

For Office Use Only:

File Number	<u>ANPL2021134</u>	Application Fee	<u>Paid ✓</u>
Related File Number	_____	Conservation Authority Fee	_____
Pre-consultation Meeting	_____	Well & Septic Info Provided	_____
Application Submitted	<u>May 2/21</u>	Planner	<u>N. GOOPBRAND</u>
Complete Application	<u>May 26/21</u>	Public Notice Sign	_____

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 404 - 070 - 86630

A. Applicant Information

Name of Owner JASON SMITH

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 689 NORFOLK ST. N.

Town and Postal Code SIMCOE, ON, N3Y3R3

Phone Number 519-428-0934

Cell Number 519-420-8877

Email 1DIGGER1@HOTMAIL.CA

Name of Applicant AGENT

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____



Name of Agent DAVID MCPHERSON
Address 8 CULVER LANE
Town and Postal Code SIMCOE, ON, N3Y 5C8
Phone Number 519-426-7295
Cell Number 519-427-6483
Email DAVID-A-MCPHERSON@HOTMAIL.COM

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

LOT 10 PLAN 1216
SIMCOE

Municipal Civic Address: 24 WEMBLEY COURT, SIMCOE

Present Official Plan Designation(s): URBAN RESIDENTIAL

Present Zoning: R1-B

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

RESIDENTIAL, SINGLE FAMILY DWELLING

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

SEE ATTACHED SITE PLAN

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

N/A

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

- ARCHITECTURAL PLANS ATTACHED .

- SITE PLAN ATTACHED

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No
- If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

18 YEARS - HOUSE BUILT IN 2003

9. Existing use of abutting properties:

RESIDENTIAL

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, for example: m, m ² or %		
Lot frontage	<u>12.5 m</u>	<u>SAME</u>
Lot depth	<u>49 m</u>	<u>SAME</u>
Lot width	<u>40 m</u>	<u>SAME</u> PIE SHAPED LOT
Lot area	<u>971.2 sqm</u>	<u>SAME</u>
Lot coverage		<u>11.53 %</u>
Front yard		<u>35 m</u>
Rear yard		<u>1.6 m</u>
Left Interior side yard		<u>30 m</u>
Right Interior side yard		<u>1.4 m</u>
Exterior side yard (corner lot)		<u>N/A.</u>

2. Please outline the relief requested (assistance is available):

RELIEF OF 1.7 m HEIGHT, 1.53 % LOT COVERAGE, 42.7 SQM USABLE FLOOR AREA.

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law: THIS LOT IS THE ONLY ONE ON WEMBLEY COURT WITHOUT A GARAGE. OWNER PROPOSES GARAGE TO HOUSE RECREATIONAL TRAILER THAT REQUIRES A 12' DOOR OPENING, WHICH IN TURN REQUIRES A 14' WALL. USABLE FLOOR AREA IS INCREASED AS LOT SHAPE

4. Description of land intended to be severed in metric units: DILATED A HOLKEY STICK SHAPED BUILDING.

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (for example: corn, orchard, livestock) _____
Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

SITE VISIT TO PROPERTY & INTERVIEW WITH OWNER



4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

URBAN RESIDENTIAL AREA OF SIMLOE

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

NOT WITHIN A WHPA

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

N/A

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

~~Water Supply~~

- Municipal piped water
 Individual wells

- Communal wells
 Other (describe below)

~~Sewage Treatment~~

- Municipal sewers
 Septic tank and tile bed in good working order

- Communal system
 Other (describe below)

~~Storm Drainage~~

- Storm sewers
 Other (describe below)

- Open ditches

2. Existing or proposed access to subject lands

- Municipal road
 Unopened road

- Provincial highway
 Other (describe below)

Name of road/street:

WEMBLEY COURT, SIMCOE

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

SEE ATTACHED PLANNING BRIEF
PREPARED BY LANDPRO

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

- ✓ 1. Concept/Layout Plan
- ✓ 2. All measurements in metric
- ✓ 3. Existing and proposed easements and right of ways
- N/A 4. Parking space totals – required and proposed
- ✓ 5. All dimensions of the subject lands
- ✓ 6. Dimensions and setbacks of all buildings and structures
- N/A 7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
- ✓ 8. Names of adjacent streets
- N/A 9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition
- Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Jason Smith
Owner/Applicant/Agent Signature

April 26/21
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We JASON SMITH am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize DAVID M'PHERSON to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Jason Smith
Owner

April 26/21
Date

Owner

Date

OWNER'S AUTHORIZATION

I/we JASON SMITH am/are the registered owner(s) of the land that is the subject of this application.

I/we authorize **DAVID MCPHERSON** to make this application on my/our behalf and to act on my/our behalf as my/our authorized agent during the processing of this application.

Moreover, this shall be your good and sufficient authorization for so doing.

Jason Smith
OWNER

April 26 2021
DATE

OWNER

DATE

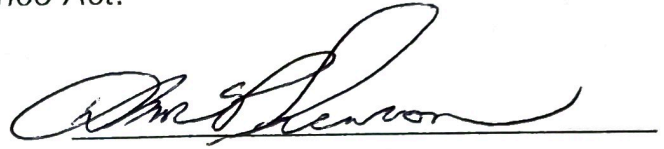
K. Declaration

I, DAVID MCKERSON of SIMCOE

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:



Owner/Applicant/Agent Signature

In NORFOLK COUNTY

This 29th day of APRIL 2021

A.D., 20____



A Commissioner, etc.

Sherry Ann Mott, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2023.



Planning Brief – Minor Variance Application

24 Wembley Court, Simcoe

RECOMMENDATION

Three (3) deficiencies have been found in the proposed development that require County permission before construction may occur.

The deficiencies identified are:

1. **Building Height** – Exceeds the maximum permitted by 1.70 m.
2. **Lot Coverage** – Exceeds the maximum permitted by 1.53 %.
3. **Usable Floor Area** – Exceeds the maximum permitted by 42.7 m².

It is our opinion that these variances meet the tests under the Planning Act and are appropriate. Accordingly, we recommend that this application represents good planning and should be approved by the County.

INTRODUCTION

LandPro Planning Solutions (LandPro) was contacted by McPherson Corporate (Client), to help obtain planning approvals to make possible the construction of a detached garage in the property located at 24 Wembley Court, Simcoe.

The subject property is located at the end of Wembley Ave. parallel to Norfolk St. North and north of Davis St. East.

The property is presented in **Figure 1 and Figure 2**.



Figure 1 - Subject Property (denoted with red marker)
source: Norfolk County Interactive Zoning Map

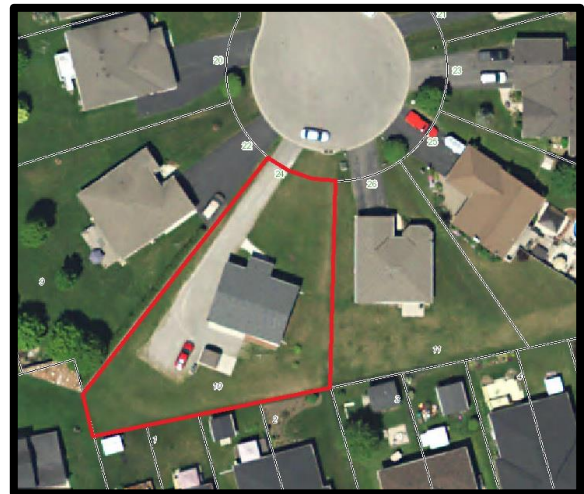
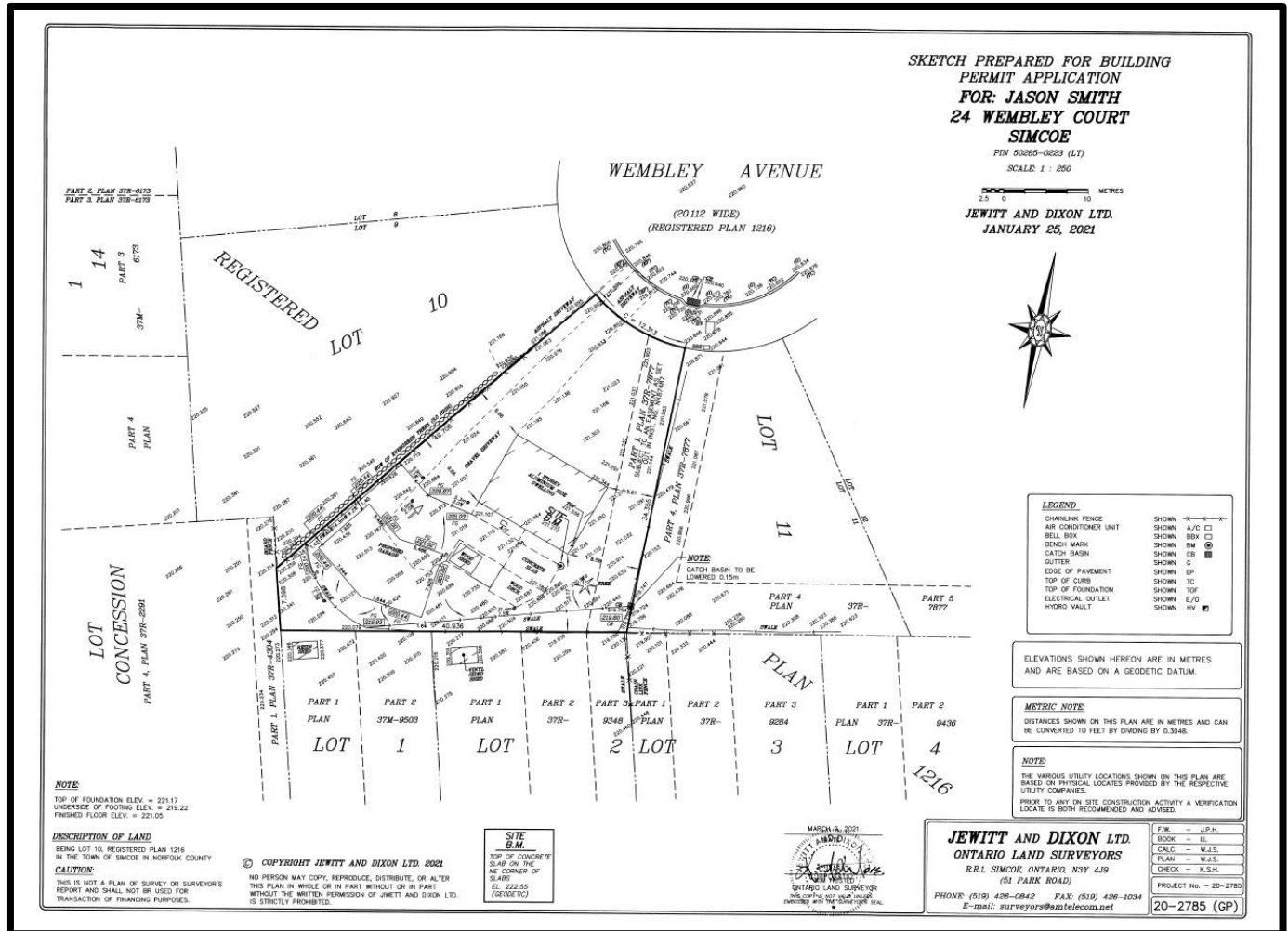


