

**For Office Use Only:**

File Number ANPL2019360  
Related File Number \_\_\_\_\_  
Pre-consultation Meeting \_\_\_\_\_  
Application Submitted 10/25/19  
Complete Application 10/25/19

Application Fee \$1500.00  
Conservation Authority Fee \_\_\_\_\_  
Well & Septic Info Provided \_\_\_\_\_  
Planner Colin W.  
Public Notice Sign yes

**Check the type of planning application(s) you are submitting.**

- ☐ Consent/Severance/Boundary Adjustment  
☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment  
☒ Minor Variance  
☐ Easement/Right-of-Way

**Property Assessment Roll Number:** 336 0110 33800

**A. Applicant Information**

**Name of Owner** Brad Paauw

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1773 Concession 10  
Town and Postal Code Waterford, Ont NOE 1Y0  
Phone Number \_\_\_\_\_  
Cell Number 905 981 2723  
Email bpaauw1984@gmail.com

**Name of Applicant** Same as owner

Address \_\_\_\_\_  
Town and Postal Code \_\_\_\_\_  
Phone Number \_\_\_\_\_  
Cell Number \_\_\_\_\_  
Email \_\_\_\_\_

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.



Owner



Agent



Applicant

Names and addresses of any holder of any mortgages, charges or other encumbrances on the subject lands:

## B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Townsend con 9 Pt Lot 23 Parcel 18-2

Section D-6 RP 37-R 0585

Municipal Civic Address: 1773 Concession 10 Townsend

Present Official Plan Designation(s): Agricultural, Herd Land

Present Zoning: A, HL

2. Is there a special provision or site specific zone on the subject lands?



Yes



No

If yes, please specify:

14.934

3. Present use of the subject lands:

residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

house, barn

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

detached garage

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Note: Please complete all that apply.

## Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	85.67 m	
Lot depth	113.45 m	
Lot width	85.67 m	
Lot area	9722.68 m <sup>2</sup>	
Lot coverage	9722.68 m <sup>2</sup>	
Front yard	61.86 m	
Rear yard	31.33 m	
Left Interior side yard	49.02 m	
Right Interior side yard	26.65 m	
Exterior side yard (corner lot)		

Raising height restriction from 6.5m to 7.62m

By-law:

Trailer	height	13.5
Combine	height	13.5
Tractor	height	11

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

**5. Description of proposed right-of-way/easement in metric units:**

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

**6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:**

Owners Name: \_\_\_\_\_

Roll Number: \_\_\_\_\_

Total Acreage: \_\_\_\_\_

Workable Acreage: \_\_\_\_\_

Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

Owners Name: \_\_\_\_\_  
Roll Number: \_\_\_\_\_  
Total Acreage: \_\_\_\_\_  
Workable Acreage: \_\_\_\_\_  
Existing Farm Type: (for example: corn, orchard, livestock) \_\_\_\_\_  
Dwelling Present?: ☐Yes ☐No If yes, year dwelling built \_\_\_\_\_

**Note: If additional space is needed please attach a separate sheet.**

#### **D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐Yes ☒No ☐Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐Yes ☒No ☐Unknown

3. Provide the information you used to determine the answers to the above questions:

*personal knowledge*

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Wooded area**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Floodplain**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Active railway line**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Erosion**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

☐ On the subject lands or ☐ within 500 meters – distance \_\_\_\_\_



## F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- ☐ Municipal piped water  
☒ Individual wells

- ☐ Communal wells  
☐ Other (describe below)
- 

Sewage Treatment

- ☐ Municipal sewers  
☒ Septic tank and tile bed in good working order
- ☐ Communal system  
☐ Other (describe below)
- 

Storm Drainage

- ☐ Storm sewers  
☒ Other (describe below)
- ☐ Open ditches

Natural drainage

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2. Existing or proposed access to subject lands

- ☒ Municipal road  
☐ Unopened road
- ☐ Provincial highway  
☐ Other (describe below)

Name of road/street:

Concession 10 Townsend

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## G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

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2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-

## **H. Supporting Material to be submitted by Applicant**

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition
- ☐ Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

## I. Transfers, Easements and Postponement of Interest

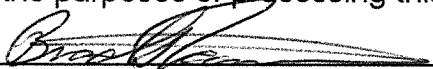
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

### Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

### Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature

October 23/19

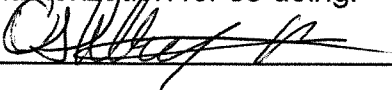
Date

### J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Ashley Paauw am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bradley Paauw to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Oct. 23/19

Date

\_\_\_\_\_

Owner

\_\_\_\_\_

Date

**K. Declaration**

I, Brad Paoun of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

185 Robinson St.

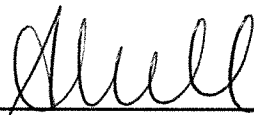


Owner/Applicant/Agent Signature

In Simcoe, ON

This 24<sup>th</sup> day of October

A.D., 20 19

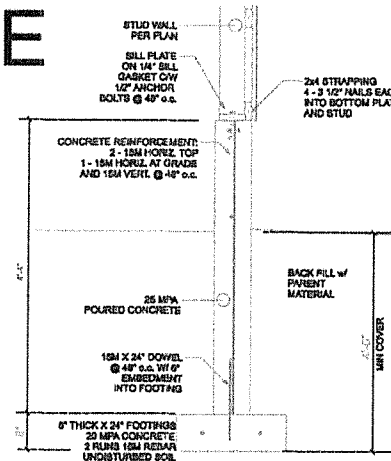


A Commissioner, etc.

