

For Office Use Only:		
File Number	<u>ANPL2019360</u>	Application Fee
Related File Number		Conservation Authority Fee
Pre-consultation Meeting		Well & Septic Info Provided
Application Submitted	<u>10/25/19</u>	Planner
Complete Application	<u>10/25/19</u>	Public Notice Sign
		\$1500.00
		Colin W.
		Yes

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 336 000 33800

A. Applicant Information

Name of Owner Brad Paauw

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 1773 Concession 10
 Town and Postal Code Waterford, Ont NOE 1Y0
 Phone Number
 Cell Number 905 981 2723
 Email bpaauw1984@gmail.com

Name of Applicant Same as Owner

Address
 Town and Postal Code
 Phone Number
 Cell Number
 Email

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence and notices in respect of this application will be forwarded to the agent noted above.



Owner



Agent



Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Townsend Con 9 Pt Lot 23 Parcel 18-2

Section D-6 RP 34-R 0585

Municipal Civic Address: 1773 Concession 10 Townsend

Present Official Plan Designation(s): Agricultural, Hazard Land

Present Zoning: A, H1

2. Is there a special provision or site specific zone on the subject lands?



Yes



No

If yes, please specify:

14.934

3. Present use of the subject lands:

residential

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

house, barn

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example a bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

detached garage

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

agricultural

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, for example: m, m ² or %		
Lot frontage	85.67 m	
Lot depth	113.45 m	
Lot width	85.67 m	
Lot area	9722.68 m ²	
Lot coverage	9722.68 m ²	
Front yard	61.86 m	
Rear yard	31.33 m	
Left Interior side yard	49.02 m	
Right Interior side yard	26.65 m	
Exterior side yard (corner lot)		

2. Please outline the relief requested (assistance is available):

Raising height restriction from 6.5m to 7.62m

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

Trailer height 13.5
Combine height 13.5
Tractor height 11

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed Use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (for example: corn, orchard, livestock) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (for example: gas station, or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

personal knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water
 Individual wells

Communal wells
 Other (describe below)

Sewage Treatment

Municipal sewers
 Septic tank and tile bed in good working order

Communal system
 Other (describe below)

Storm Drainage

Storm sewers
 Other (describe below)

Open ditches

2. Existing or proposed access to subject lands

Municipal road
 Unopened road

Provincial highway
 Other (describe below)

Name of road/street:

Concession 10 Townsend

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
8. Names of adjacent streets
9. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition
- Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment Conservation and Parks, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.



Owner/Applicant/Agent Signature



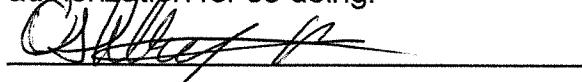
Date

4. Owner's Authorization

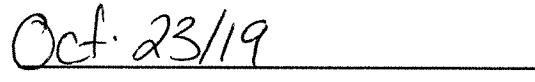
If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Ashley Daauw am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Bradley Daauw to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner



Date

Owner

Date

K. Declaration

I, Brad Paquin of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

185 Robinson St.

In Simco, ON

This 24th day of October

A.D., 2019

Mull

A Commissioner, etc.

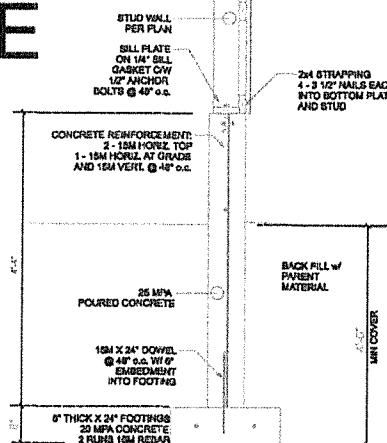


Owner/Applicant/Agent Signature

Alisha Kathleen Cull,
Commissioner, etc., Province of Ontario
for the Corporation of Norfolk County
Expires April 28 2022

50'-0" x 90'-0" STORAGE

for
Elite Home
Improvements



FOUNDATION WALL DETAIL

FIRE SEPARATION (N.F.B.C. 3.1.1.2 - 1 STOREY BLDG.):

1. ONE STOREY BUILDING: 4,500 SQ.FT. PROPOSED

TOTAL: 4,500 SQ.FT.
(NO FIRE SEPARATIONS REQUIRED)

2. VERIFY THAT THE STRUCTURE IS NOT WITHIN 30'-0" OF A PROPERTY LINE, PUBLIC THOROUGHFARE OR A SELLING LINE ON THE PROPERTY. CONTACT STAR BLUEPRINTS INC IF THESE REQUIREMENTS CANNOT BE MET.