Figure 2 - Close-up of Subject Property (denoted with red marker)

24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson

Figure 3 - Property Survey with proposed garage.



PURPOSE

This memo is to review the development as proposed to determine what County permissions are required. Specifically, if a Minor Variance can be supported.

PROPOSED DEVELOPMENT

Details of this development are provided in Figure 3 and 4 (Architectural Drawings, The Building Guy, February 2021). The application is for a proposed detached garage, which is considered an accessory building.

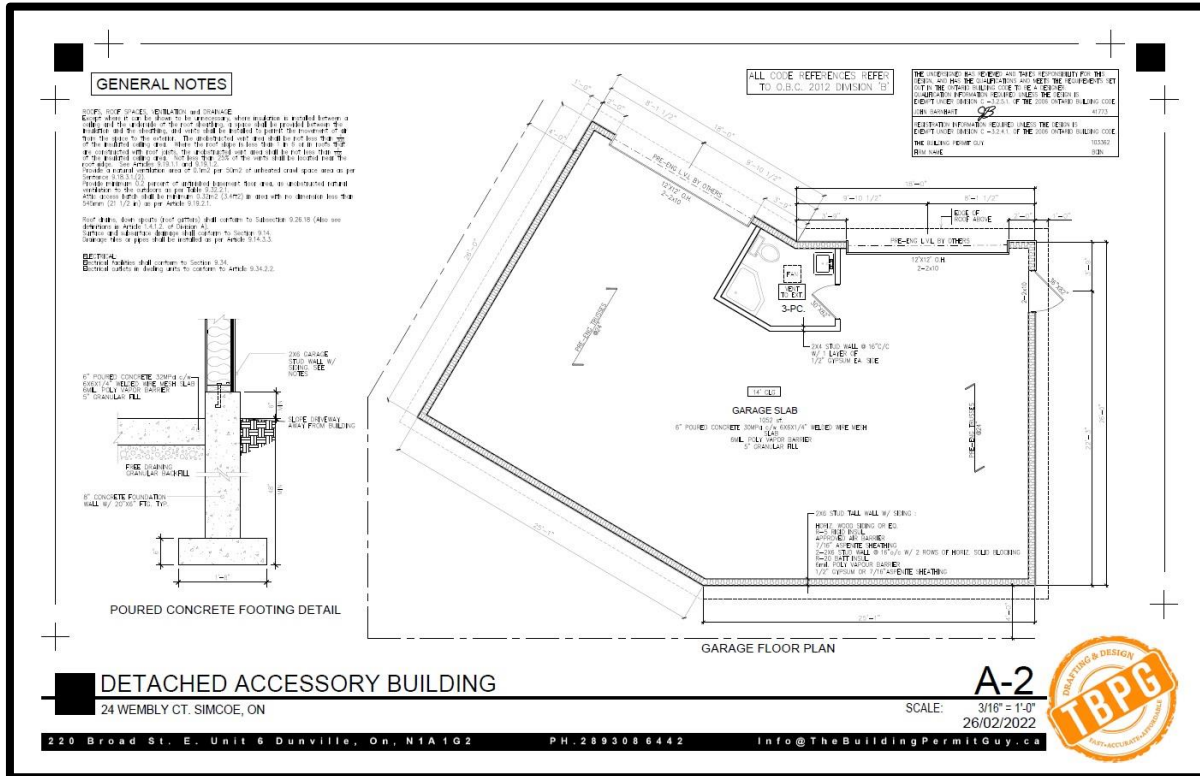


24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson

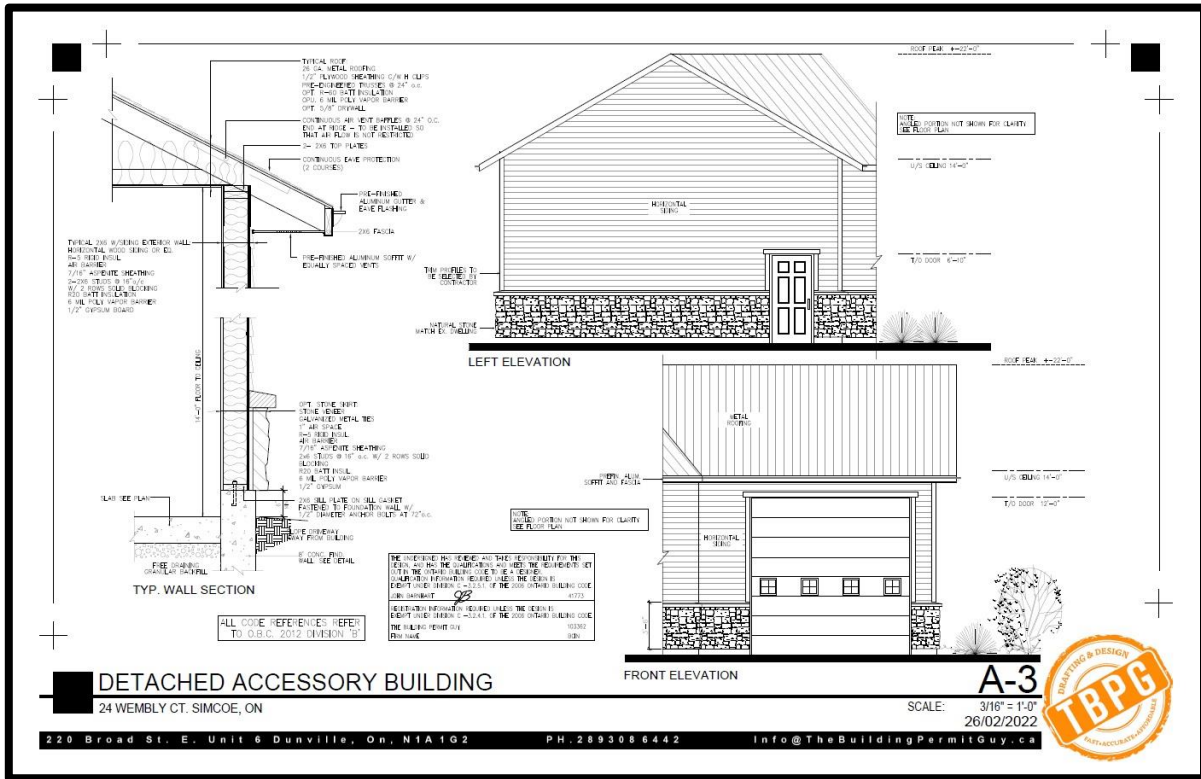
The proposed building is one (1) storey and contains one (1) washroom. The dwelling proposes a usable Floor Area of 97.7 sq.m. (1,052.00 sq.ft.)

