBERS	
MIKE ROSS 877 Ireland Ross Simcoe Ontario N3Y 4K2	
LICENSED WITH THE ONTARIO MINISTRY OF HOUSING Certified Designer BCIN: # 27639 PHONE: 519-426-6985 FAX: mike@rossconstruction.ca	



PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
11 Rogers Ave Long Point	On
APPROVED: By owners	PAGE:
SCALE: 0.1750" = 1'-0"	4
PRINT DATE: February 17, 2022	East Side
SECTION LETTER	
PAGE NUMBERS	
BCIN: # 27639	
MIKE ROSS	
PHONE: 519-426-6985	
FAX: mike@rossconstruction.ca	
877 Ireland Ross	
Simcoe	
Ontario N3Y 4K2	



Side west

SCALE: 3/16" = 1'-0"

PROPOSED PROJECT For:	
Paul White & Jeannie Webber	PAGE:
11 Rogers Ave Long Point	On
APPROVED: By owners	
SCALE: 3/16" = 1'-0"	
PRINT DATE: February 17, 2022	
SECTION LETTER	PAGE NUMBERS
A	1 1
	BCIN: # 27639
MIKE ROSS 877 Ireland Ross Simcoe Ontario N3Y 4K2	PHONE: 519-426-6985 FAX: mike@rossconstruction.ca

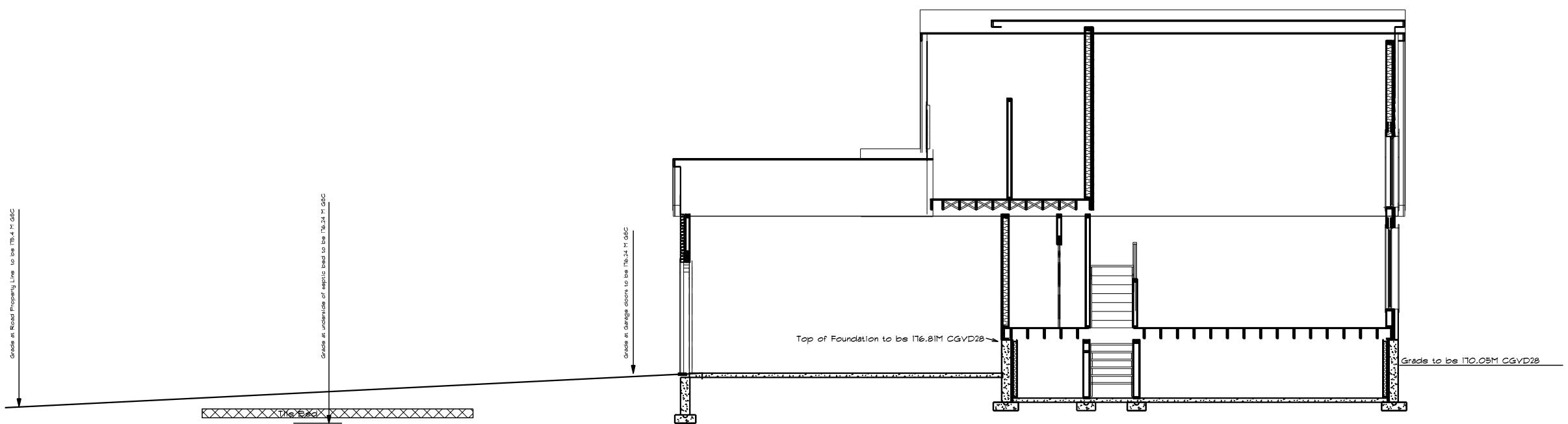
Grades at Road Property Line to be 116.4 M CGC

Grades at underside of septic tank to be 116.24 M CGC

Grades at Garage doors to be 116.24 M CGC

Top of Foundation to be 116.81M CGVD28

Grade to be 110.0BM CGVD28



A-A Section of Grades and Septic

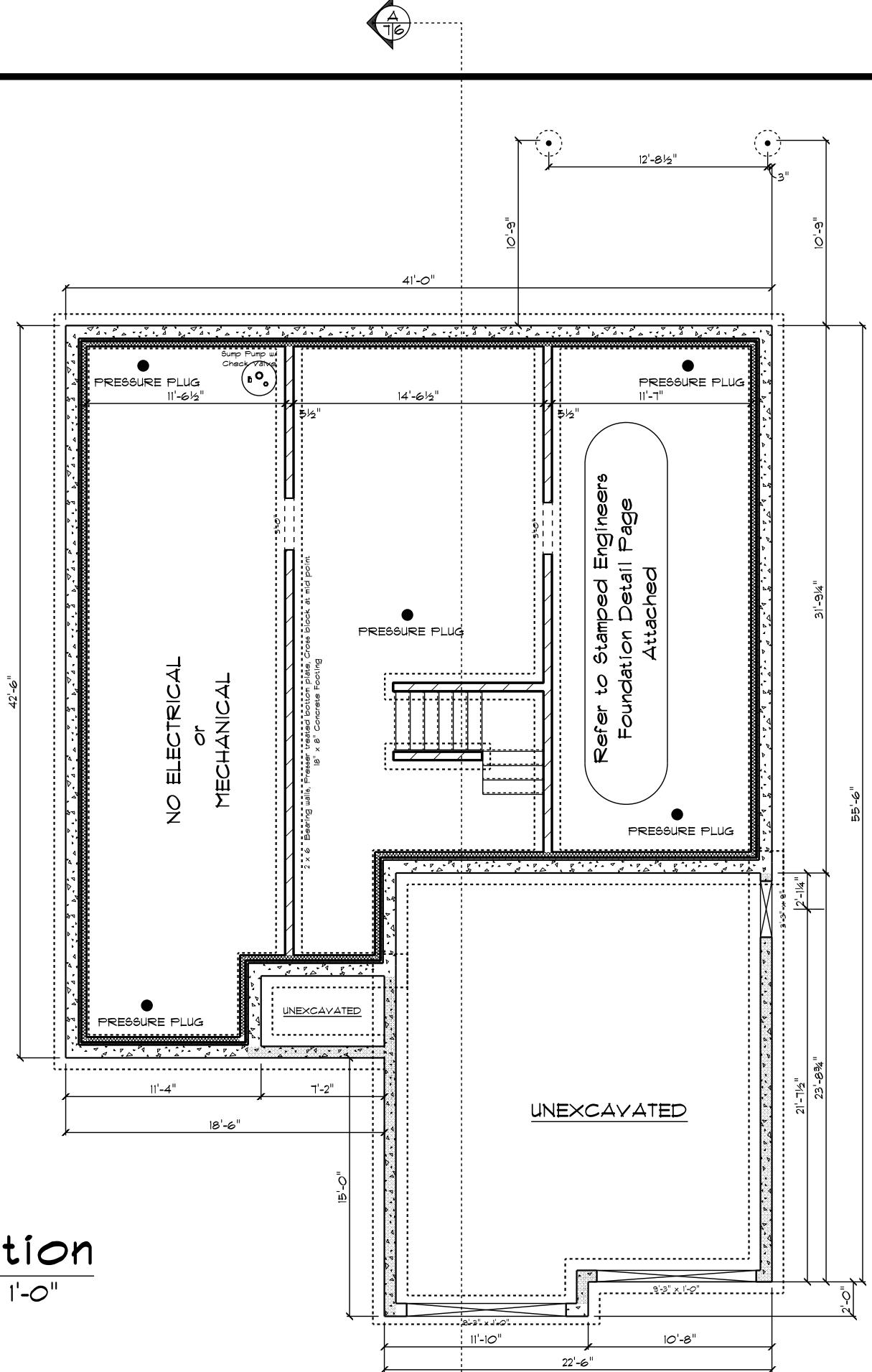
SCALE: 1" = 10'-0"