EXCAVATION AND BACKFILL:

- Footing shall be on undisturbed soil, rock or compacted granular fill and shall be a minimum of 4'-0" below finished ground level.
- Drawings have been made for soil conditions of no less than 3,000 PSF minimum bearing capacity. Should unusual soil soils be encountered at time of excavation Star Blueprints Inc shall be contacted immediately.
- Footing shall be kept free of standing water at time of excavation.
- Backfill shall be free draining clean granular fill. Provide negative slope away from building.

CONCRETE / FOUNDATION:

1. Minimum Concrete Strength:

LOCATION	STRENGTH	STRENGTH RATIO	ANCHOR BOLTS
FOOTINGS	30 MPa	0.75	65 TO 75"
FOUNDATION WALLS	30 MPa	0.85	85 TO 95"
CONCRETE FLOORS	30 MPa	0.45	75"
STUDS (STORAGE)	30 MPa	10.45	75"

2. Concrete Codes: CONFORM TO CSA 23.1-1.3 MANUAL OF STANDARD PRACTICE BY FIB. L.O. REBAR 400 KIPS

3. Slump: 4" SLUMP +/-1"

4. Concrete Testing: BY CIA CERTIFIED CONCRETE TESTING LABORATORY

5. Slab: BAND CUT TO 1/4" OF SLAB DEPTH
BRACING AT 30 TIMES SLAB DEPTH
CUT WITHIN 24 HRS OF SLAB PLACEMENT

6. Reinforcing rebar splices shall be overlapped at least 10". Rebar in busses shall have a coverage of at least 3". All other concrete coverage for structural reinforcement shall be not less than 2".

STRUCTURAL STEEL:

- All steel shall be designed, fabricated and erected in conformance to CAN/CSA-S16-09 and the 2012 Ontario Building Code.
- All steel members to be new members.
- All rolled structural steel members shall conform to CSA - G40.21-13 / -M300W except wide flange sections (W), and hollow structural steel (HSS) which shall conform to CSA - G40.21-13 - M300W.
- Welding shall conform to CSA - W99 - 03 latest edition. Electrodes shall be E70XX or better.
- Connection bolts shall be ASTM A-325 high strength bolts unless noted.
- All bolted connections shall be bearing type unless noted otherwise.
- All connections shall be inspected as per CAN/CSA - S16 - 09.

FRAMING NOTES:

1. All dimensions, including rough opening sizes, shall be confirmed before construction. Dimension discrepancies shall be reported immediately.

2. Studs shall be anchored to foundation with 1/2" anchor bolts @ 48° spacing and within 6" of ends or corners.

3. Wind-bracing shall be provided @ 45 degree angles on all exterior wall corners AS PER ELEVATION DETAILS.

4. The contractor shall ensure any temporary bracing of walls or busses are adequate.

5. All floor bracing shall be in accordance with the approved engineered drawings of the loss manufacturer. DIAGONAL BRACING MUST BE PROVIDED ON ALL MEMBERS THAT REQUIRE LATERAL BRACING.

6. TRUSS BUS STOP DRAWINGS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHERE REQUIRED AND REVISED BY THE CONTRACTOR FOR DIMENSIONAL CORRELATION WITH THE DRAWINGS AND FIELD CONDITIONS.