Alisha Kathleen Cull, *c*  
Commissioner, etc., Province of Ontario  
for the Corporation of Norfolk County  
Expires April 28 2022

# 50'-0" x 90'-0" STORAGE

for  
**Elite Home Improvements**



FOUNDATION WALL DETAIL

## FIRE SEPARATION (N.F.B.C. 3.1.1.2 - 1 STOREY BLDG.):

- ONE STOREY BUILDING: 4 500 SQ.FT. PROPOSED  
TOTAL: 4 500 SQ.FT.  
(NO FIRE SEPARATIONS REQUIRED)

2. VERIFY THAT THE STRUCTURE IS NOT WITHIN 90'-0" OF A PROPERTY LINE, PUBLIC THOROUGHFARE OR A DWELLING LOCATED ON THE PROPERTY. CONTACT STAR BLUEPRINTS INC IF THESE REQUIREMENTS CANNOT BE MET.

## EXCAVATION AND BACKFILL:

- Footings shall bear on undisturbed soil, rock or compacted granular fill and shall be a minimum of 4'-0" below finished ground level.
- Drawings have been made for soil conditions of no less than 3,000 PSF minimum bearing capacity. Should unusually soft soils be encountered at time of excavation Star Blueprints Inc shall be contacted immediately.
- Footings shall be kept free of standing water at time of excavation.
- Backfill shall be free draining clean granular fill. Provide negative slope away from building.

## CONCRETE / FOUNDATION:

1. Minimum Concrete Strength:

LOCATION	STRENGTH	TESTING FREQUENCY
FOOTINGS	25 MPa	100% TO 10%
FOUNDATION WALLS	25 MPa	100% TO 10%
CONCRETE FLOORS	25 MPa	100% TO 10%
MAJOR STORAGE	25 MPa	100% TO 10%

2. Concrete Cures: CONFORM TO CSA 23.1.2.5 MANUAL OF STANDARD PRACTICE BY F.B.I.O. REBAR 400 MPa

3. Slump: 4" SLUMP +/- 1"

4. Concrete Testing: BY CSA CERTIFIED CONCRETE TESTING LABORATORY

5. Slab: SAW-CUT TO 1/4 OF SLAB DEPTH BRACING AT 30 TIMES SLAB DEPTH CUT WITHIN 24 HRS OF SLAB PLACEMENT

6. Reinforcing rebar splices shall be overlapped at least 18". Rebar in footings shall have a coverage of at least 3". All other concrete coverage for structural reinforcement shall be not less than 2".

## GENERAL CONSTRUCTION NOTES:

- The information on this set of construction documents is related to basic design intent and framing details. They are intended as a construction aid, not a substitute for generally accepted good building practice and compliance with current Ontario building code. The General Contractor is responsible for providing standard construction details and procedures to ensure a professionally finished, structurally sound and weatherproof completed product.
- The General Contractor is responsible for ensuring that all work and construction meets current federal, provincial, county and local codes, ordinances and regulations, etc. These codes are to be considered as part of the specifications for this building and should be adhered to even if they are in variance with the plan.
- Dimensions shall take precedence over scale drawings (do not scale drawings).
- All dimensions must be job site checked by contractor and verified, discrepancies must be reported before commencing work.
- The designer has not been engaged for construction supervision and assumes no responsibility for construction coordinating with these plans, nor responsibility for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work.
- Interior dimensions to be calculated from stud to stud.
- Exterior dimensions to be calculated from outside of strapping.
- Window suppliers to supply F.B.I.O. for all windows and doors.
- All lighting and electrical work is to comply with CBC B.34.

## EGRESS FARM NOTES:

- Maximum travel distance to an exit shall not exceed 45M (147 ft.).
- Windows used as exits require a minimum opening of 22" x 56".
- Exits must be accessible at all times and be clearly visible.

## STRUCTURAL STEEL:

- All steel shall be designed, fabricated and erected in accordance to CAN/CSA-S16-02 and the 2012 Ontario Building Code.
- All steel members to be new members.
- All rolled structural steel members shall conform to CSA - C40.21-13 / - M309W except wide flange sections (W), and hollow structural steel (HSS) which shall conform to CSA - C40.21-13 - M309W.
- Welding shall conform to CSA - W59 - 05 latest edition. Electrodes shall be E70XX or better.
- Connection bolts shall be ASTM A-325 high strength bolts unless noted.
- All bolted connections shall be bearing type unless noted otherwise.
- All connections shall be inspected as per CAN / CSA - D18 - 06.

## FRAMING NOTES:

- All dimensions, including rough opening sizes, shall be confirmed before construction. Dimension discrepancies shall be reported immediately.
- Stud walls shall be anchored to foundation with 12" anchor bolts @ 48" spacing and within 8" of ends or corners.
- Wind-bracing shall be provided @ 45 degree angles on all exterior wall corners AS PER ELEVATION DETAILS.
- The contractor shall ensure any temporary bracing of walls or trusses are adequate.
- All truss bracing shall be in accordance with the approved engineered drawings of the truss manufacturer. DIAGONAL BRACING MUST BE PROVIDED ON ALL MEMBERS THAT REQUIRE LATERAL BRACING.
- TRUSS SHOP DRAWINGS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHERE REQUIRED AND REVIEWED BY THE CONTRACTOR FOR DIMENSIONAL CORRELATION WITH THE DRAWINGS AND FIELD CONDITIONS.
- All wood shall be No. 2 spruce or better.
- Studs shall be secured to plates w/ 3- 3/4" nails.
- Precautions shall be taken to not overload the structure during construction.