A
16

PROPOSED PROJECT For:		
Paul White & Jeannie Webber		
11 Rogers Ave Long Point	On	PAGE:
Approved: By owners		6
SCALE: 1" = 10'-0"		Section A
PRINT DATE: February 17, 2022		
SECTION LETTER	PAGE NUMBERS	
A	1 1	
		
LICENCED WITH THE ONTARIO MINISTRY OF HOUSING Certified Designer		
BCIN: # 27639	PHONE: 519-426-6985	FAX: mike@rossconstruction.ca
MIKE ROSS 877 Ireland Ross Simcoe Ontario N3Y 4K2		

Foundation

SCALE: 1/8" = 1'-0"



PROPOSED PROJECT | For:

Paul White & Jeannie Webber

11 Rogers Ave
Long Point
Ontario

MIKE ROSS
8877 Ireland Ross
Simcoe
Ontario N3V 1K2
PHONE: 519-426-6985
FAX: 519-426-6985
E-mail: mross@rossconstruction.ca

The image shows a red rectangular badge with white text. At the top, it says 'LICENCED IN THE' in small letters. Below that is 'ONTARIO MINISTRY' in large letters. Underneath that is 'OF HOUSING' in smaller letters. To the right of the text is a small circular logo containing a stylized flower or leaf design. To the right of the logo, the words 'Certified Designer' are written vertically. To the right of the badge, the number 'BCIN: # 27639' is printed vertically.

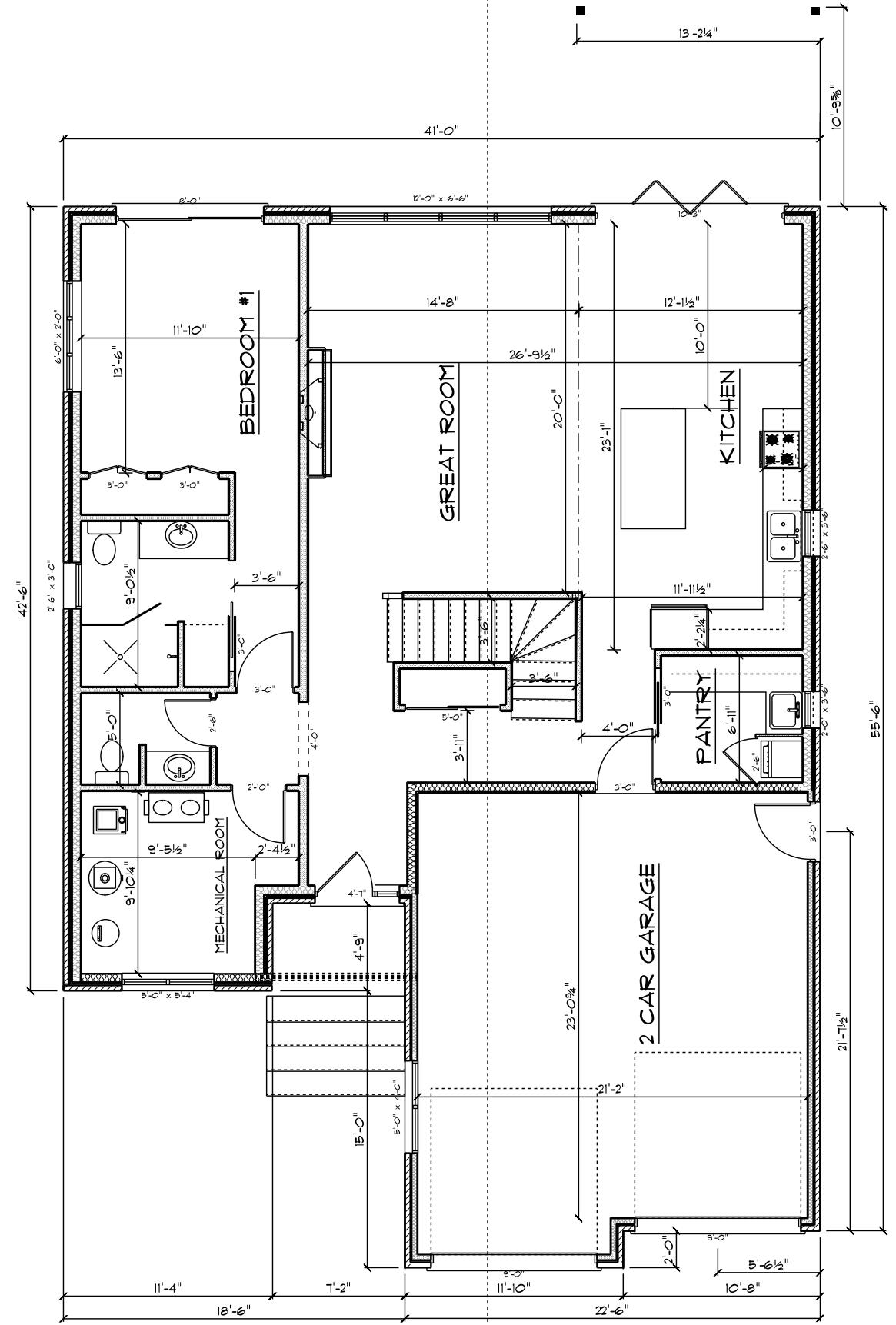
SECRET

MIKE ROSS
877 Ireland Ross
Simcoe
Ontario N3V 1K2
PHONE: 519-426-6985
FAX: 519-426-6985
E-MAIL: mross@rossconstruction.ca

APPROVED: By owners	PAGE: 7
SCALE: 1/8" = 1'-0"	
PRINT DATE: February 17, 2000	

MAIN FLOOR

SCALE: 1/8" = 1'-0"



ପାତା ୧୦୦

Paul White & Jeannie Webber
11 Bocars Ave

Long Point 111 Rogers Ave O
MOVED: By owners

SCALE: 1/8" = 1'-0"

Main Level

100

APPROVED: By owners

00

Main Level

100

The logo is a red rectangular badge with a white border. Inside, the text 'ONTARIO MINISTRY OF HOUSING' is written in a bold, sans-serif font, with 'ONTARIO MINISTRY' on the top line and 'OF HOUSING' on the bottom line. To the right of this text is a blue rectangular box containing the words 'Certified Designer' in white, sans-serif font.