Figure 3 and 4: Architecture drawing, resource: TBPg.



24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson



ANALYSIS

Located in the Simcoe, Norfolk County, the planning framework applying to this property includes provincial and County policy and zoning, which is addressed below.

Norfolk County Official Plan

The subject property is designated Urban Residential in the Norfolk County Official Plan. Permitted uses include single detached dwellings and related accessory structures, which is proposed in this application.

This application conforms with the Norfolk County Official Plan.

The Zoning By-law of Norfolk County 1-Z-2014

Based on Zoning By-law No. 1-Z-2014, the property is zoned **Urban Residential Type 1 Zone (R1)**.

For the subject property, the uses permitted are:



24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson

- a) Dwelling, single detached
- b) Bed & breakfast
- c) Home occupation
- d) Accessory residential dwelling unit

Accessory buildings are regulated by subsection 3.2.1 “Accessory uses to residential uses”.

According to our review of the drawings, the following deficiencies in the Plans are noted in **Table 1**. In this table, **GREEN** is good, **BLACK** is acceptable, and **RED** means change required.

Table 1 - Zoning Deficiencies

Provision	Required	Proposed	Difference	Comments
BUILDING HEIGHT	Max. 5.00 m	6.70 m	+1.70 m	The proposed accessory building exceeds the maximum height permitted by 1.70m.
MINIMUM FRONT YARD	6.00 m	< 6.00m	N/A	No deficiency found.
MINIMUM EXTERIOR SIDE YARD	6.00 m	N/A	N/A	The minimum exterior side yard is not applicable to this property.
MINIMUM INTERIOR SIDE YARD	1.20 m	1.40 m	1.40 m	No deficiency found.
MINIMUM REAR YARD	1.20 m	1.64 m	1.64 m	No deficiency found.
LOT COVERAGE	Max. 10.00%	11.53%	+1.53%	The proposed accessory building exceeds the maximum percentage and area permitted by 1.53%.
USABLE FLOOR AREA (m²)	Max. 55.00	97.7	+42.70	The proposed accessory building exceeds the maximum Usable Floor Area by 57.00 Sq.m.

24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson

Three (3) deficiencies have been found in the proposed development. Together the deficiencies need to be reviewed to determine if they are minor. To do that, they must be considered based on Section 45(1) of the Planning Act.

Minor Variance Tests

Section 45(1) of the Planning Act permits the Committee of Adjustment to grant Minor Variances from the Zoning By-law provided they meet what is known as the four (4) tests. Our analysis of the tests is provided below.

1. Is the variance minor in nature?

The proposed building is for a detached double private garage. In the design, 3 variances were found.

Even when this proposal has double the Usable Floor Area permitted for an accessory building, it passes the maximum percentage of lot coverage only in 1.53%, which is not significant. The additional height is required to accommodate the applicant's recreational vehicles, which are best stored inside for protection from the weather and theft.

The new accessory building presents a design that respects the character of the neighbourhood, the height exceeds the maximum permitted by 1.70 m. which does not appear to impact the adjacent properties. The building is also in the back yard of the property, further reducing its visual impact.

The variances, in our opinion meets the test for minor.

2. Is the Variance Desirable and Appropriate?

The use of the proposed accessory building is compatible with the existing neighbourhood. This is the only property in this neighbourhood that does not have an attached garage. The improvement of the property with the new double garage is desirable and appropriate, partially because it will provide a suitable storage area for recreational vehicles, and also because it will remove these same vehicles from public view, improving the resulting streetscape.

3. Does the Variance Maintain the General Intent and Purpose of the Official Plan?

The subject property is designated as Urban Residential, which permits a variety of houses, including single detached dwellings as are found in this immediate area.

This application proposes a new accessory building associated with a single-detached dwelling, a permitted use.

The proposed development conforms with the Norfolk County Official Plan.

24 Wembley Ave., Simcoe: Minor Variance Application

David McPherson

4. Does the Variance Maintain the General Intent and Purpose of the Zoning By-Law?

The general intent and the purpose of the Norfolk County Zoning By-Law is to maintain the character of the neighbourhood, applying several specific requirements, according to the property location, and design.

The proposed development maintains the general character of the neighbourhood, and the variances would maintain the general intent and purpose of the Norfolk County Zoning By-Law.

Respectfully Submitted,

LANDPRO PLANNING SOLUTIONS INC.



Michael Sullivan, RPP, EP
President | Principal Planner

Original Signed by

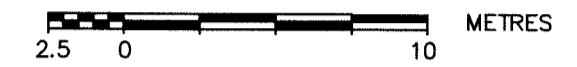
Macarena Rojas, CPT
Designer | Technician

cc. Dave McPherson

SKETCH PREPARED FOR BUILDING
 PERMIT APPLICATION
 FOR: JASON SMITH
 24 WEMBLEY COURT
 SIMCOE

PIN 50285-0223 (LT)

SCALE: 1 : 250



JEWITT AND DIXON LTD.
 JANUARY 25, 2021



WEMBLEY AVENUE

(20.112 WIDE)
 (REGISTERED PLAN 1216)

PART 2, PLAN 37R-6173
 PART 3, PLAN 37R-6173

1 14
 PART 3
 6173
 37M-

REGISTERED

LOT 10

PART 4
 PLAN

LOT
 CONCESSION

PART 4, PLAN 37R-2291

PART 1,
 PLAN 37R-4304

PART 1
 PLAN

PART 2
 37M-9503
 LOT 1

PART 1
 PLAN

PART 2
 37R-

PART 3
 9348
 LOT 2

PART 1
 PLAN 37R-

PLAN

PART 3
 9284
 LOT 3

PART 1
 PLAN 37R-

PART 2
 9436
 LOT 4

NOTE:

TOP OF FOUNDATION ELEV. = 221.17
 UNDERSIDE OF FOOTING ELEV. = 219.22
 FINISHED FLOOR ELEV. = 221.05

DESCRIPTION OF LAND

BEING LOT 10, REGISTERED PLAN 1216
 IN THE TOWN OF SIMCOE IN NORFOLK COUNTY

CAUTION:

THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S
 REPORT AND SHALL NOT BE USED FOR
 TRANSACTION OF FINANCING PURPOSES.

© COPYRIGHT JEWITT AND DIXON LTD. 2021

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE, OR ALTER
 THIS PLAN IN WHOLE OR IN PART WITHOUT OR IN PART
 WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD.
 IS STRICTLY PROHIBITED.

**SITE
 B.M.**

TOP OF CONCRETE
 SLAB ON THE
 NE CORNER OF
 SLABS
 EL. 222.55
 (GEODETIC)

NOTE:

CATCH BASIN TO BE
 LOWERED 0.15m

LEGEND

CHAINLINK FENCE	SHOWN	—x—x—x—
AIR CONDITIONER UNIT	SHOWN	A/C □
BELL BOX	SHOWN	BBX □
BENCH MARK	SHOWN	BM ⊙
CATCH BASIN	SHOWN	CB ■
GUTTER	SHOWN	G —
EDGE OF PAVEMENT	SHOWN	EP —
TOP OF CURB	SHOWN	TC —
TOP OF FOUNDATION	SHOWN	TOF —
ELECTRICAL OUTLET	SHOWN	E/O —
HYDRO VAULT	SHOWN	HV ■

ELEVATIONS SHOWN HEREON ARE IN METRES
 AND ARE BASED ON A GEODETIC DATUM.

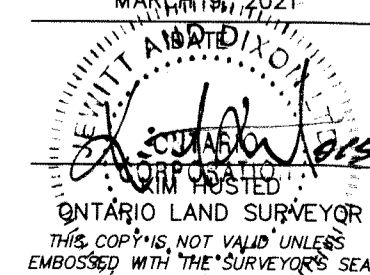
METRIC NOTE:

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE:

THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
 BASED ON PHYSICAL LOCATES PROVIDED BY THE RESPECTIVE
 UTILITY COMPANIES.
 PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
 LOCATE IS BOTH RECOMMENDED AND ADVISED.

MARCH 19, 2021



JEWITT AND DIXON LTD.
ONTARIO LAND SURVEYORS

R.R.1, SIMCOE, ONTARIO, N3Y 4J9
 (51 PARK ROAD)

PHONE: (519) 426-0842 FAX: (519) 426-1034
 E-mail: surveyors@amtelecom.net

F.W.	—	J.P.H.
BOOK	—	LL
CALC.	—	W.J.S.
PLAN	—	W.J.S.
CHECK	—	K.S.H.