## DESIGN LOADS:

1. DESIGN LOADS UNFACTORED U.N.O. AND DO NOT INCLUDE IMPORTANCE FACTOR


CLIMATIC DESIGN - (SMC02)  
S<sub>1</sub> = 1.3 kPa  
S<sub>r</sub> = 0.4 kPa  
(S<sub>1</sub> + S<sub>r</sub>) = 0.45 kPa

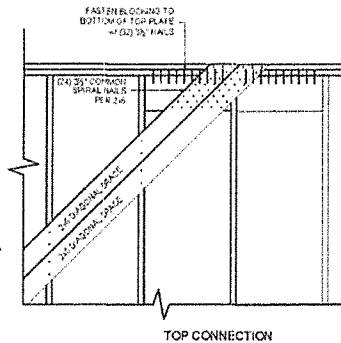
ROOF (DEAD) = 1.75 kPa (NO CEILING + SOLAR)  
4/12 PITCH (DOWN-SLOPERY ROOF / SOLAR)  
SHOW LOAD = 1.44 kPa BALANCED  
= 1.62 kPa UNBALANCED

## OWNER/CONTRACTOR RESPONSIBILITY FOR SITE REVIEW

- THE ENGINEER SHALL BE CONTACTED BY THE OWNER OR CONTRACTOR TO PERFORM SITE REVIEWS OF CONSTRUCTION IN ACCORDANCE WITH O.B.C. 1.2.2(C)
- ENGINEER SHALL BE CONTACTED PRIOR TO ALL CONCRETE POURS AND PRIOR TO INSTALLATION OF INTERIOR FINISHES AND CLADDING. ENGINEER WOULD PREFER 24 HOURS NOTICE

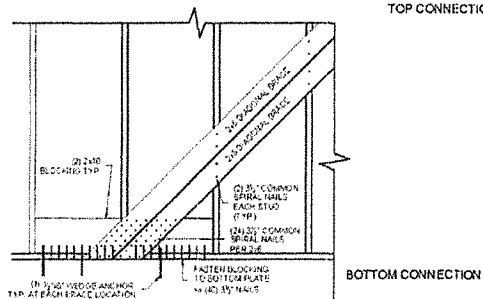
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

PROJECT # 18-10-073		Client Elite Home Improvements	
 <b>WADDELL ENGINEERING LTD.</b> 119 PINEBUSH RD. CAMBRIDGE ON PH. 519-267-6789 FAX. 1-866-388-9659 INFO@WADDELLENG.COM		Project Title 50'-0" x 90'-0" Shed	Drawing COVER PAGE
1773 Concession 10 Townsend Waterford, ON		S1	

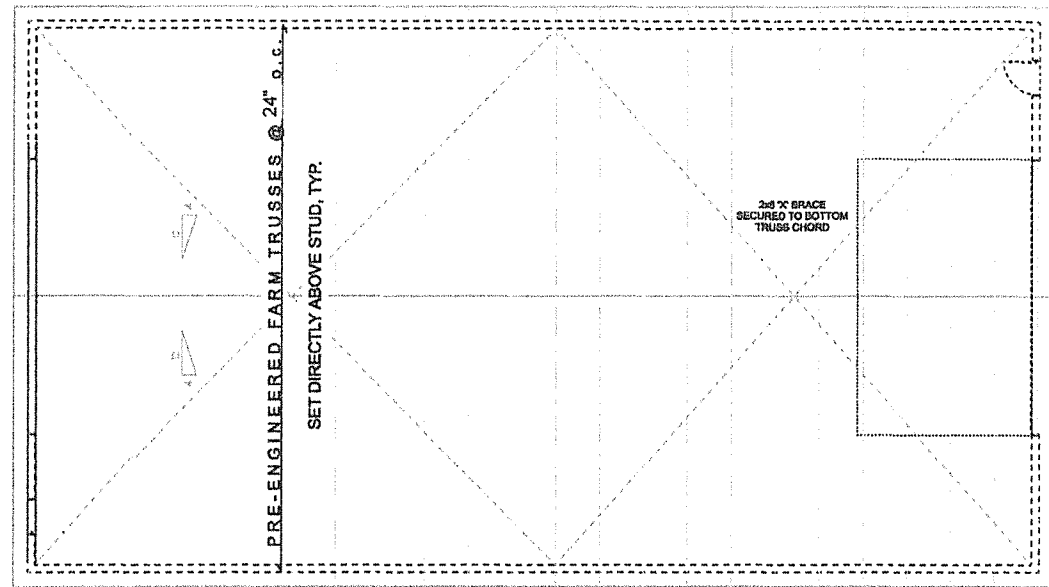


#### NOTES:

1. THE BRACE IS TO BE CONTINUOUS AND BE AT STUD CONNECTION TO PLATE
2. DO NOT NOTCH BRACES INTO STUDS
3. INITIAL BRACES AT APPROXIMATELY 45 DEG ANGLES
4. MIN NAIL SPACING 12"



DOUBLE DIAGONAL BRACE DETAIL

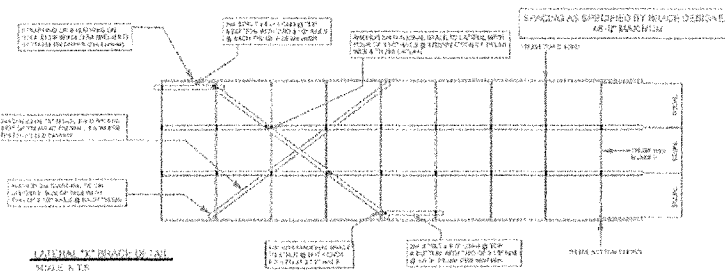


FASTEN BOTTOM CHORD OF CABLE  
TO STUDS WITH 3/4\"/>

1000000000  
SCALE: 1/4\"/>

#### NOTES FOR BRACING OF ROOF TRUSS(ES):

1. CONTRACTOR AND/OR OWNER TO NOTIFY MANUFACTURER OF ANY TRUSS DEFER NCED AND HAS EXAMINED OR RATCHEN TRUSSES WORKING ON TRUSS DEFER NCED AND NOTHING OF ANY SEE "TRUSS PLATE"
2. DIAGONAL BRACING MUST BE PROVIDED ON ALL VED TRUSSES THAT REQUIRE LATERAL BRACING. LATERAL BRACING SHALL BE 3/4\"/>
3. PERMANENT LATERAL BRACING TO BE INSTALLED ON VED TRUSSES AS INDICATED ON THE ROOF PLAN AND MARKING TRUSSES DRAWINGS.
4. PROVIDE DIAGONAL BRACING @ 45 DEG CONTINUED IN LATERAL BRACING SUCH AS WITH TRUSS TRIP CHARGES
5. THE TRUSS SUPPLIER SHALL OBTAIN THE TRUSS PLAN OF THIS BRACING MEET. BRACING DETAILS ARE NOT BE SUBJECTS UNLESS SPECIFIED BY THE TRUSS SUPPLIER