7. All wood shall be No. 2 spruce or better.

8. Studs shall be secured to plates w/ 3- 3-1/4" nails.

9. Precautions shall be taken to not overload the structure during construction.

DESIGN LOADS:

1. DESIGN LOADS UNFACTORED UNLESS AND DO NOT INCLUDE IMPORTANCE FACTOR.

CLIMATIC DESIGN - (SIMOC)

S1 + 1.3 LPS
S1 + 1.4 LPS
(S1/50) + 0.45 LPS

RD OF (DEAD) = 175 kPa (NO CEILING + SOLAR)
4/12 PITCH (NO CEILING / ROOF / SOLAR)
SNOW LOAD = 144 kPa BALANCED
= 112 kPa UNBALANCED

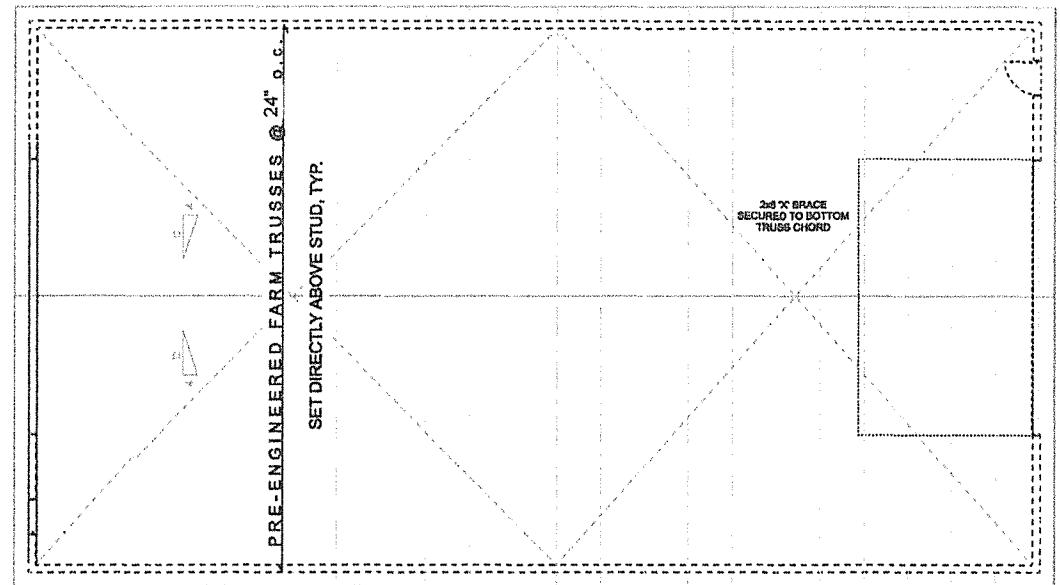
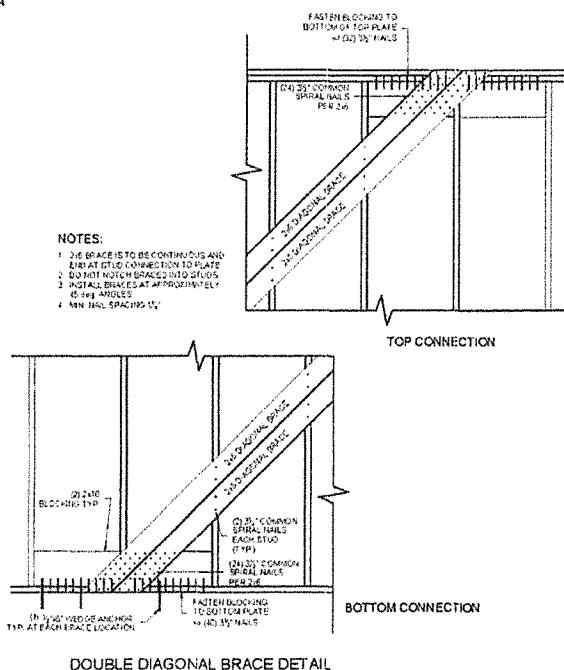
OWNER/CONTRACTOR RESPONSIBILITY FOR SITE REVIEW

- THE CONTRACTOR SHALL BE CONTACTED BY THE OWNER OR CONTRACTOR TO PERFORM SITE REVIEW OF CONSTRUCTION IN ACCORDANCE WITH O.B.C. 12.2(C).
- ENGINEER SHALL BE CONTACTED PRIOR TO ALL CONCRETE POURS AND PRIOR TO INSTALLATION OF INTERIOR FINISHES AND CLADDING. ENGINEER WOULD PREFER 24 HOURS NOTICE.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.