PROJECT No. — 20-2785

20-2785 (GP)

GENERAL NOTES

FOOTINGS AND FOUNDATIONS:

Footings and foundations shall conform to Section 9.15. All footings shall rest on undisturbed soils with an allowable bearing pressure of 120 kPa (2500 psf) or greater for buildings of wood frame or masonry construction (see soils report where applicable). Footing size shall be adjusted as per Subsection 9.15.3., where applicable. Where step footings are used, the vertical rise shall not exceed 600mm (23-5/8 in.), and the horizontal run shall be not less than 600mm (23-5/8 in.) as per Article 9.15.3.9. Maximum height of backfill for foundation walls shall conform to Subsection 9.15.4. Exterior foundation walls shall extend not less than 150mm (5-7/8 in.) above finished ground level as per Sentence 9.15.4.6.(1), and be suitable finished as per Article 9.15.6.2. Exterior surfaces of concrete block foundation walls shall be parged with not less than 6mm (1/4 in.) of mortar and finished as per Article 9.13.2.1. All waterproofing to conform to Article 9.13.3. Install asphalt coated building paper between foundation walls and basement wood studs on interior face. Waterproofing of foundation walls as per Article 9.13.3.5. Control of convection currents as per Sentence 12.3.2.4.

CONCRETE:

Unless specified elsewhere the compressive strength of unreinforced concrete shall be not less than 15 MPa (2200 psi) after 28 days. Garage floors, carport floors and all exterior flatwork including footing shall be not less than 32 MPa (4650 psi) concrete with 5 to 8 percent air-entrainment as per Sentence 9.3.1.6.(1). Provide bond-breaking material between concrete floor slab and footings as per Sentence 9.16.4.4.(1). Where dampproofing is not provided the concrete used for floors-on-ground shall have a compressive strength of not less than 25 MPa (3600 psi) after 28 days as per Sentence 9.16.4.5.(1). Concrete slabs in attached or built-in garages shall be sloped to drain to the exterior as per Sentence 9.35.2.2.(1).

BUILDING STRUCTURE:

Unless noted otherwise Lumber and Wood Products shall conform to Subsection 9.3.2. Built-up wood columns shall conform to Sentence 9.17.4.2.(2). All members shall be so framed, anchored, fastened, tied and braced so as to provide the necessary strength and rigidity. See Article 9.23.2.1.

Building frames shall be anchored to the foundation, by fastening the sill plate with 12.7mm dia. (1/2 in. dia.) anchor bolts max. 2.4m (7ft.10in.) o/c and embedded minimum 100mm (4in.) in foundation. See Article 9.23.6.1. Columns shall be securely fastened to the beam to prevent lateral movement. Anchorage of exterior columns and posts shall conform to Article 9.23.6.2. Provide adequate level bearing for all beams at the end supports as per Article 9.23.8.1. Posts supporting beams shall be provided with continuous solid support to the top of foundation wall or footing. Nailing/bolting patterns for built-up wood beams shall conform to Sentences 9.23.9.2.(3), (4), (5). Provide joist twisting restraint as per Article 9.23.9.3. Non-loadbearing walls shall be supported by joists beneath the wall or on blocking between the joists as per Article 9.23.9.8. The size and spacing of wall studs shall conform to Table 9.23.10.1. Studs for walls not listed in Table 9.23.10.1 and supporting roof loads shall conform to Tables A-30 to A-33. Provide continuity of studs as per Article 9.23.10.4. Provide edge support for subfloor as per Article 9.23.14.3. Roof sheathing shall conform to Subsection 9.23.15, and wall sheathing shall conform to Subsection 9.23.16. Sheathing membrane shall conform to CAN/CGSB-51.32-M, "Sheathing Membrane Breather Type" as per Article 9.27.3.2. Installation of roof trusses and/or engineered floor framing systems shall conform to the manufacturers certified specifications and the OBC. All conventional roof framing members that meet or cross over trusses shall distribute the roof loads uniformly to the roof below and shall be spaced at maximum 600mm (24 in.) o/c. Provide eaves protection on shingle, shake or tile roofs as per Subsection 9.26.5.

NOTES:

ALL TOP SOIL SOFT ORGANIC OR OTHERWISE COMPRESSIBLE MATERIAL MUST BE REMOVED FROM THE GROUND SURFACE, THE SLAB IS TO BE PLACED ON A MINIMUM 6" OF GRANULAR 'A' OR CRUSHED STONE COMPACTED TO MINIMUM 98% OF ITS MAXIMUM STANDARD PROCTOR DRY DENSITY TO PROVIDE UNIFORM SUPPORT FOR THE SLAB, NO SOFT SPOTS PERMITTED. CONCRETE SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF CSA A32.1 AND A23.3. ALL FORM WORK TO BE IN ACCORDANCE TO CSA A23.1. CONCRETE SHALL BE MINIMUM 25MPa WITH 5% TO 8% AIR ENTRAINMENT FOR COLD WEATHER REQUIREMENTS, SLUMP TO BE 3" MIN AND 4" MAX REINFORCING STEEL TO BE PROPERLY SUPPORTED IN FORMS OR WITH CHAIRS WITH COVER AS REQUIRED, STEEL SHALL BE 400 MPa YIELD STRENGTH, WIRE MESH TO BE 460 MPa YIELD STRENGTH. PROVIDE A MINIMUM OF 3" CLR COVER FROM EARTH, STEEL REINFORCING BARS OR WIRE MESH FOR SLAB TO BE PROVIDED AT A MAXIMUM DEPTH OF 1/3 DEPTH FROM TOP OF SLAB LAP ALL JOINTS IN BARS MINIMUM 24". WET SETTING OF ANCHOR BOLTS IS PERMITTED BUT NOT RECOMMENDED, PLACE CAREFULLY TO ENSURE NO VOIDS ARE CREATED. COLD WEATHER CONSTRUCTION FOR TEMPERATURES LISTED OR PREDICTED WITHIN 24HRS OF INSTALLATION - BELOW 40°F - POUR CONCRETE AT A TEMPERATURE OF 60°F, TARP WITH POLYETHYLENE DROP SHEETS FOR 3 DAYS AFTER PLACEMENT - BELOW FREEZING - POUR CONCRETE AT A TEMPERATURE OF 60°, TARP AS ABOVE AND PACK WITH 3" MIN STRAW AND PROVIDE HEAT ALL WORK TO CONFORM TO CSA A23.3 AND O.B.C. MOST RECENT EDITIONS AND AMENDMENTS. THE BUILDING PERMIT GUY IS NOT RESPONSIBLE OR LIABLE AS A RESULT OF POOR WORKMANSHIP OR DEVIATIONS OF THIS DETAIL.

FOUNDATION DRAINAGE LAYER TO COMPLY WITH ONT. REG. 350/06 AND SUBSECTION 9.14.2. AND 9.14.4.

ALL WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED & WHICH ARE SUPPORTED ON CONC. IN CONTACT WITH GROUND OR FILL SHALL BE SEPARATED FROM THE CONC. BY MIN. 5mil POLYETHYLENE OR TYPE S ROLL ROOFING AS PER OBC. 9.23.2.3.(1) & (2)