#### ROOF NOTES

PROVIDE "X" BRACING OF TRUSS LATERALS AS PER MFG SHOP DRAWINGS REVIEWED BY PROJECT ENGINEER (SEE DETAIL 2/3)

PROVIDE ATTIC FIRE STOP'S AS SHOWN 7/16\"/>

16\"/>

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.



Elite Home Improvements	
Project Title: 50'-0" x 90'-0" Shed	Drawing: ROOF PLAN
1773 Concession 10 Townsend Waterford, ON	

S2

PROJECT # 18-10-073



Client

Elite Home Improvements

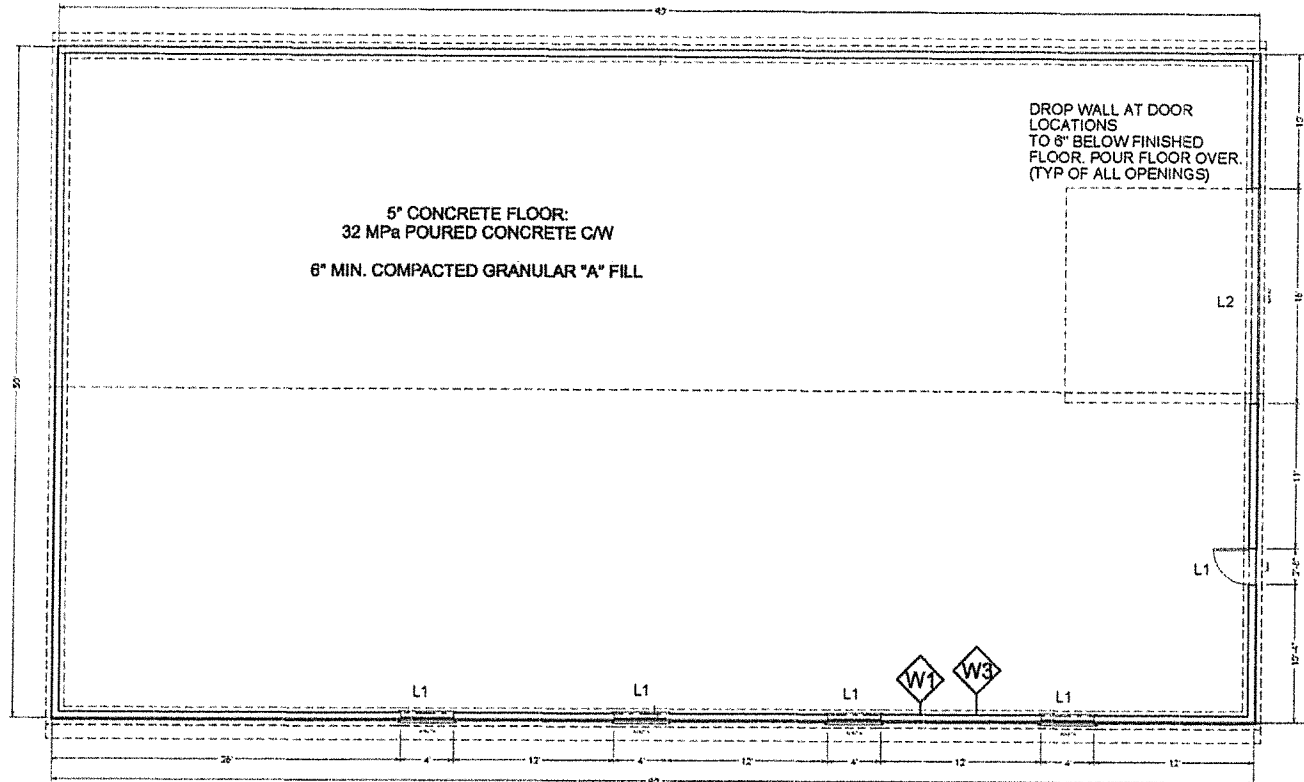
Project Title

50'-0" x 90'-0" Shed

Drawing

1773 Concession 10 Townsend  
Waterford, ON

S3



#### WALL SCHEDULE

**W1** 8" CONCRETE FOUNDATION WALL  
4'-4" HIGH, 12" ABOVE GRADE  
25 MPa CONCRETE  
REINFORCE PER DETAIL

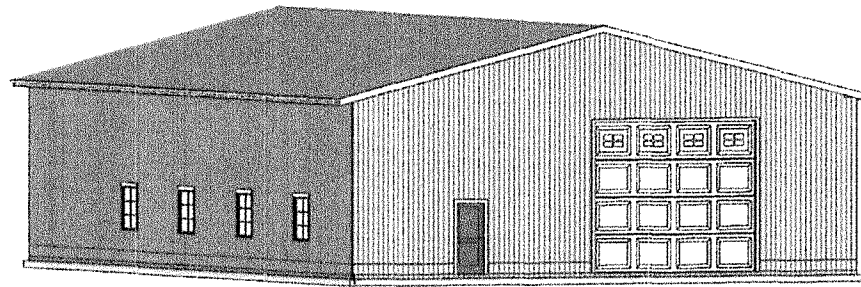
TYPICAL STRIP FOOTING  
20 MPa CONCRETE  
C/W (2) 15M CONTINUOUS  
UNDISTURBED SOIL