3CIN: * 24639

1960

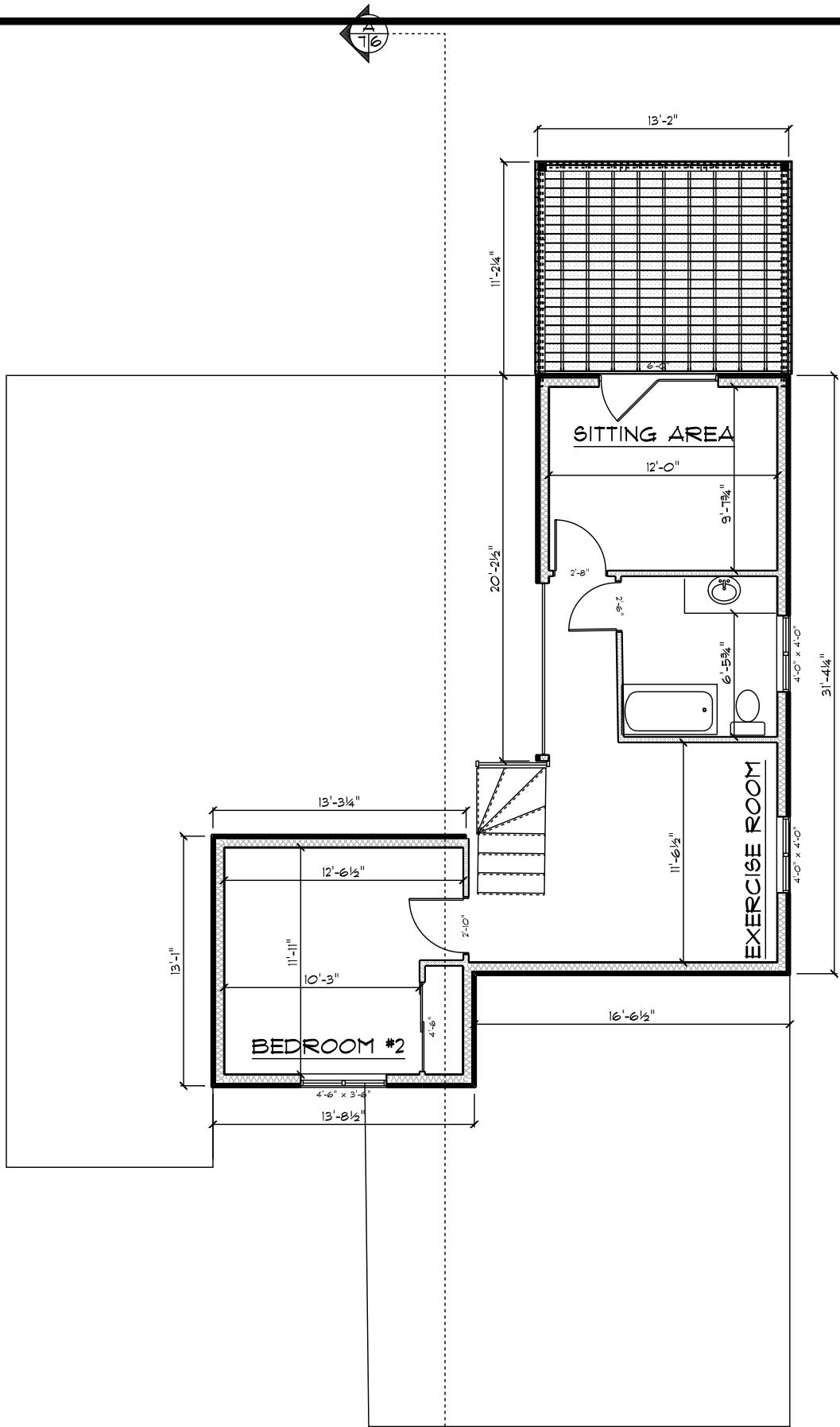
MIKE ROSS

777 Ireland Ross Simcoe
PHONE: 519-426-6985 FAX:

Ontario N3Y 4K2 Since 1988. mike@rossconstruction.

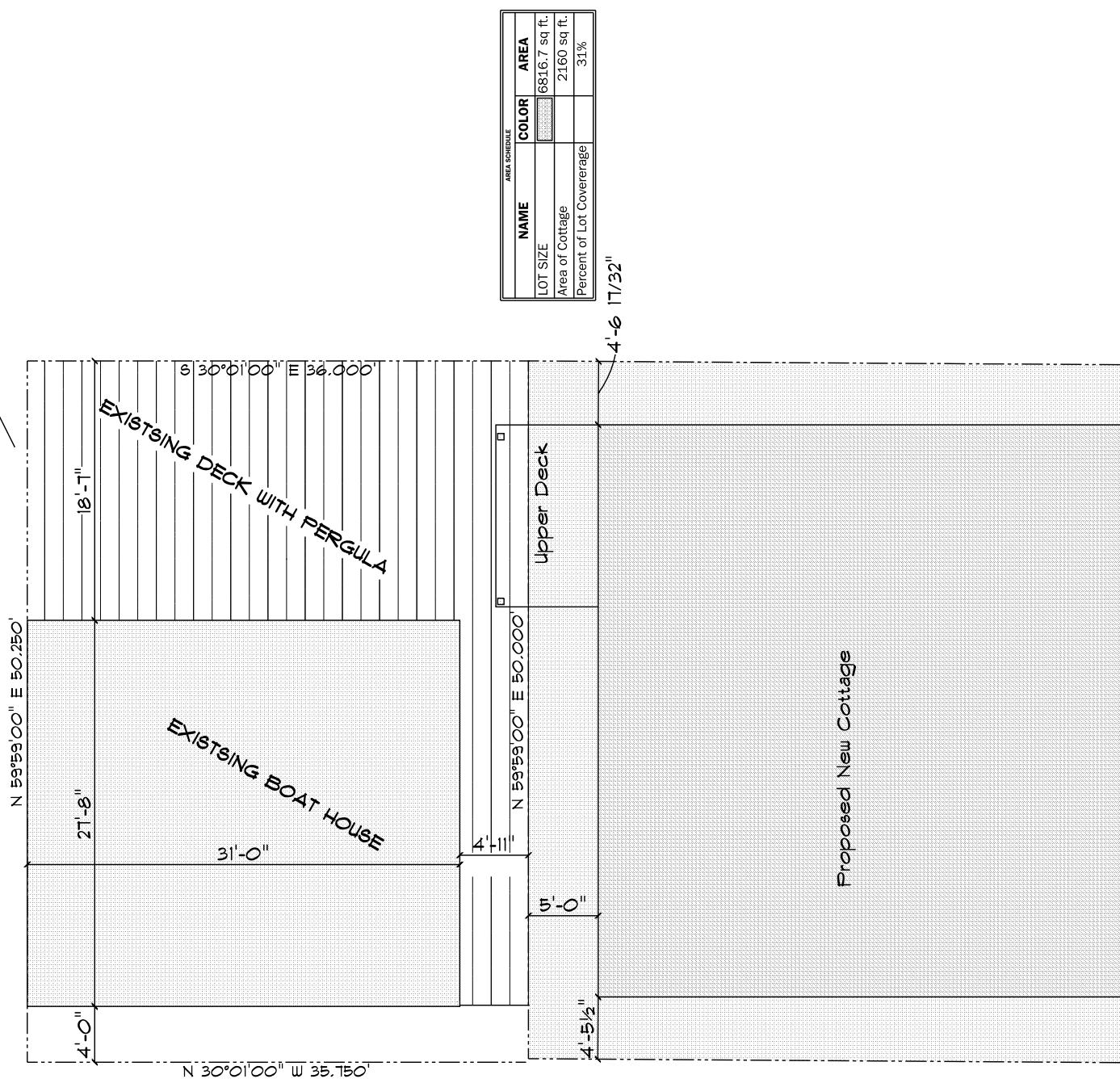
111

Upper
SCALE: 1/8" = 1'-0"