SPECIFIC LOCATION OF HYDRO METER TO BE ESTABLISHED BY LOCAL UTILITY ON EXTERIOR OF THE BUILDING

PROVIDE CONTINUOUS ICE AND WATER SHIELD MEMBRANE OVER SHEATHING ON ALL ROOFS LESS THAN 4/12

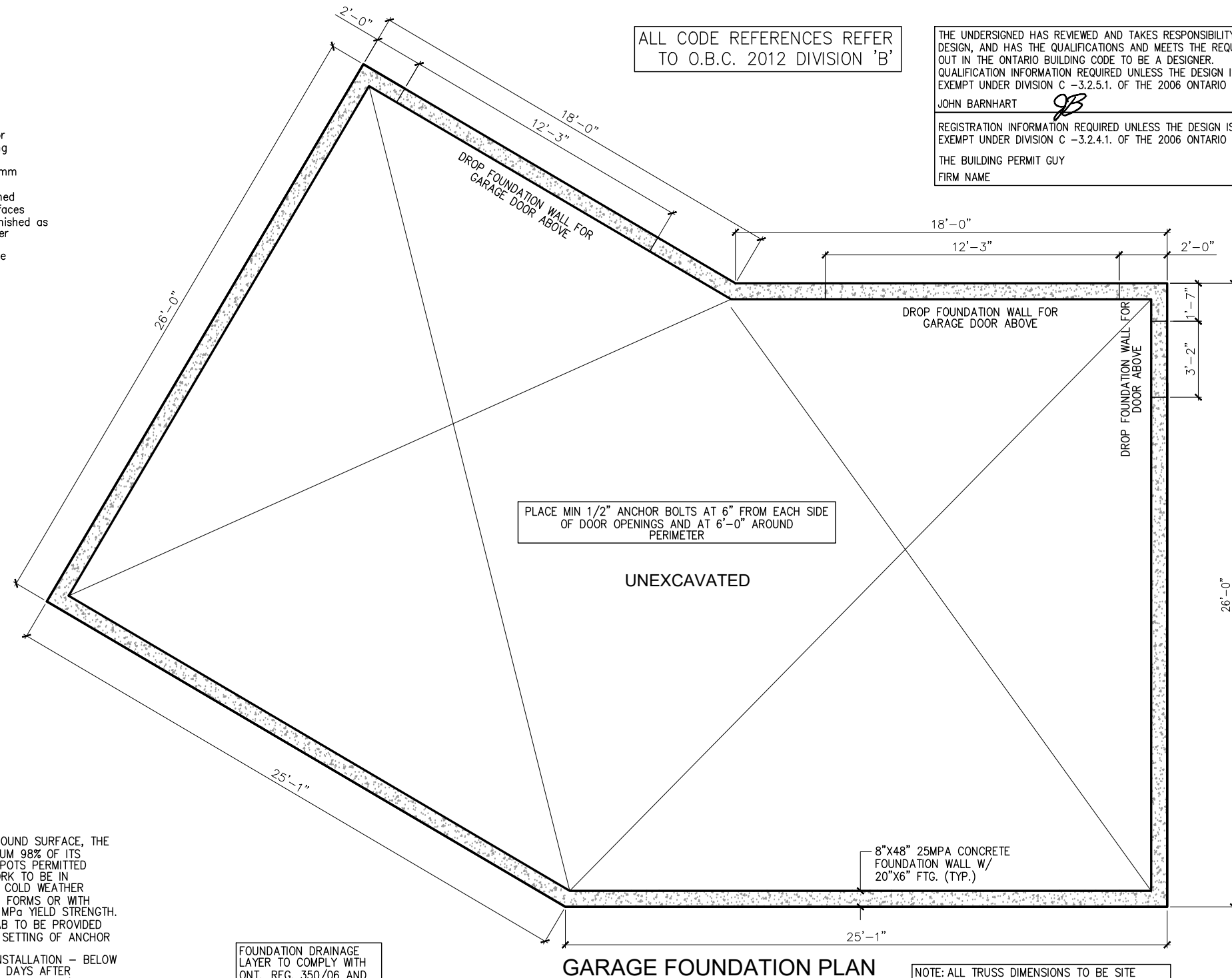
ALL ELECTRICAL PANELS AND COMPONENTS TO COMPLY WITH OBC. 9.34. AND SPECIFIC REQUIREMENTS OF THE LOCAL UTILITY SUPPLIER

NOTE: ALL TRUSS DIMENSIONS TO BE SITE MEASURED AND VERIFIED BY BUILDER OR CLIENT PRIOR TO INITIATING TRUSS FABRICATION. ALL TRUSS HANGERS, UPLIFT ANCHORS AND SPECIAL FASTENERS TO BE SPECIFIED BY TRUSS DESIGNER INCLUDING STAMPED HANGERS WHEN REQUIRED FOR APPROVALS. TBPG REVIEWS TRUSS PACKAGE FOR GENERAL CONFORMANCE WITH THE TRUSS LAYOUT AND TRUSS PROFILES BUT IS NOT RESPONSIBLE FOR DETAILED TRUSS ENGINEERING PROVIDED IN TRUSS 'PACKAGES'.

ALL CODE REFERENCES REFER TO O.B.C. 2012 DIVISION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
JOHN BARNHART *JB* 41773

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
THE BUILDING PERMIT GUY 103362
FIRM NAME BCIN



PLACE MIN 1/2" ANCHOR BOLTS AT 6" FROM EACH SIDE OF DOOR OPENINGS AND AT 6'-0" AROUND PERIMETER

GARAGE FOUNDATION PLAN

DETACHED ACCESSORY BUILDING

24 WEMBLY CT. SIMCOE, ON

SCALE: 3/16" = 1'-0"
26/02/2022

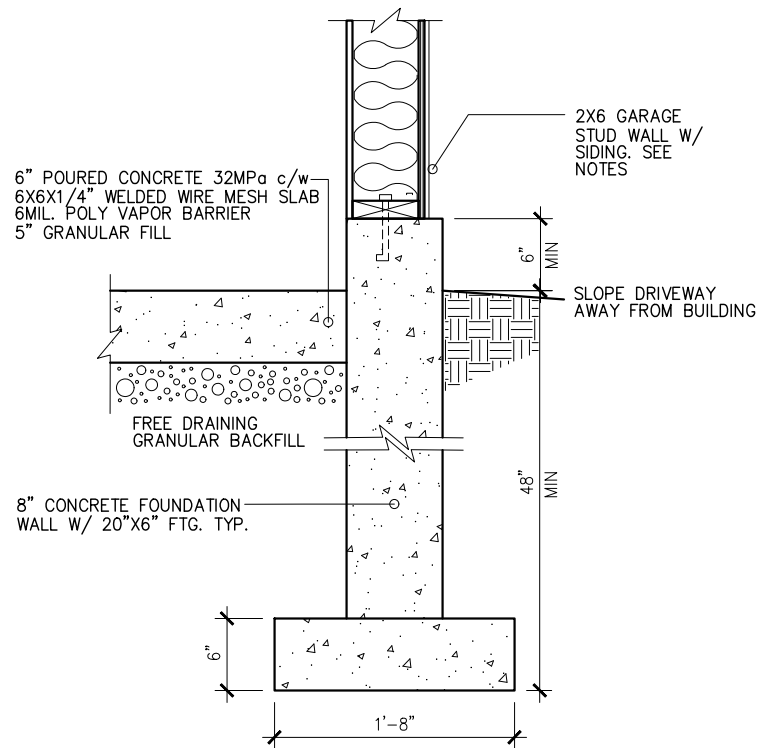


GENERAL NOTES

ROOFS, ROOF SPACES, VENTILATION and DRAINAGE:
 Except where it can be shown to be unnecessary, where insulation is installed between a ceiling and the underside of the roof sheathing, a space shall be provided between the insulation and the sheathing, and vents shall be installed to permit the movement of air from the space to the exterior. The unobstructed vent area shall be not less than 1/300 of the insulated ceiling area. Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area. Not less than 25% of the vents shall be located near the roof ridge. See Articles 9.19.1.1 and 9.19.1.2.
 Provide a natural ventilation area of 0.1m2 per 50m2 of unheated crawl space area as per Sentence 9.18.3.1.(2).
 Provide minimum 0.2 percent of unfinished basement floor area, as unobstructed natural ventilation to the outdoors as per Table 9.32.2.1.
 Attic access hatch shall be minimum 0.32m2 (3.4ft2) in area with no dimension less than 545mm (21 1/2 in) as per Article 9.19.2.1.

Roof drains, down spouts (roof gutters) shall conform to Subsection 9.26.18 (Also see definitions in Article 1.4.1.2. of Division A).
 Surface and subsurface drainage shall conform to Section 9.14.
 Drainage tiles or pipes shall be installed as per Article 9.14.3.3.

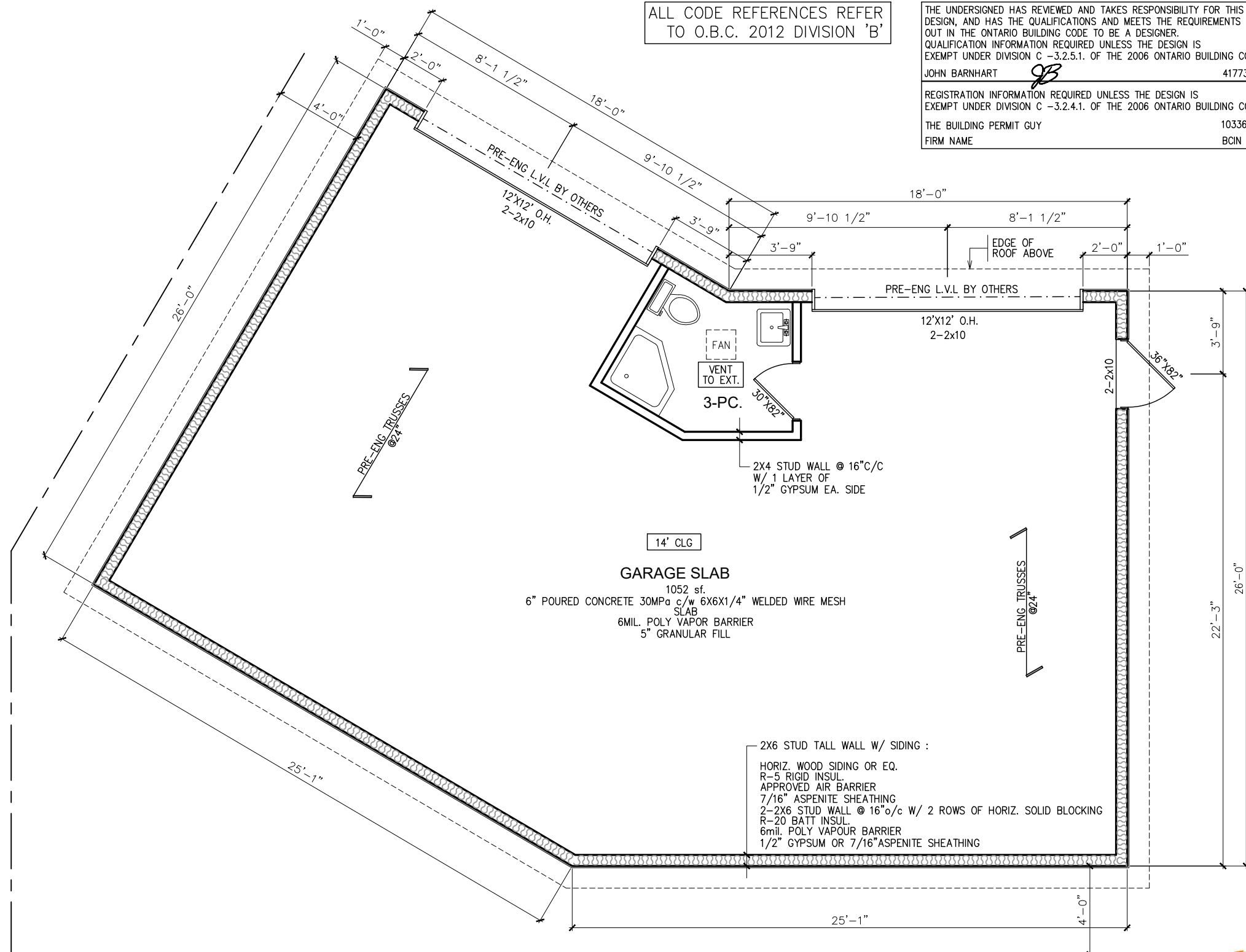
ELECTRICAL:
 Electrical facilities shall conform to Section 9.34.
 Electrical outlets in dwelling units to conform to Article 9.34.2.2.