#### LINTEL SCHEDULE

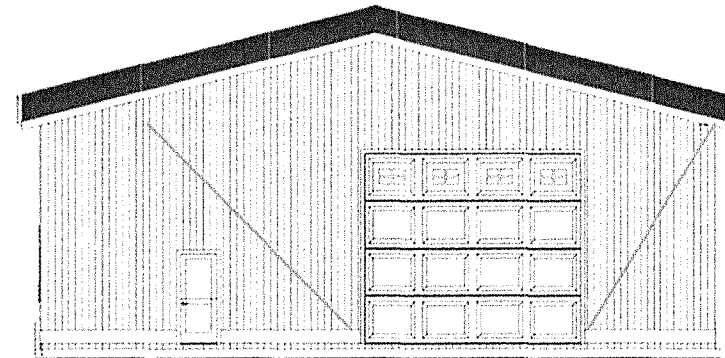
L1 = (2) 2X10 HEADER C/W 1 BEARING STUD & 1 KING STUD  
L2 = (3) 2X10 HEADER C/W 1 BEARING STUD & 1 KING STUD

**W3** WOOD FRAMED STUD WALL  
29 ga. METAL SIDING

2x4 STRAPPING 24" o.c.  
2x6 STUDS 16" o.c.  
BLOCKING @ 48" o.c.  
BRACING AS PER ELEVATIONS

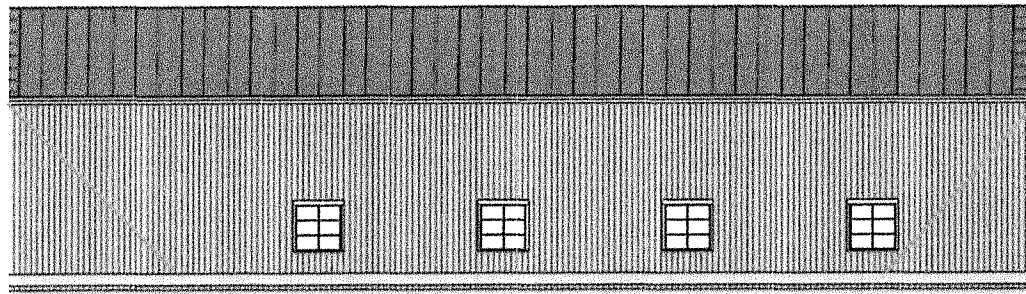


1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL



1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL

Camera 4



1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL

PROJECT # 18-10-073

**WADDELL**  
ENGINEERING LTD.  
119 PINEBUSH RD. CAMBRIDGE ON  
PH. 519-267-6789  
FAX. 1-866-388-9659  
INFO@WADDELLENG.COM