PROPOSED PROJECT For:	
Paul White & Jeannie Webber	
11 Rogers Ave Long Point	On
APPROVED: By owners	PAGE:
SCALE: 1/8" = 1'-0"	9
PRINT DATE: February 17, 2022	Upper Level
SECTION LETTER	
PAGE NUMBERS	
A	1
	
MIKE ROSS 877 Ireland Ross Simcoe Ontario N3Y 4K2	
PHONE: 519-426-6985 FAX: mike@rossconstruction.ca	
LICENCED WITH THE ONTARIO MINISTRY OF HOUSING Certified Designers	

WATER WAY



AREA'S SCHEDULE		NAME	COLOR	AREA
LOT SIZE				6816.7 sq ft.
Area of Cottage				2160 sq ft.
Percent of Lot Coverage				31%

4'-6 17/32"

4'-6 17/32"

4'-6 17/32"

4'-6 17/32"

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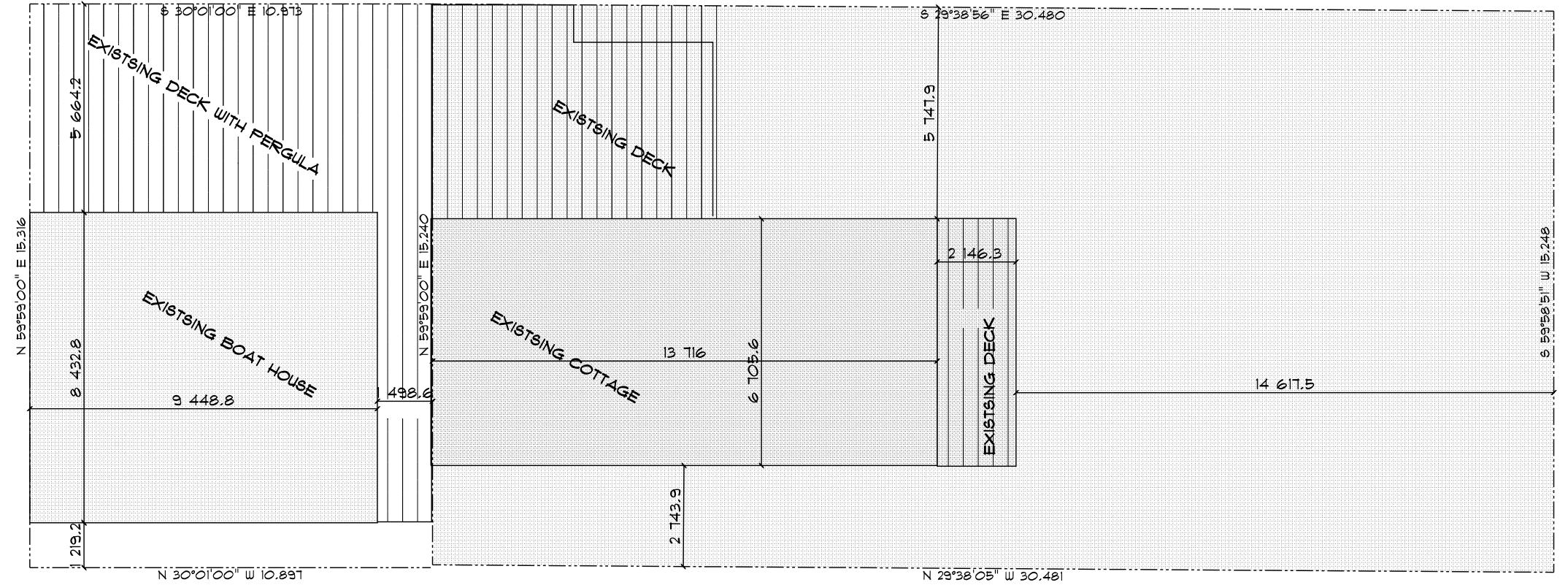
4'-6 17/32"

4'-6 17/32"

4'-6 17/32"

4'-6 17/32"

Water Way



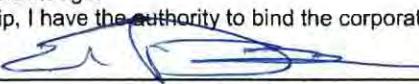
RODGERS AVE.

PROPOSED PROJECT For: Paul White & Jeannie Webber	
11 Rogers Ave Long Point PRINT DATE: February 17, 2022	SECTION LETTER A PAGE NUMBERS 1 1
APPROVED: By owners SCALE: 0.0800" = 1'-0" PAGE: 11	Existing Site Plan

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:	Permit number (if different):		
Date received:	Roll number:		
Application submitted to: <u>NORFOLK COUNTY</u> <small>(Name of municipality, upper-tier municipality, board of health or conservation authority)</small>			
A. Project information			
Building number, street name <u>11 Rogers Ave</u>		Unit number	Lot/con.
Municipality <u>NORFOLK COUNTY</u>	Postal code <u>N0E 1M0</u>	Plan number/other description	
Project value est. \$ <u>10,000</u>		Area of work (m ²)	
B. Purpose of application			
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Addition to an existing building <input type="checkbox"/> Alteration/repair <input type="checkbox"/> Demolition <input type="checkbox"/> Conditional Permit			
Proposed use of building <u>CLASS 4 Septic System</u>		Current use of building	
Description of proposed work <u>INSTALL A NEW SEPTIC SYSTEM TO SERVICE A NEWLY CONSTRUCTED COTTAGE</u>			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input checked="" type="checkbox"/> Authorized agent of owner			
Last name <u>DOVE</u>	First name <u>ED</u>	Corporation or partnership <u>STEALTH ENVIRONMENTAL INC.</u>	
Street address <u>24 WERRET AVE - Simcoe</u>		Unit number	Lot/con.
Municipality <u>NORFOLK</u>	Postal code <u>N3V 5N5</u>	Province <u>ONTARIO</u>	E-mail <u>billseptic@sympatico.ca</u>
Telephone number <u>(519) 426-7108</u>		Fax <u>(519) 426-3876</u>	Cell number <u>(519) 420-0266</u>
D. Owner (if different from applicant)			
Last name <u>WHITE / WEBBER</u> First name <u>PAUL & JEANNIE</u> Corporation or partnership			
Street address <u>11 Rogers Ave - Long Point</u>		Unit number	Lot/con.
Municipality <u>NORFOLK</u>	Postal code <u>N0E 1M0</u>	Province <u>ONTARIO</u>	E-mail
Telephone number <u>()</u>		Fax <u>()</u>	Cell number <u>()</u>

E. Builder (optional)			
Last name	First name	Corporation or partnership (if applicable)	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number ()	Fax ()	Cell number ()	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)			
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____			
G. Required Schedules			
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.			
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.			
H. Completeness and compliance with applicable law			
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act</i> , 1992, to be paid when the application is made.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act</i> , 1992.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act</i> , 1992 which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant			
I, <u>Ed Dove - STREATH ENVIRONMENTAL (BILLS SEPTIC)</u> declare that: (print name)			
<ol style="list-style-type: none"> The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. 			
<u>October 22/2021</u>	 Signature of applicant		
Date			

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act*, 1992, and will be used in the administration and enforcement of the *Building Code Act*, 1992. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name		Unit no.	Lot/con.
------------------------------	--	----------	----------

Municipality	Postal code	Plan number/ other description	
--------------	-------------	--------------------------------	--

B. Individual who reviews and takes responsibility for design activities

Name	Firm
------	------

Street address		Unit no.	Lot/con.
----------------	--	----------	----------

Municipality	Postal code	Province	E-mail
--------------	-------------	----------	--------

Telephone number ()	Fax number ()	Cell number ()
------------------------------	------------------------	-------------------------

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

<input type="checkbox"/> House	<input type="checkbox"/> HVAC – House	<input type="checkbox"/> Building Structural
<input type="checkbox"/> Small Buildings	<input type="checkbox"/> Building Services	<input type="checkbox"/> Plumbing – House
<input type="checkbox"/> Large Buildings	<input type="checkbox"/> Detection, Lighting and Power	<input type="checkbox"/> Plumbing – All Buildings
<input type="checkbox"/> Complex Buildings	<input type="checkbox"/> Fire Protection	<input type="checkbox"/> On-site Sewage Systems

Description of designer's work

D. Declaration of Designer

I _____ declare that (choose one as appropriate):
(print name)

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: _____

Firm BCIN: _____

I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: _____

Basis for exemption from registration: _____

The design work is exempt from the registration and qualification requirements of the Building Code.