POURED CONCRETE FOOTING DETAIL

ALL CODE REFERENCES REFER TO O.B.C. 2012 DIVISION 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.
 JOHN BARNHART *JB* 41773
 REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.
 THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN



GARAGE FLOOR PLAN

DETACHED ACCESSORY BUILDING

24 WEMBLY CT. SIMCOE, ON

A-2

SCALE: 3/16" = 1'-0"
 26/02/2022



TYPICAL ROOF:
 26 GA. METAL ROOFING
 1/2" PLYWOOD SHEATHING C/W H CLIPS
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 OPT. R-60 BATT INSULATION
 OPU. 6 MIL POLY VAPOR BARRIER
 OPT. 5/8" DRYWALL

CONTINUOUS AIR VENT BAFFLES @ 24" O.C.
 END AT RIDGE - TO BE INSTALLED SO
 THAT AIR FLOW IS NOT RESTRICTED

2- 2X6 TOP PLATES

CONTINUOUS EAVE PROTECTION
 (2 COURSES)

PRE-FINISHED
 ALUMINUM GUTTER &
 EAVE FLASHING

2X6 FASCIA

TYPICAL 2X6 W/SIDING EXTERIOR WALL:
 HORIZONTAL WOOD SIDING OR EQ.
 R-5 RIGID INSUL.
 AIR BARRIER
 7/16" ASPENITE SHEATHING
 2-2X6 STUDS @ 16"o/c
 W/ 2 ROWS SOLID BLOCKING
 R20 BATT INSULATION
 6 MIL POLY VAPOR BARRIER
 1/2" GYPSUM BOARD

PRE-FINISHED ALUMINUM SOFFIT W/
 EQUALLY SPACED VENTS

TRIM PROFILES TO
 BE SELECTED BY
 CONTRACTOR

NATURAL STONE
 MATCH EX. DWELLING



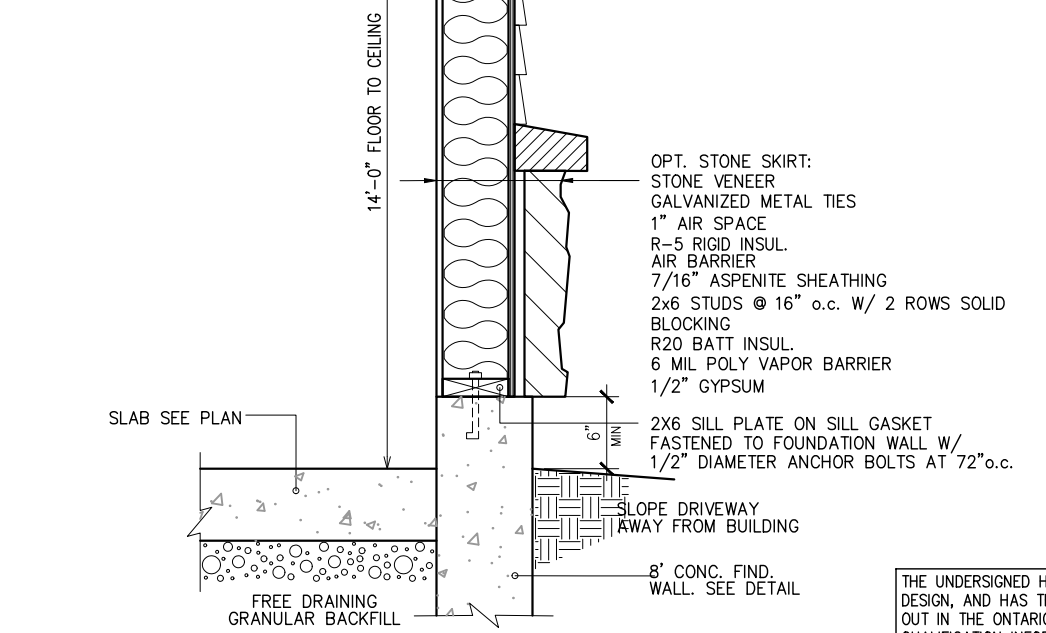
LEFT ELEVATION

ROOF PEAK +22'-0"

NOTE:
 ANGLED PORTION NOT SHOWN FOR CLARITY
 SEE FLOOR PLAN

U/S CEILING 14'-0"

T/O DOOR 6'-10"



TYP. WALL SECTION

ALL CODE REFERENCES REFER
 TO O.B.C. 2012 DIVISION 'B'

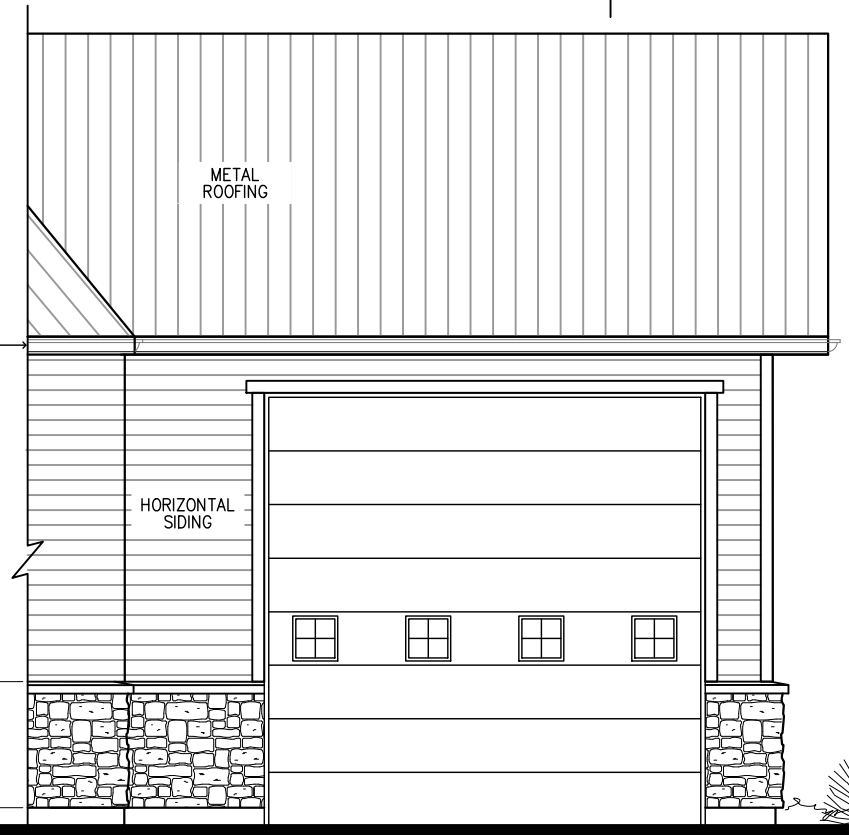
NOTE:
 ANGLED PORTION NOT SHOWN FOR CLARITY
 SEE FLOOR PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

JOHN BARNHART *JB* 41773

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.