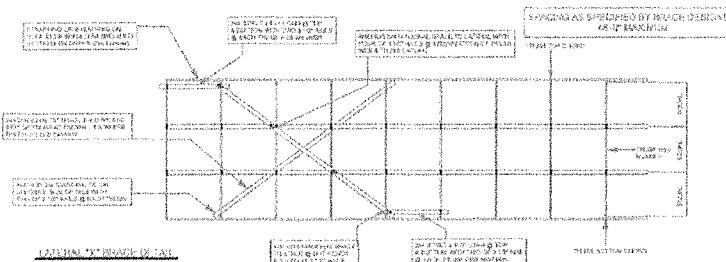
PROJECT # 18-10-073		Client
 WADDELL ENGINEERING LTD. 119 PINEBUSH RD. CAMBRIDGE ON PH. 519-207-0789 FAX: 1-866-368-9459 INFO@WADDELLENG.COM		Elite Home Improvements
Project Title		50'-0" x 90'-0" Shed
Drawing		COVER PAGE
1773 Concession 10 Townsend Waterford, ON		

S1



NOTES FOR BRACING OF ROOF TRUSS(ES):

1. CONTRACTOR/HIRER OWNER TO NOTIFY MANUFACTURER OR ANY PLATE SUPPLIER IF PLATE HAS DAMAGED OR BROKEN TRUSSES, WARPING OR PLATE BOWING, AND REASON OF SAME/PLATE.
2. DOUBLE DIAGONAL BRACING MUST BE PROVIDED ON ALL VIEWS/HANDBRACKS THAT RECHAS LATERAL PLATE. DIAGONAL BRACING SHOULD BE SPACED AS SHOWN ON THE CHORD DRAWINGS. X-Bracing shall be provided at shearwalls or internal holes on the roof plan.
3. ATTIC LATERAL BRACING TO BE INSTALLED ON VIBRANT MEMBERS AS INDICATED ON THE ROOF PLAN AND HANDBRACKS IF DAMAGED.
4. PROVIDE DIAGONAL BRACING IN ALL DORMER/ATTIC LATERAL BRACING SUCH AS W/ THE TRUSS VIBRANT MEMBERS.
5. THE DRAFT SUPPORT SPAN DESIGN THE DRAFT SUPPORT SPAN AS SHOWN. BRACING DETAILS WILL NOT BE PROVIDED UNLESS SPECIFIED BY THE REQUESTED CONTRACTOR.



ROOF NOTES

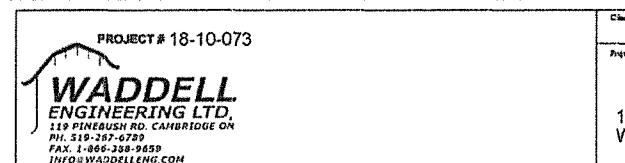
PROVIDE X BRACING OF TRUSS LATERALS AS PER MFG SHOP DRAWINGS REVIEWED BY PROJECT ENGINEER (SEE DETAIL 29-S).

PROVIDE ATTIC FIRE STOP AS SHOWN. 7/16" OSB SECURED TO TRUSS ON 2x3 TRAMMA AS INDICATED. ALL JOINTS SHALL HAVE CONTINUOUS SUPPORT. NO DIMENSION IN COMPARTMENT SHALL EXCEED 16'4". FIRE STOP NOT TO INTERFERE WITH ROOF VENTILATION.

PROVIDE ATTIC HATCHES INTO EACH ATTIC PORTION.

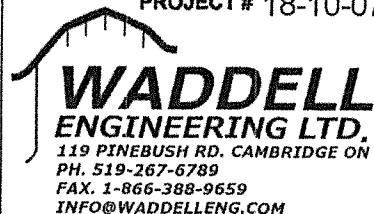
16" OVERHANG EAVE
GABLE TYPICAL

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PROCEED IN UNCERTAINTY.