Basis for exemption from registration and qualification: _____

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.
2. I have submitted this application with the knowledge and consent of the firm.

Date _____

Signature of Designer _____

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information

Building number, street name		11 Rogers Ave - Long Point		Unit number	Lot/con.
Municipality	NORFOLK	Postal code	N0E 1M0	Plan number/ other description	

B. Sewage system installer

Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?

Yes (Continue to Section C) No (Continue to Section E) Installer unknown at time of application (Continue to Section E)

C. Registered installer information (where answer to B is "Yes")

Name	Bill's Septic		BCIN	38413	
Street address	24 WELLS AVE Simcoe		Unit number	Lot/con.	
Municipality	NORFOLK	Postal code	N3E 5N5	Province	ONTARIO
Telephone number	(519) 426-7108	Fax	(519) 426-3876	E-mail	billseptic@sympatico.ca
				Cell number	(519) 420-0266

D. Qualified supervisor information (where answer to section B is "Yes")

Name of qualified supervisor(s)	Building Code Identification Number (BCIN)
Ed Dove	38259

E. Declaration of Applicant:

I, Ed Dove - Bill's Septic (STEALTH Environmental Inc.) declare that:
(print name)

I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;

OR

I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.

October 22/21



Date

Signature of applicant

Date Received: _____

Working together
with our community
to provide quality services.

January 2014, Form supersedes 2008

SEWAGE PERMIT WORKSHEET**SEWAGE SYSTEM SPECIFICATIONS**Location of Septic System (civic address) 11 Rocers Ave - Long PointOwner of Property: PAUL WHITE + JEANNIE WEBBERPropose to install Class 4 Sewage system to serve House
(house, bunkhouse, restaurant, office, commercial)**SEWAGE FLOW CALCULATIONS**

DESCRIPTION	TOTAL #	Fixture Units	TOTAL
Water closet (toilet)	<u>3</u>	x 4.0	<u>12</u>
Each sink or wash basin	<u>4</u>	x 1.5	<u>6</u>
Bath tub or shower	<u>2</u>	x 1.5	<u>3</u>
Dishwasher	<u>1</u>	x 1.0	<u>1</u>
Clothes washing machine	<u>1</u>	x 1.5	<u>1.5</u>
Single or Double Laundry Tubs	<u>1</u>	x 1.5	<u>1.5</u>
Floor Drain	<u>N/A</u>	x 3.0	<u>0</u>
Water Softener	<u>N/A</u>	x 1.5	<u>0</u>
Other			
		TOTAL FIXTURE UNITS =	<u>25</u>

RESIDENTIAL	OTHER (ie: bunkhouse, office , restaurant)
Total finished area: (sqm) <u>2160</u> (sq ft)	Total finished area: (sqm) (sqft)
# of bedrooms: <u>2</u>	# of employees:
Water softener discharge: <u>N/A</u> (L/day)	Water softener discharge: (L/day)
Daily flow rate (DFR): <u>1350</u> (L/day)	Daily flow rate (DFR): (L/day)
Tank size (2 x DFR): <u>3600 L</u> (L/day)	Tank size (3 x DFR): (L/day)

INSTALLER TO COMPLETE THE FOLLOWING:**Subsurface Conditions Encountered**

Rock & G G.W.T	Depth (m)	Soil Type
-0-		
-0.25-		
-0.50-		
-0.75-		
-1.0-		
-1.25-		
-1.50-		

Describe existing soil conditions: <u>SP</u>
Soils Analysis completed by: <u>NORFOLK SOILS ANALYSIS</u>
Confirmed Percolation Rate: (T time) <u>8</u>
Gradation Reports submitted: Sand <u>Y</u> / N
Stone <u>Y</u> / N



Working together
with our community
to provide quality services.

Date Received: _____

PROPOSE TO CONSTRUCT:

CLASS 1,2,3

CLASS 1 Privy Composting Chemical Electrical Other _____

CLASS 2: GREY WATER PIT

Wall Structure: Concrete Block Rock Other _____

Soil: Existing Imported (describe) _____

Dimension of Pit: Length: _____ Width: _____ Height: _____ Type of Cover: _____

CLASS 3: CESSPOOL

Describe: _____

CLASS 4: TANK

Distribution Box
 Using Existing
 New Govn't approved: Concrete Polyethylene Size (L): 3600 L
 Pump or siphon req'd: Head: _____ Runtime: _____ Horsepower: _____ Size of pump(L) _____

CLASS 4: LEACHING BED/ABSORPTION TRENCH

Dug into existing soil Imported Soil list type: _____ height: _____
(proof of filter material must be provided)

Length of Tile: _____ (m) _____ (ft) # of runs of tile: _____

CLASS 4: FILTER BED (proof of filter material to be provided prior to backfill) *See ATTACHMENT CALCULATIONS*

Pump or siphon req'd: Head: _____ Runtime: _____ Horsepower: _____ Size of pump(L) _____

Effective Area 18 (sqm) Contact Area 12.7 (sqm) Loading Rate: 75 L/DAY/m²

Height Raised: _____ #of runs of tile: _____ Length of tile _____ (m) _____ (ft)

CLASS 4: TREATMENT UNIT (attach Building Material Evaluation Committee Report (BMEC))

Pump or siphon req'd: Head: _____ Runtime: _____ Horsepower: _____ Size of pump(L) _____

Manufacturer & Model: _____ Daily Flow Rate _____ (L)

Primary Tank Size _____ (L) Secondary Tank Size _____ (L)

CLASS 5: HOLDING TANK (audio visual alarm, and a pump out contract is required)

Manufacturer & Model: _____ Size _____

11 Rogers Ave - Long Point

Filter Bed Calculations

$$\text{CONTACT AREA} = \frac{Q_t}{850} \quad \frac{1350 \times 8}{850}$$
$$= 12.7 \text{ m}^2$$
$$= 136.7 \text{ ft}^2$$

$$\text{EFFECTIVE AREA} = \frac{Q}{75} \quad \frac{1350}{75}$$
$$= 18 \text{ m}^2$$
$$= 193.75 \text{ ft}^2$$

Filter Bed will be $18 \text{ m}^2 = 193.75 \text{ ft}^2$

Design will show a $14 \text{ ft} \times 14 \text{ ft}$ Filter Bed
 $(4.27 \text{ m} \times 4.27 \text{ m})$