Client

Elite Home Improvements

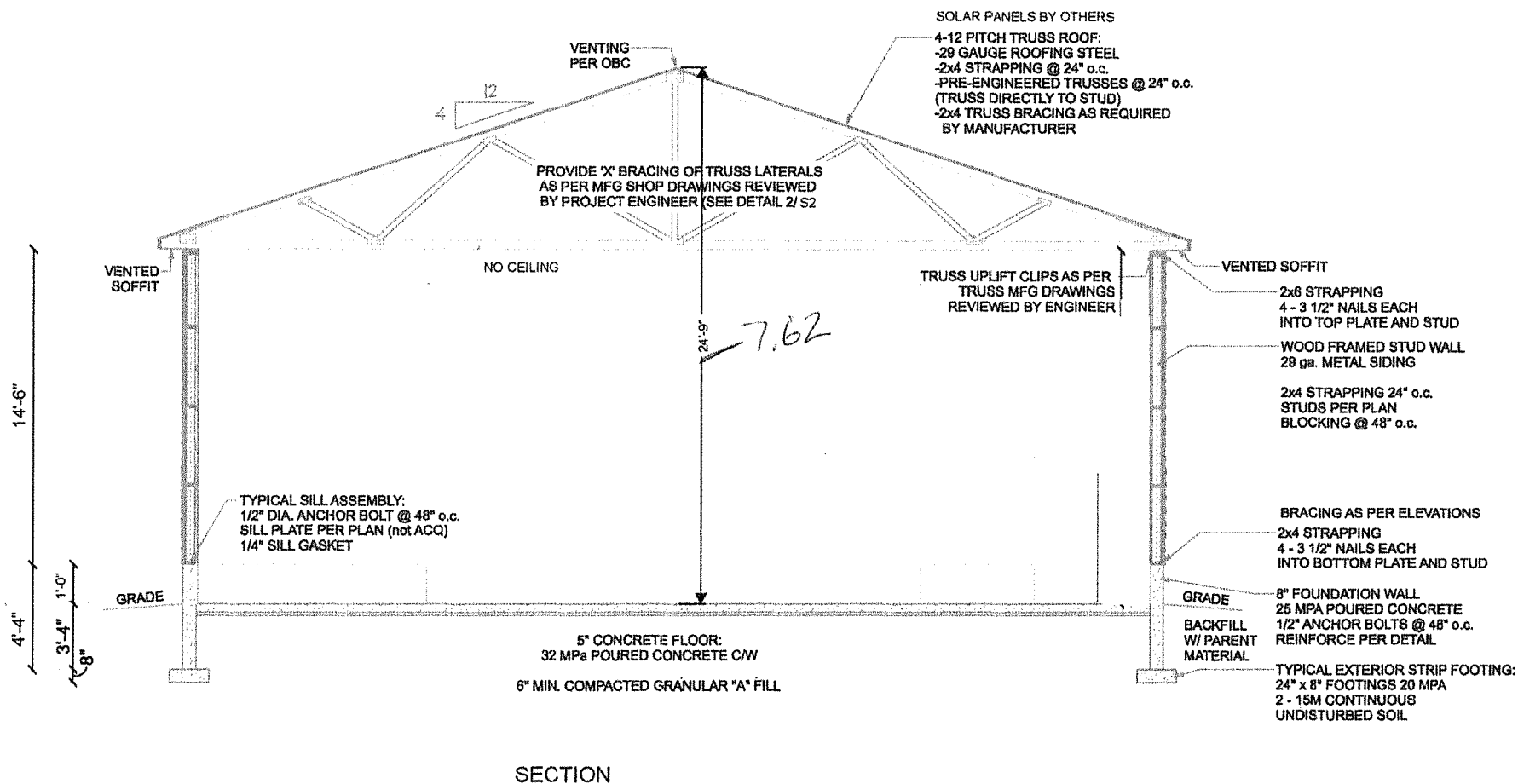
Project Title 50'-0" x 90'-0" Shed

Drawing

1773 Concession 10 Townsend  
Waterford, ON

S4





## GENERAL NOTES

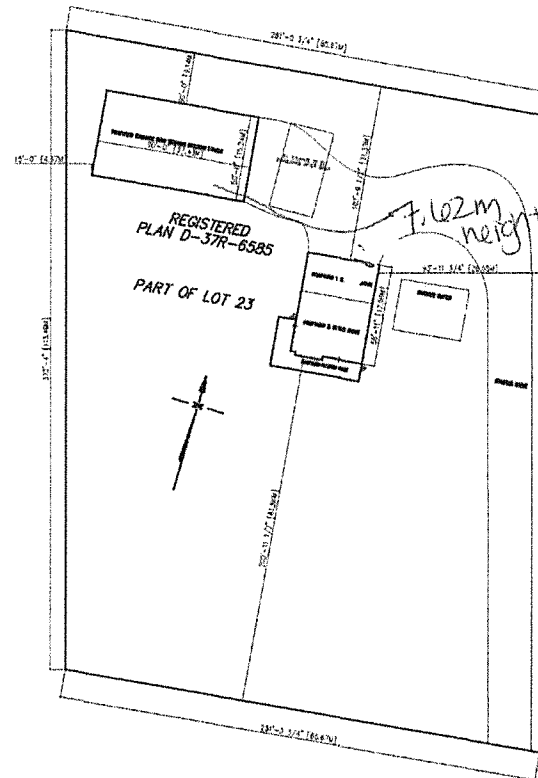
- \* ALL DIMENSIONS IN FEET AND INCHES /METERS AND MILLIMETRES
- \* DO NOT SCALE DRAWINGS
- \* ALL DISCREPANCIES TO BE REPORTED TO THE CONSULTANT PRIOR TO SITE WORK IMMEDIATELY BEFORE CONSTRUCTION
- \* ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR, ANY DISCREPANCIES TO BE REPORTED TO CONSULTANT.
- \* ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE MINIMUM REQUIREMENTS, LATEST RELEASE, ALL ZONING AND BUILDING REGULATIONS UNDER AUTHORITIES HAVING JURISDICTION
- \* THESE DRAWINGS ARE THE PROPERTY OF THE CONSULTANT AND ARE NOT TO BE REPRODUCED OR USED FOR CONSTRUCTION UNLESS AUTHORIZED
- \* ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH & SAFETY ACT.
- \* ALL CONCRETE TO BE A MINIMUM OF 25MPA AT 28 DAYS. ANY MASONRY TO BE PERFORMED IN ACCORDANCE WITH CSA STANDARD S304 BELOW GRADE MORTAR TO BE TYPE S
- \* REBAR: G30.18-GRADE 400
- \* STRUCTURAL STEEL TO BE IN ACCORDANCE WITH CAN/CSA-S16.1-M89. ALL STEEL TO BE PAINTED WITH RUST PROTECTION MATERIAL.
- \* ALL WELDING SHALL CONFORM TO CSA STANDARD W59.1
- \* LUMBER TO BE SFF SELECT STRUCTURAL UNLESS NOTED OTHERWISE.
- \* ALL LVLS TO BE OF GRADE: 2950Fb-2.0E
- \* TRUSS JOISTS MC MULLEN PRO
- \* ALL JOIST CONNECTIONS TO BE MADE WITH SIMPSON STRONG-TIES UNLESS NOTED OTHERWISE.
- \* THE ENERGY EFFICIENCY OF A BUILDING OR PART OF A BUILDING OF RESIDENTIAL OCCUPANCY THAT IS WITHIN THE SCOPE OF PART 9 AND IS INTENDED FOR OCCUPANCY ON A CONTINUOUS BASIS DURING THE WINTER MONTHS SHALL MEET THE PERFORMANCE LEVEL THAT IS EQUAL TO A RATING OF 80 OR MORE WHEN EVALUATED IN ACCORDANCE WITH NRCAN, "ENERGUIDE FOR NEW HOUSES: ADMINISTRATIVE AND TECHNICAL PROCEDURES", OR CONFORM TO SUPPLEMENTARY STANDARD SB-12

## SITE STATS.

LOT AREA: 9722.68 SQ.M.  
LOT FRONTAGE: 85.67 M  
PRO. COVERAGE INCLUDING PROPOSED STORAGE: 652.26 SQ.M.  
TOTAL PRO. LOT COVERAGE: 6.7%  
PRO.GFA INCLUDING GARAGE: 360.48 SQ.M.