Client	Elite Home Improvements	
Project No.	50'-0" x 90'-0" Shed	Drawing
1773 Concession 10 Townsend Waterford, ON		ROOF PLAN

PROJECT # 18-10-073



Client

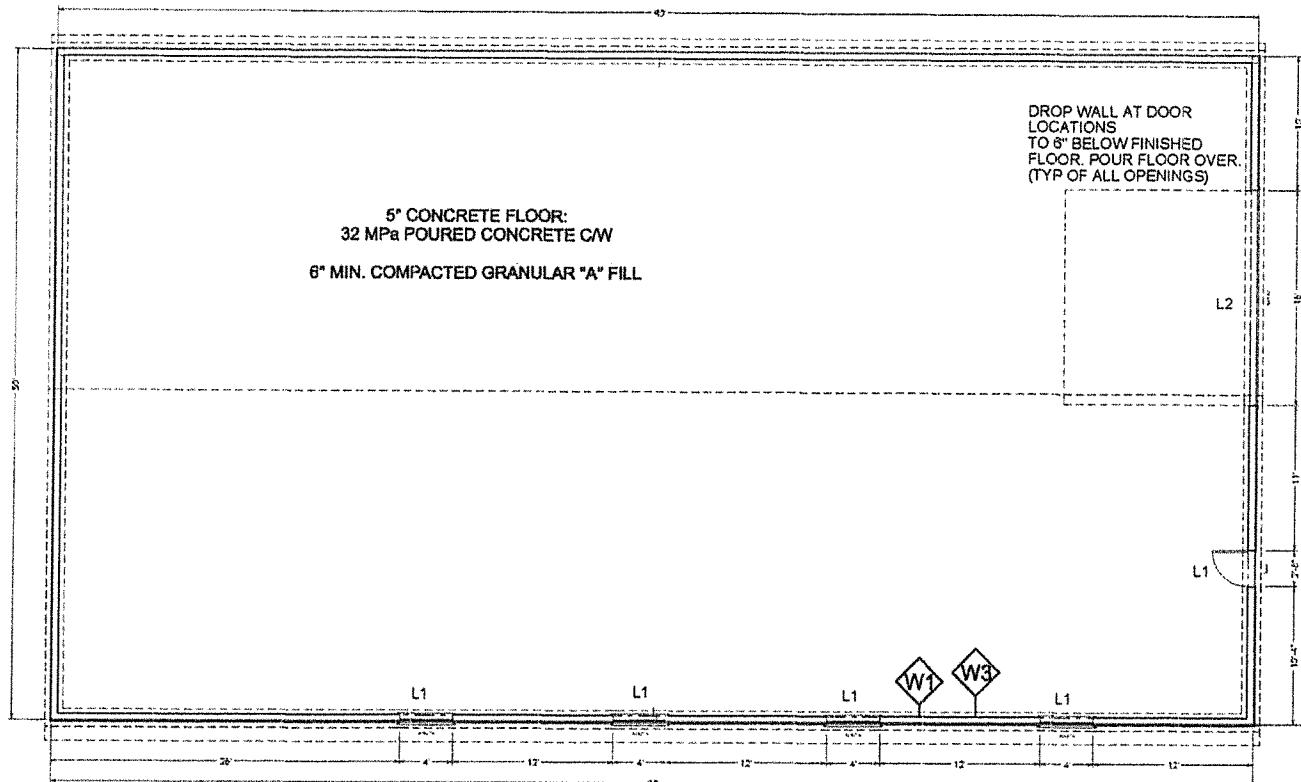
Elite Home Improvements

Project Title 50'-0" x 90'-0" Shed

Drawing

1773 Concession 10 Townsend
Waterford, ON

S3



WALL SCHEDULE

W1 8" CONCRETE FOUNDATION WALL
4'-4" HIGH, 12" ABOVE GRADE
25 MPa CONCRETE
REINFORCE PER DETAIL

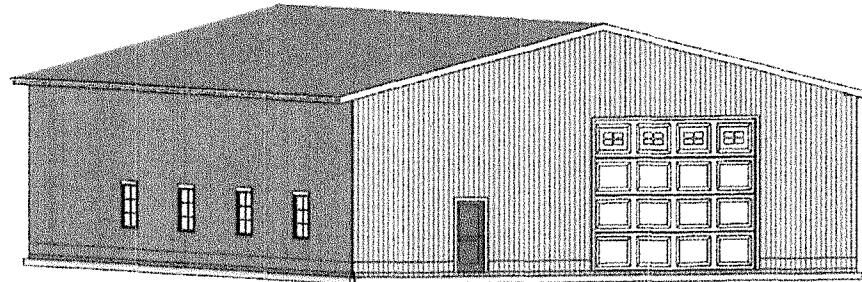
TYPICAL STRIP FOOTING
20 MPa CONCRETE
C/W (2) 15M CONTINUOUS
UNDISTURBED SOIL

LINTEL SCHEDULE

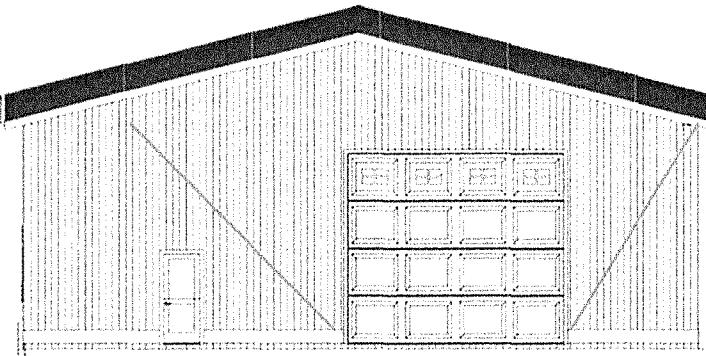
L1 = (2) 2X10 HEADER C/W 1 BEARING STUD & 1 KING STUD
L2 = (3) 2X10 HEADER C/W 1 BEARING STUD & 1 KING STUD