THE BUILDING PERMIT GUY 103362
 FIRM NAME BCIN



FRONT ELEVATION

ROOF PEAK +22'-0"

U/S CEILING 14'-0"

T/O DOOR 12'-0"

DETACHED ACCESSORY BUILDING

24 WEMBLY CT. SIMCOE, ON

SCALE: 3/16" = 1'-0"
 26/02/2022

A-3





Zoning Deficiency

Simcoe: 185 Robinson St.
 Simcoe, ON
 N3Y 5L6
 519-426-5870
 Langton: 22 Albert St.
 Langton, On.
 NOE 1G0
 519-875-4485

PROPERTY INFORMATION

Address: 24 Wembley Ave., Simcoe

Legal Description:

Roll Number: 404070866300

Application #:

Information Origins: survey and drawings provided

Urban Residential Type 1 Zone (R1)

	Zoning	R1-B		
	REQUIRED	PROPOSED	DEFICIENCY	UNITS
Accessory Structure				
3.2.1 a) <i>building height</i>	5.00	6.70	1.70	m
b) <i>minimum front yard</i>	6.00	>6.0		m
c) <i>minimum exterior side yard</i>	6.00		N/A	m
d) <i>minimum interior side yard</i>	1.20	1.40		m
e) <i>minimum rear yard</i>	1.20	1.64		m
f) <i>through lot distance to street line</i>	6.00		N/A	m
g) <i>Lot coverage (Note:Proposed Area)</i>				m.sq
i) <i>lot coverage</i>	10.00	11.53	1.53	%
ii) <i>usable floor area</i>	55.00	112.00	57.00	m.sq

washroom showing in accessory building is permitted. Accessory building is not approved for additional habitable rooms, or for home industry. Property measuring 971sqm

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Lambrecht

I have read and understand the above.

Signature of owner or authorized agent

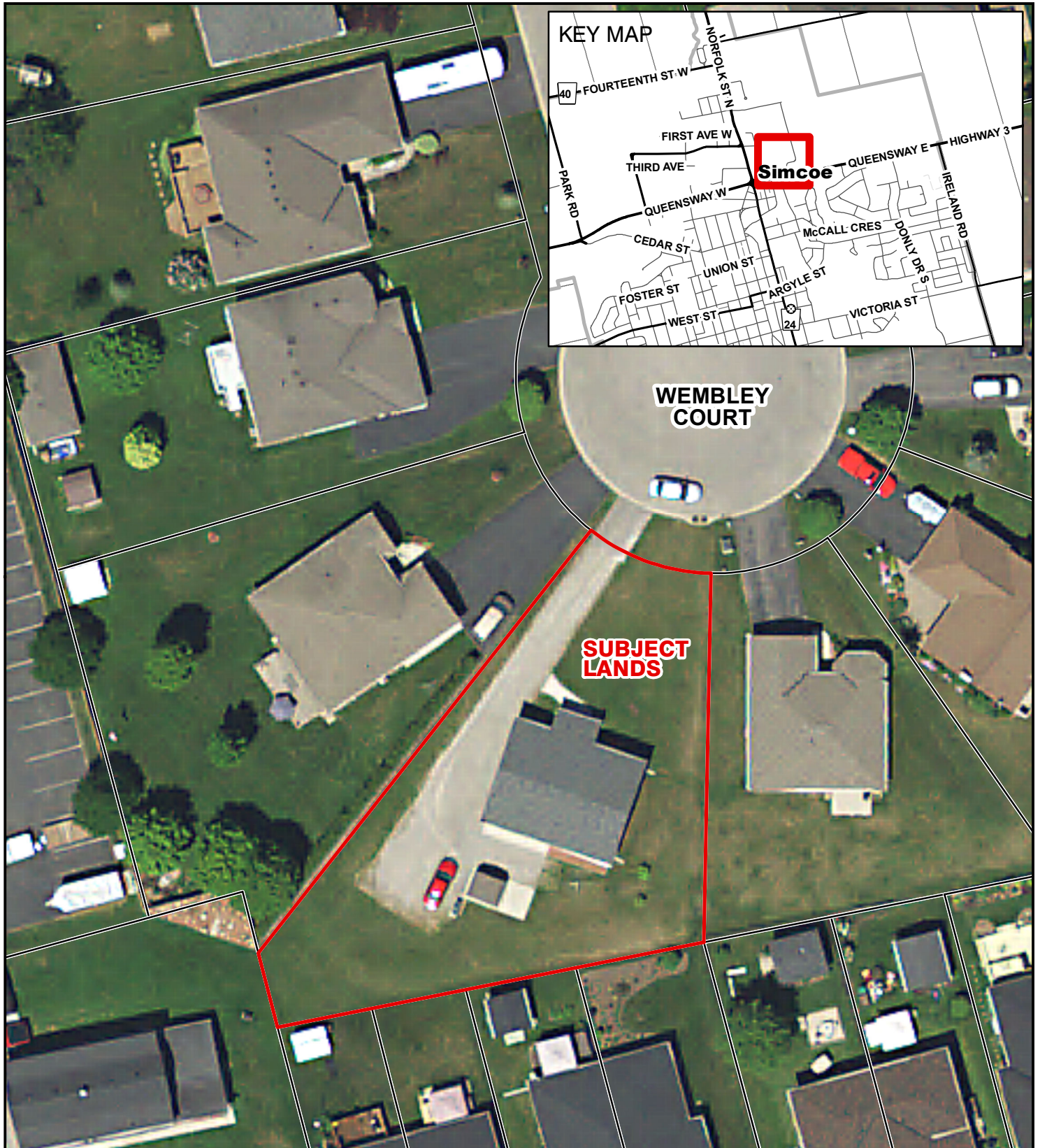
Signature of Zoning Administrator

date


15-Mar-21

Date

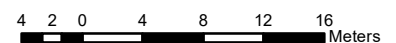
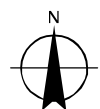
AS PER: Fritz R. Enzlin. CBCO,
 CRBO - Chief Building Official
 Manager, Building & Bylaw
 Division, Norfolk County