## SITE INFO. TAKEN FROM:

PART OF LOT 23, REGISTERED PLAN D-37R-6585 PREPARED BY JEWITT AND DIXON OLS  
DATE: NOV 22 1993



COMPACT CONTRACTING  
DESIGN INC. 416-886-4005

8		
7		
6		
5		
4		
3		
2		
1	PERMIT	DEC. 10/2018
NO.	REVISIONS	DATE

"ALL DIMENSIONS, SPECIFICATIONS AND RELATED REQUIREMENTS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MUST BE RETURNED WITHIN 10 BUSINESS DAYS OF THE DATE OF ISSUANCE OF THE DRAWINGS. IF THE DRAWINGS ARE NOT RETURNED WITHIN 10 BUSINESS DAYS, THE CONSULTANT SHALL BE RESPONSIBLE FOR THE COST OF REPRODUCTION OF THE DRAWINGS."

CONTRACTOR MUST OBTAIN AND VERIFY ALL EXISTING CONDITIONS ON THE JOB.

GRAY  
RESIDENTIAL  
COMMERCIAL  
DESIGN INC.

PROJECT:  
NEW HOUSE  
1773 CONCESSION 10  
WATERFORD  
ONTARIO

DRAWING:  
SITE PLAN  
NOTES

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS CORRECTED BY:

DATE	BY
NOV 10-2018	DC
PROJECT NO.	AS SHOWN

18-07

A1

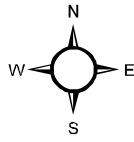
1 SITE PLAN  
A1 SCALE: 1/32" = 1'-0"

# MAP 1

## File Number: ANPL2019360

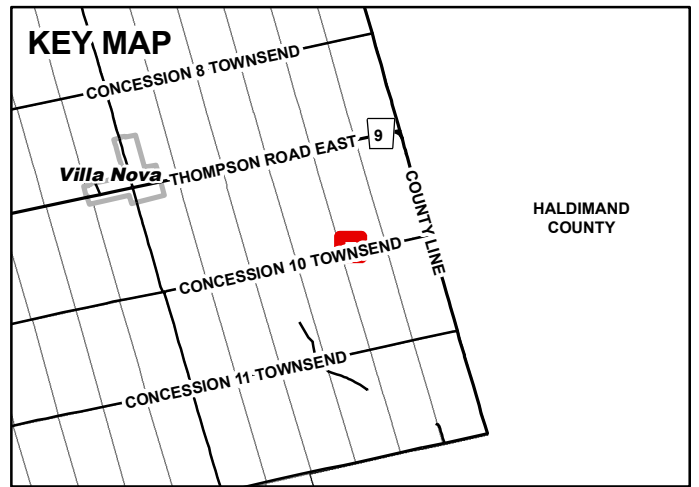
Geographic Township of

### TOWNSEND



1:1,500

10 5 0 10 20 30 40 Meters



33606033900

LOT 23  
CON 9

14.934

3-Z-2018

33606033800

HL

**SUBJECT  
LANDS**

A

LOT 22  
CON 9

CONCESSION 10 TOWNSEND

33606053700

LOT 23  
CON 10

33606053800

33606053810

LOT 22  
CON 10

**ZONING**

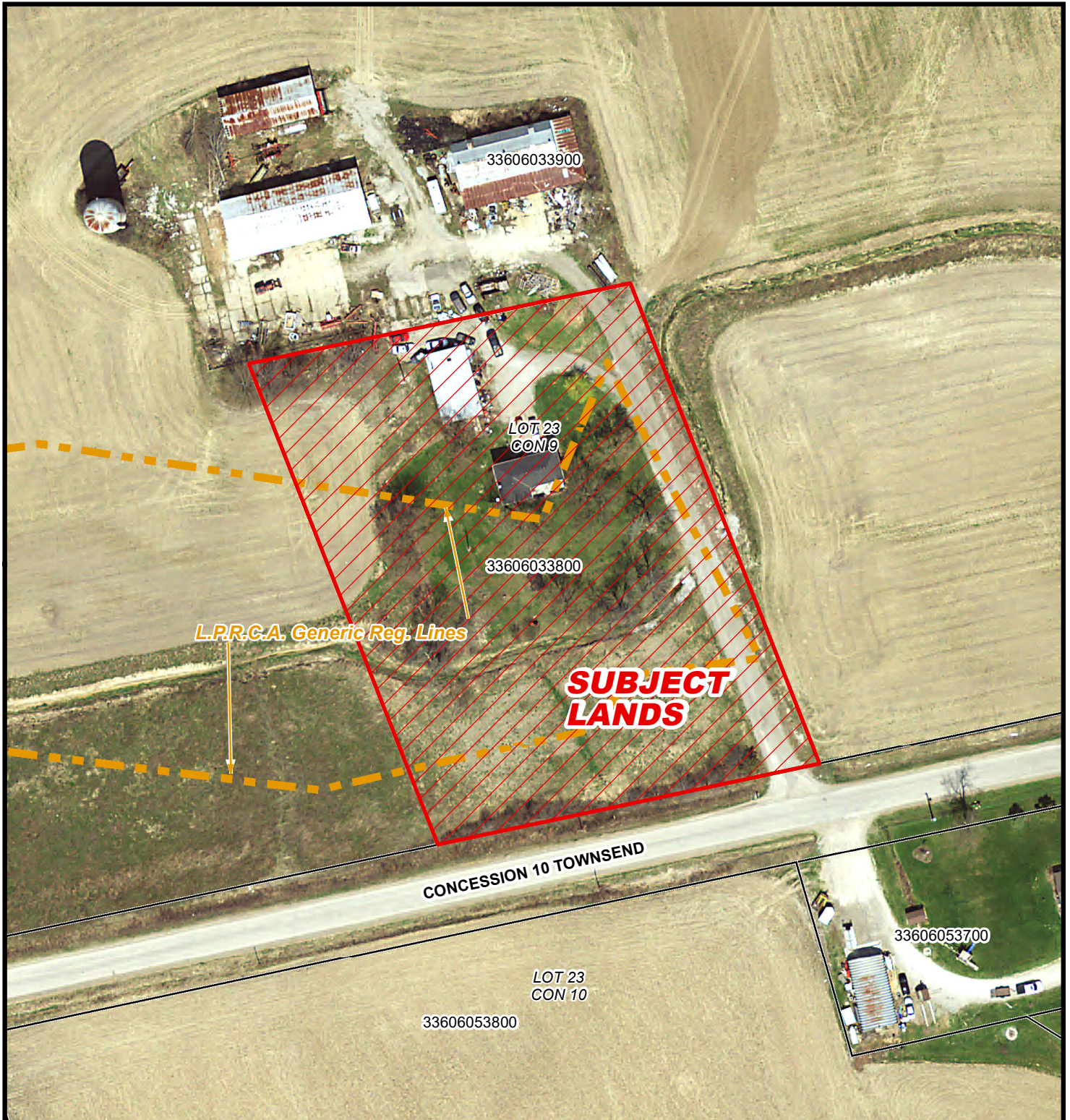
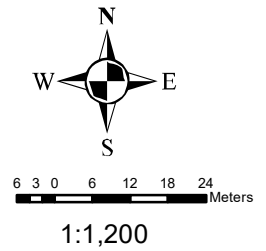
10/29/2019