Date Received: _____



SEPTIC SYSTEM LOCATION PLAN

OWNER WHITE / Webber EVALUATOR Ed Dove - Bill's Septic

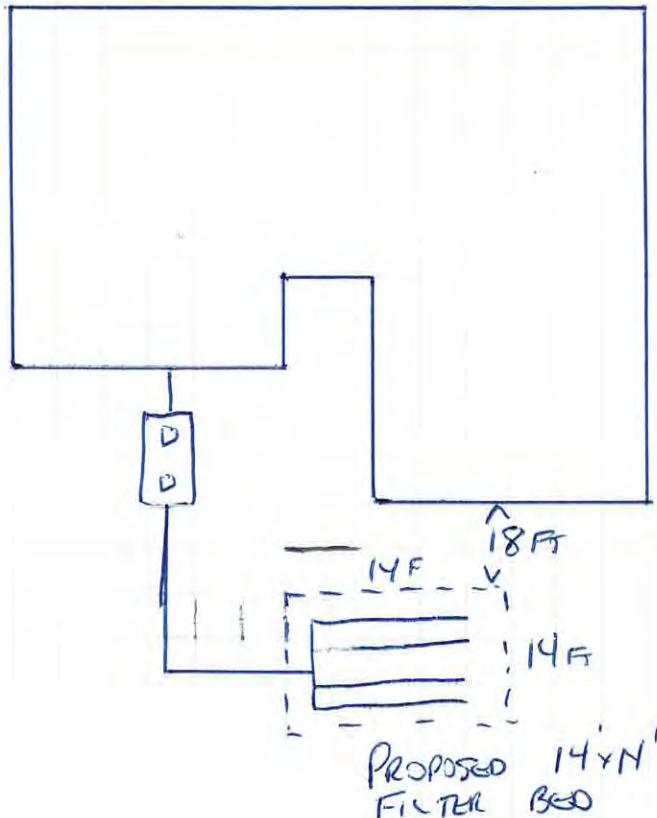
PROPERTY ADDRESS 11 Rogers Ave LONG POINT, ON

Please provide a DIMENSIONED sketch drawing indicating;

1. Outline of property and all dimensions
2. Detailed sewage system diagram, including dimensions of leaching bed, mantle, tank location, pump chamber, etc.
3. Setbacks from existing and proposed buildings, wells (including neighbours) lakes, streams, ponds, water drainage courses.
4. Location of subsurface drainage, tiles, culverts or other structural features.
5. Existing or proposed driveways, easements, right of ways, drainage patterns.
6. Indicate any areas of disturbed, compacted, imported or altered soils.



EXACT AS BUILT
TO BE SUBMITTED



ALL REQUIRED SETBACK
DISTANCES TO BE
MET OR EXCEEDED

PROPERTY BOUNDARIES
WILL BE OVER 10 FT (3M)
IN ALL DIRECTIONS
FROM SEPTIC SYSTEM
COMPONENTS

PREPARED BY: _____ NOTE: The above sketch is not to exact scale.

NORFOLK SOILS ANALYSIS

(a division of 002068251 Ontario Inc.)

55 Gibson Drive, Simcoe ON N3Y3L1, 519 410 6111, email: norfolksoils@gmail.com

September 29, 2021

Invoice #: 2021165

To: Bill's Septic Ltd
24 Werret Avenue
Simcoe ON N3Y 5N5

Project: Soils Analysis Property of White/Weber, 11 Rogers Avenue, Long Point ON, Norfolk County

Soils analysis in accordance with Section 8.2.1.2 of the Ontario Building Code, The Unified soil Classification System, and ASTM D6913 of which the distribution graph representing the sample provided is attached.

Based on the testing of the materials as provided for testing, It is our opinion that the **Percolation Rate is $T = 8 \text{ min/cm}$** . The drainage characteristics of the soil for the proposed septic system appears to be suitable for an in-ground leeching bed system.

The Laboratory Classification of the soils SP – Poorly Graded Sand, with low fines <12% specifically 5.18% of soil passing the No #200 sieve.

The Coefficient of Uniformity = 1.80

Coefficient of Curvature = 1.85

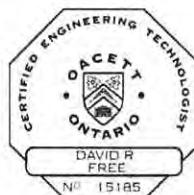
I trust this meets with your requirements for the soil sample provided.

Yours Truly,

D Free

D. R. Free, MBA, CPA, CET
BCIN 109582

Encls



NORFOLK SOILS ANALYSIS

Sieve Analysis Data Sheet

ASTM D422-63(2007)

Project Name:	SA2021165	Tested By:	DRF	Date:	2021-09-29
Location:	11 Rogers Avenue, Long Point ON, Norfolk County	Checked By:	DRF BCIN 109582	Date:	2021-09-29
Client	Bill's Septic Ltd 24 Weret Avenue Simcoe ON N3Y 5N5	Property Owner	White/Weber		
Boring No:	NA	Test Number:	1		
Sample Depth:	NA	Gnd Elev.:	NA		

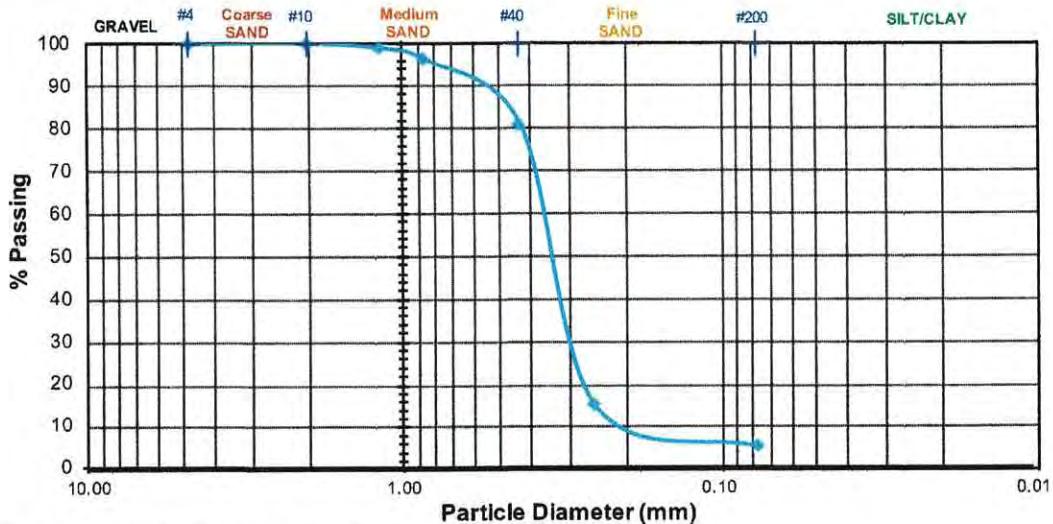
USCS Soil Classification: SP – Poorly Graded Sand, with fines <12%

AASHTO Soil Classification: A-1-a

Weight of Container (g): 76.0
Weight of Dry Sample (g): 579.1

Weight of Container & Soil (g): 701.1
Moisture Content %: 7.4%

Sieve Number	Diameter (mm)	Mass of Sieve (g)	Mass of Sieve & Soil (g)	Soil Retained (g)	Soil Retained (%)	Soil Passing (%)
#4	4.75	749.6	749.6	0.0	0.0	100.0
#10	2.00	670.0	670.0	0.0	0.0	100.0
#16	1.18	653.0	659.1	6.1	1.1	98.9
#30	0.85	582.6	598.3	15.7	2.7	96.2
#50	0.43	561.6	650.5	88.9	15.4	80.9
#100	0.25	529.2	910.2	381.0	65.8	15.1
#200	0.075	513.1	570.5	57.4	9.9	5.2
Pan		283.1	313.1	30.0	5.2	0.0
		TOTAL:	579.1	100.0		



Grain Size Distribution Curve Results:



% Gravel: 0.000
% Sand: 94.820
% Fines: 5.180
100.000

D_{10} : 0.200
 D_{30} : 0.300
 D_{60} : 0.360

C_u : 1.80
 C_c : 1.852

Notice to Reader & Limitations:

These test results are unique to this soil sample and for the client as identified on the date for which the tests were performed. These test results cannot be used by any other party other than the client stated above within the text of this report without the consultants prior written approval.