W3 WOOD-FRAMED STUD WALL
29 ga. METAL SIDING

2x4 STRAPPING 24" o.c.
2x6 STUDS 16" o.c.
BLOCKING @ 48" o.c.
BRACING AS PER ELEVATIONS

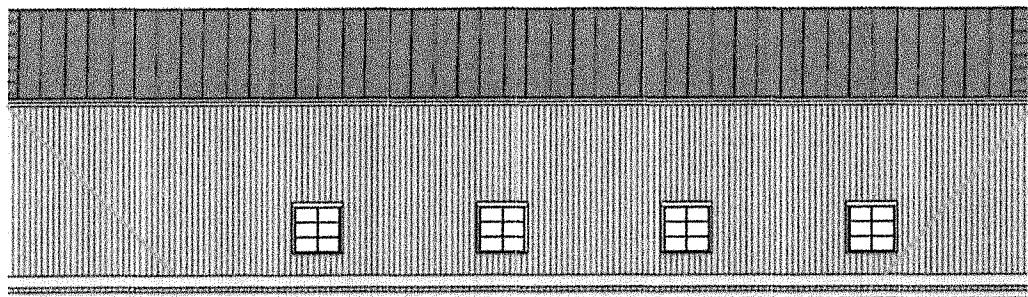


1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL



1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL

Camera 4



1 x DOUBLE DIAGONAL BRACE EACH WAY EACH WALL AS PER DETAIL

PROJECT # 18-10-073

WADDELL
ENGINEERING LTD.
119 PINEBUSH RD. CAMBRIDGE ON
PH. 519-267-6789
FAX. 1-866-388-9659
INFO@WADDELLENG.COM