## MAP 2

File Number: ANPL2019360

Geographic Township of TOWNSEND

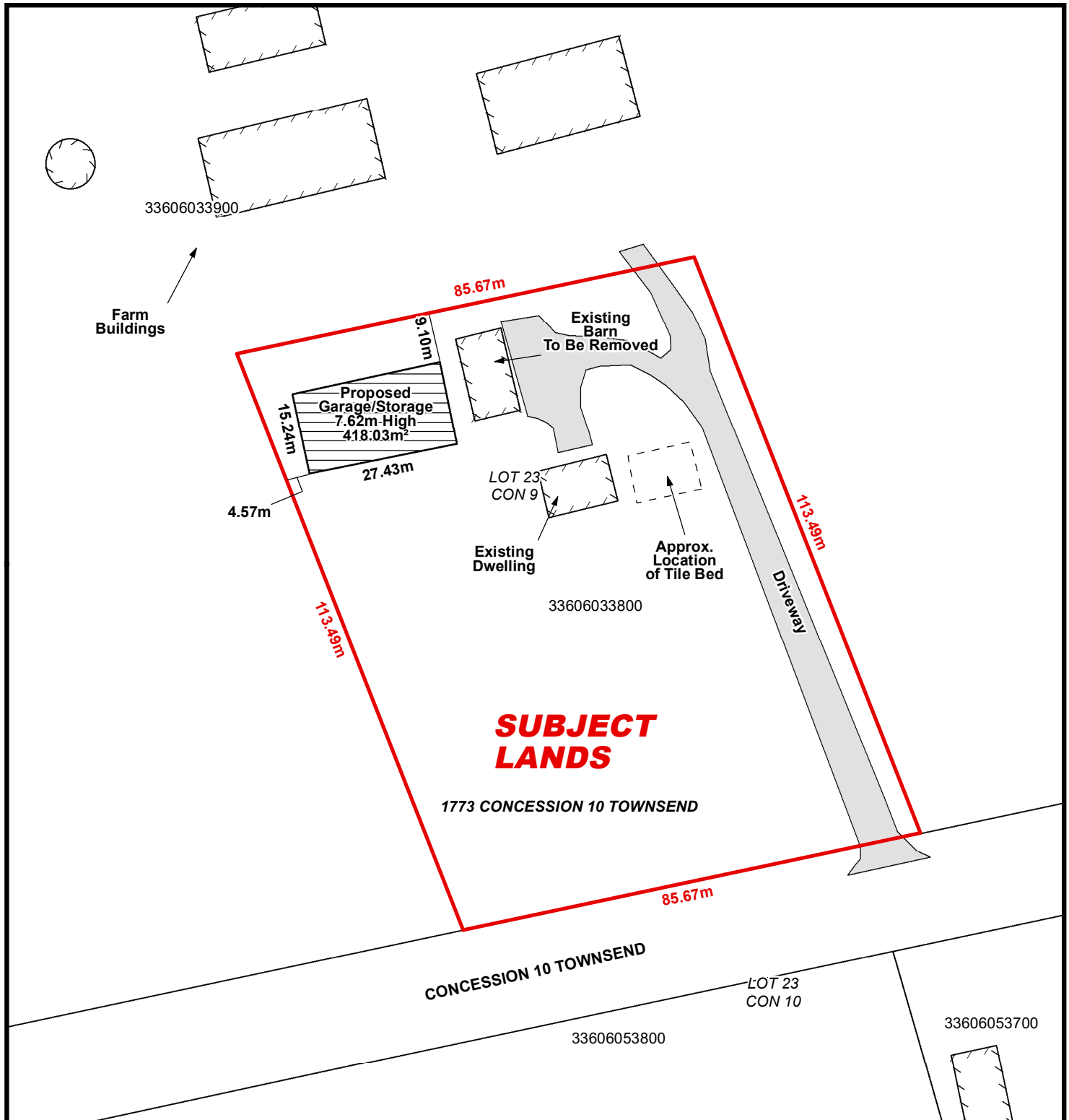
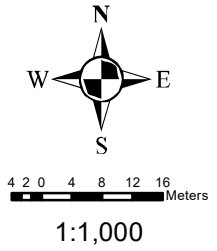




# MAP 3

File Number: ANPL2019360

Geographic Township of TOWNSEND



# LOCATION OF LANDS AFFECTED

File Number: ANPL2019360

Geographic Township of TOWNSEND