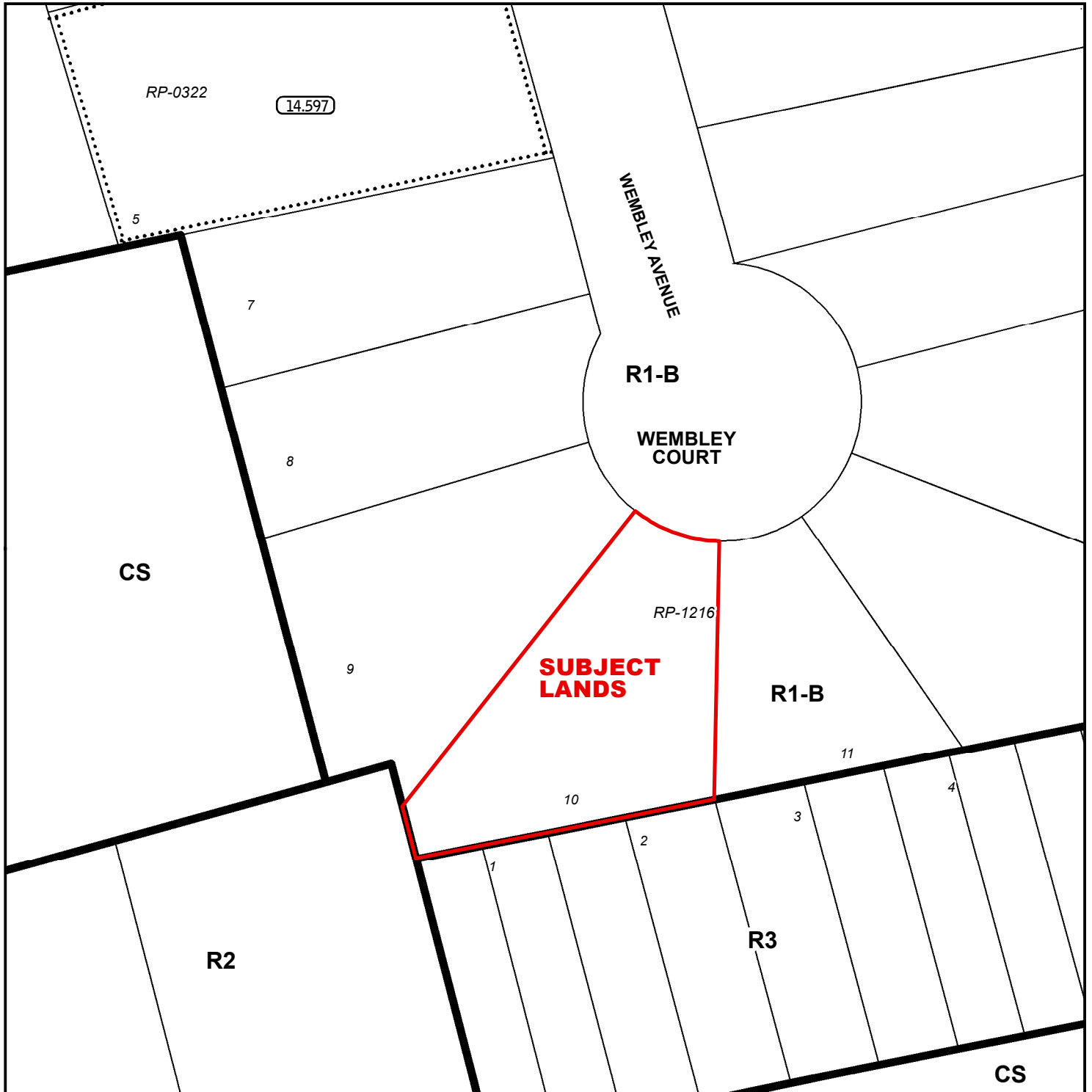


Legend

-  Subject Lands
- 2015 Air Photo

2021-05-27





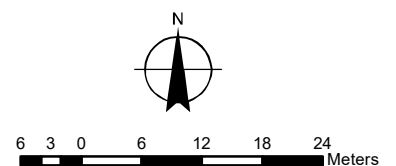
2021-05-27

LEGEND

 Subject Lands

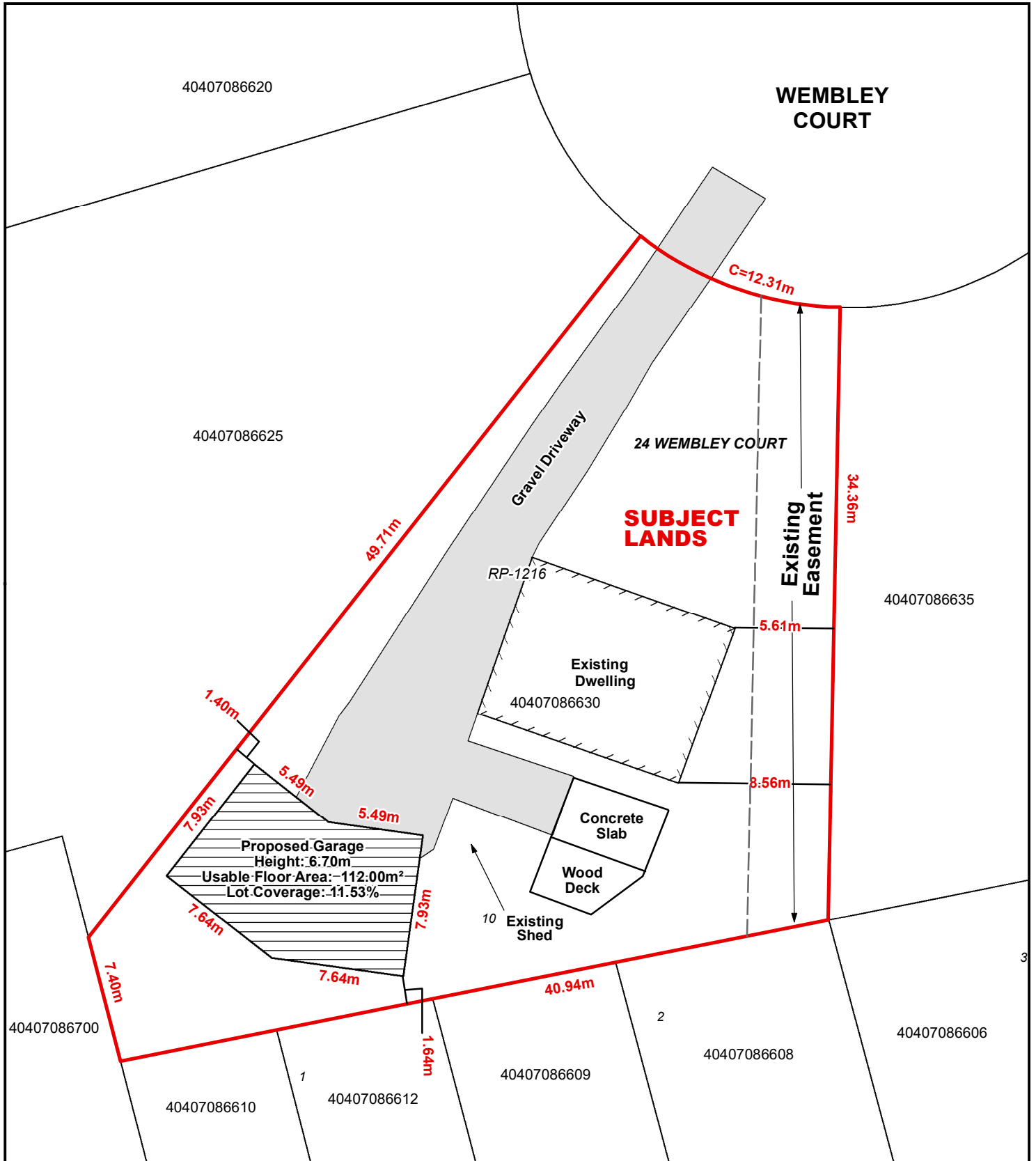
ZONING BY-LAW 1-Z-2014

- (H) - Holding
- CS - Service Commercial Zone
- R1-B - Residential R1-B Zone
- R2 - Residential R2 Zone
- R3 - Residential R3 Zone




CONCEPTUAL PLAN

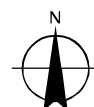
Geographic Township of TOWNSEND



Legend

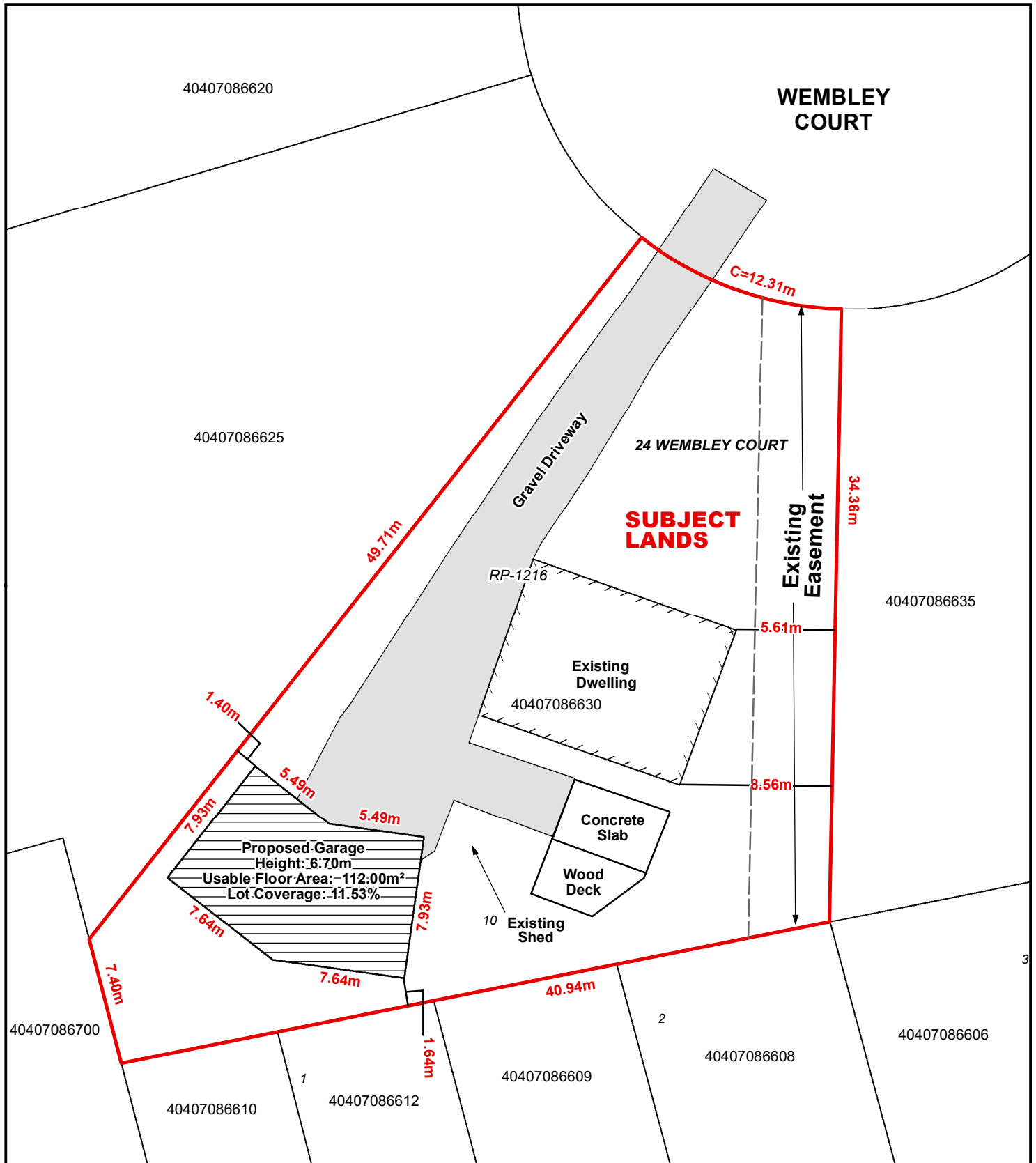
 Subject Lands

2021-05-27




CONCEPTUAL PLAN

Geographic Township of TOWNSEND



Legend

 Subject Lands

2021-05-27