LPRCA APPROVAL

Paige Vroom <paigevroom@gmail.com>

Thu, Mar 10, 9:01
AM

to planning

Hi there,

I am reaching out because Norfolk County is requesting that we do so. Mike Ross is proposing to tear down and replace a cottage at 11 rogers ave in long point. We are writing the species at risk letter of opinion. He has already received a permit from the LPRCA carry out his project. so I am just confirming, in writing, (for Norfolk County) that there are no concerns related to environmental impact.

Please respond to this email here

Cheers, Paige

VROOM + LEONARD

Biologists & Landscape Architects

Wed, Mar 16, 11:49
AM

planning

to Shae-Lynn, me

Good morning,

Thank you for your patience regarding staff's response.

At this time, LPRCA has no concerns related to environmental impact at 11 Rogers in Long Point.

Please contact me if you have further questions.

Have a great day,

Isabel Johnson, Resource Planner

Long Point Region Conservation Authority

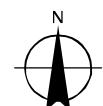
4 Elm Street, Tillsonburg, ON. N4G 0C4

Office:519-842-4242 ext. 229. Email: ijohnson@lprca.on.ca

Please note that the LPRCA Administration Office, Conservation Education Centre and Waterford Workshop are currently closed to the public. For more information, visit www.lprca.on.ca.

CONTEXT MAP

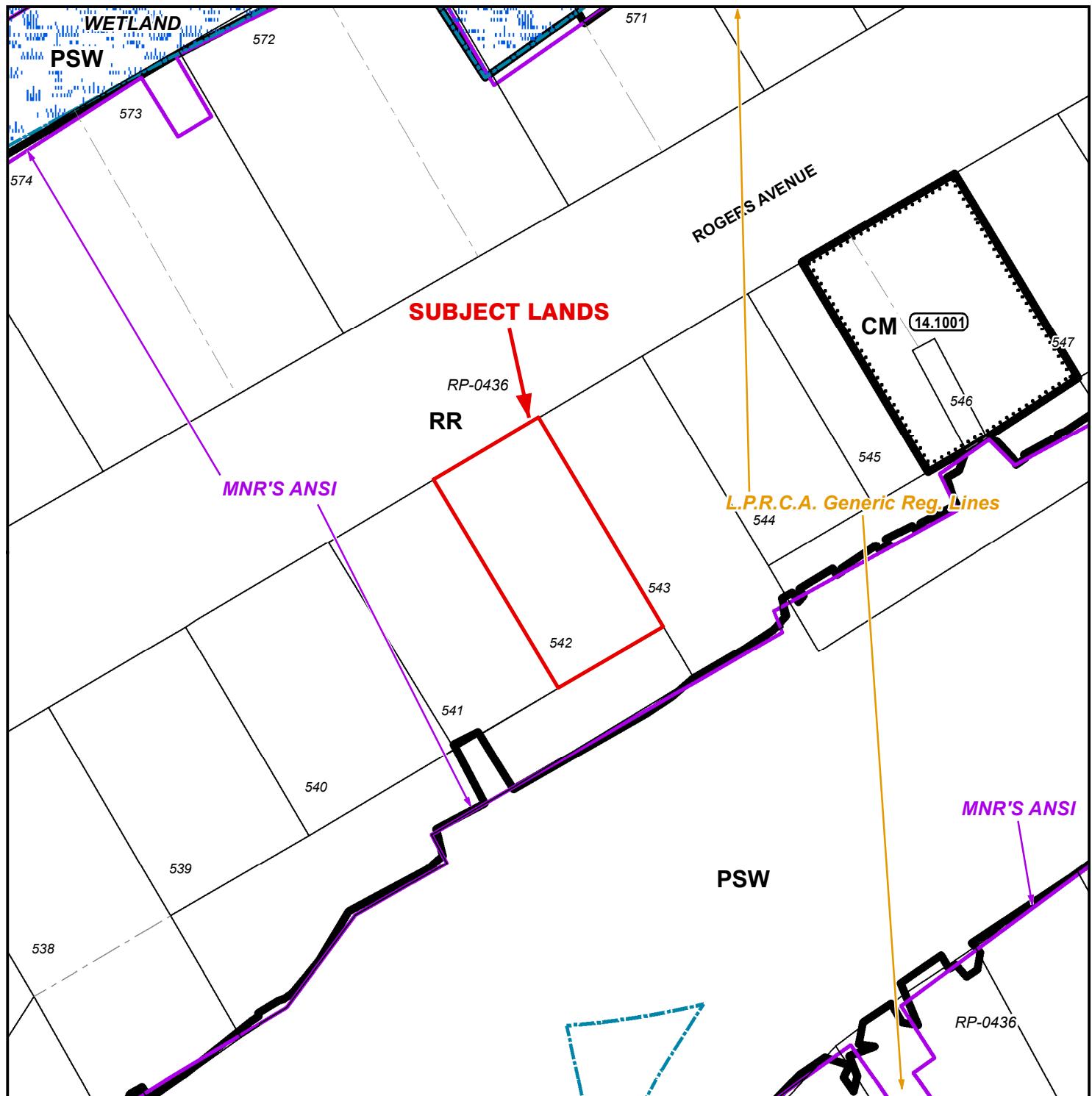
Geographic Township of SOUTH WALSINGHAM

**Legend** Subject Lands

10 5 0 10 20 30 40 Meters

ZONING BY-LAW MAP

Geographic Township of SOUTH WALSINGHAM



LEGEND

- Subject Lands
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

ZONING BY-LAW 1-Z-2014

(H) - Holding

CM - Marine Commercial Zone

PSW - Provincially Significant Wetland Zone

RR - Resort Residential Zone

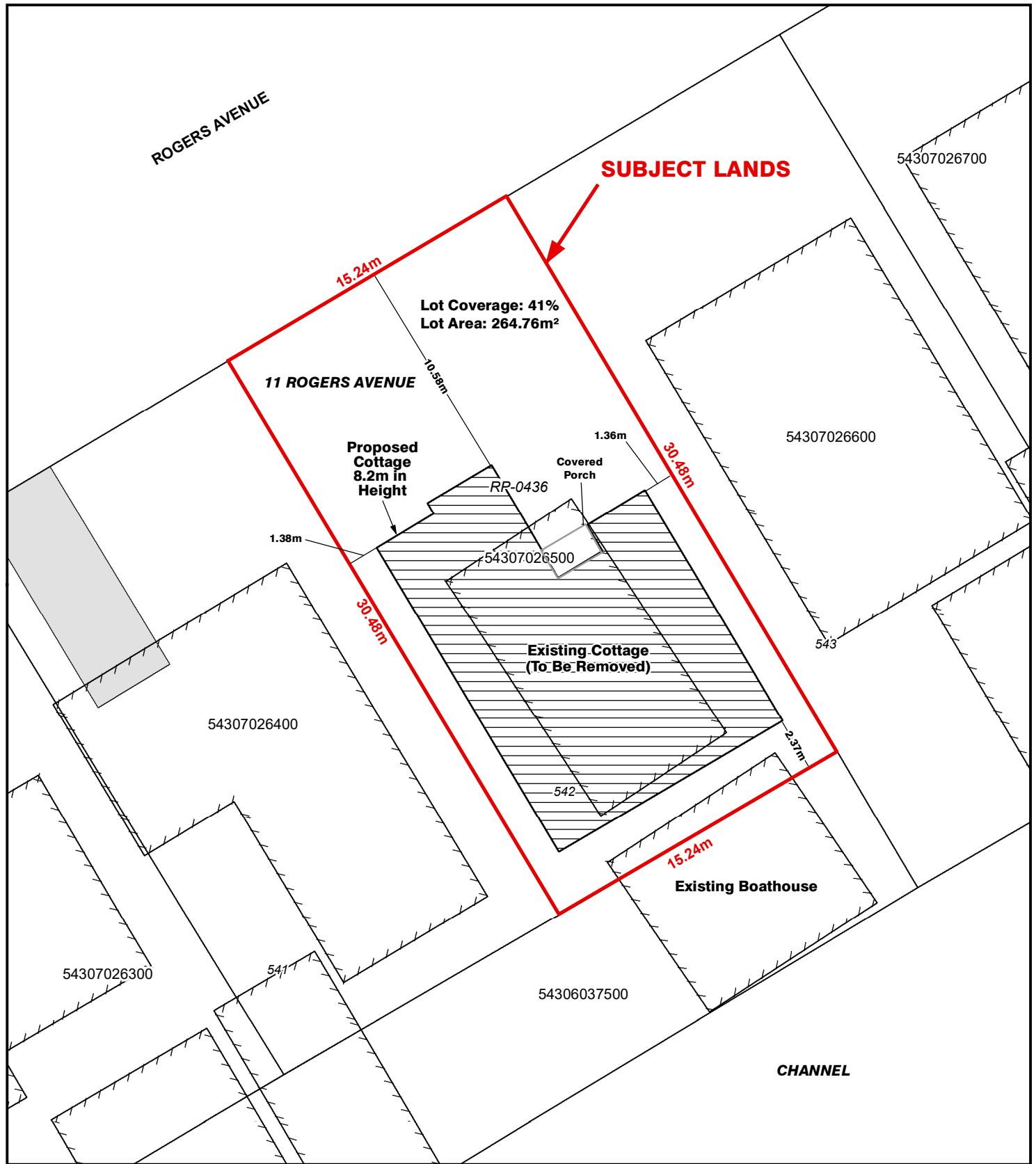
5/11/2022

7.5 3.75 0 7.5 15 22.5 30 Meters



CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands



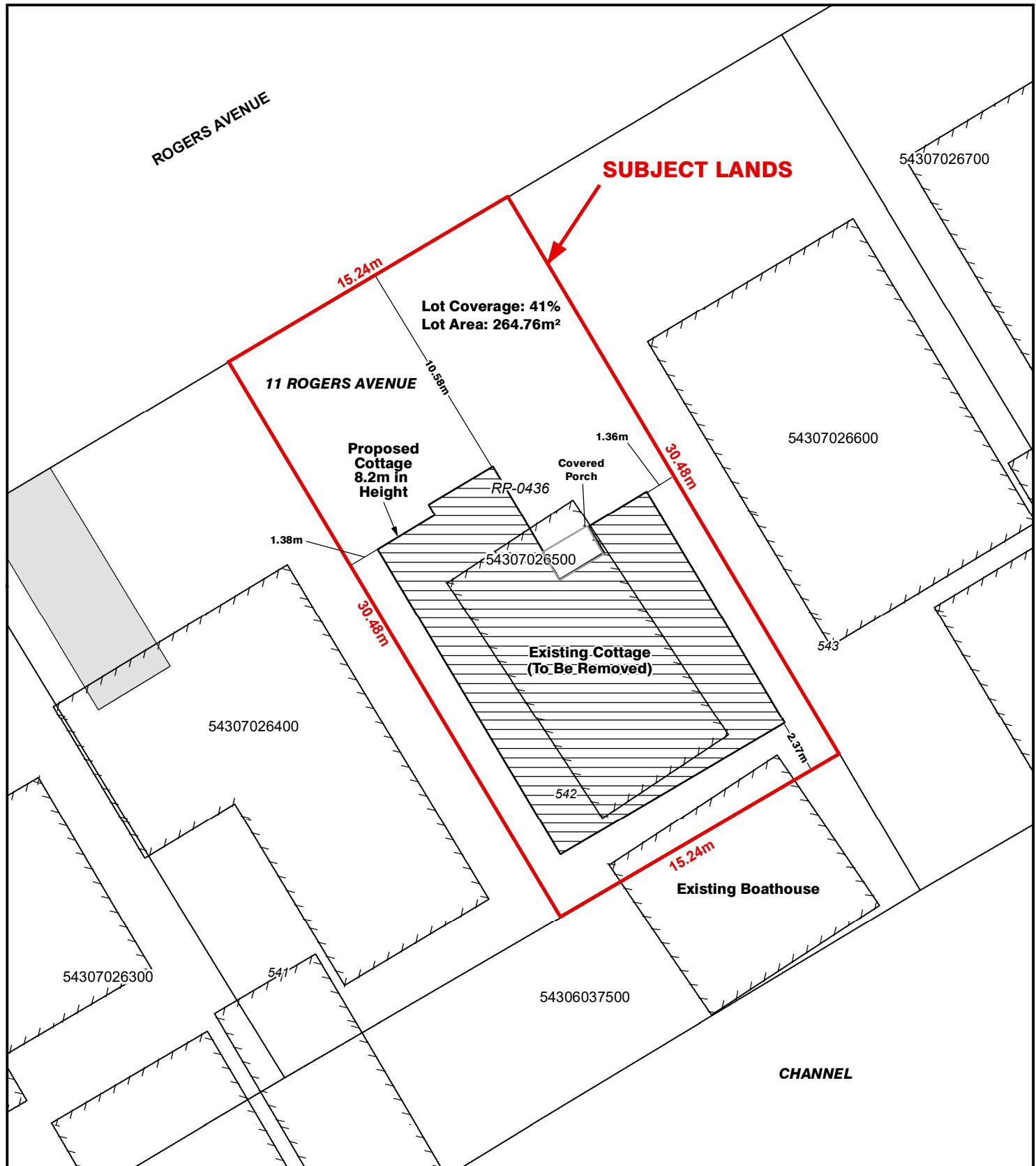
2 1 0 2 4 6 8 Meters

LOCATION OF LANDS AFFECTED

ANPL2022112

CONCEPTUAL PLAN

Geographic Township of SOUTH WALSINGHAM



Legend

Subject Lands



2 1 0 2 4 6 8 Meters