Client

Elite Home Improvements

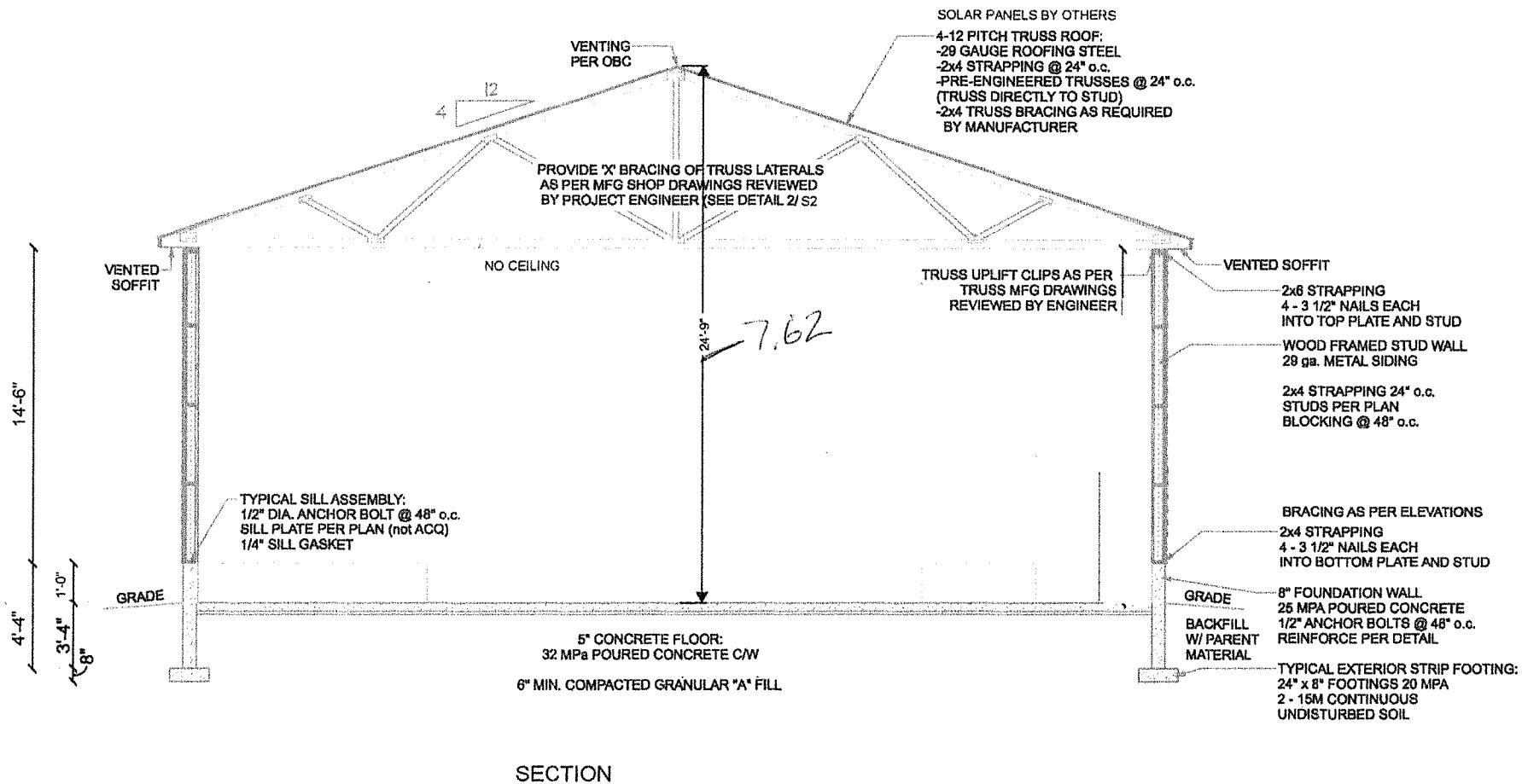
Project Title

50'-0" x 90'-0" Shed

Drawing

1773 Concession 10 Townsend
Waterford, ON

S4



<p>PROJECT # 18-10-073</p> <p>WADDELL ENGINEERING LTD. 119 PINEBUSH RD. CAMBRIDGE ON PH. 519-267-6789 FAX. 1-866-388-9659 INFO@WADDELLENG.COM</p>	<p>Client</p> <p>Elite Home Improvements</p>
	<p>Project Title 50'-0" x 90'-0" Shed</p> <p>Drawing</p> <p>1773 Concession 10 Townsend Waterford, ON</p>

S5

GENERAL NOTES

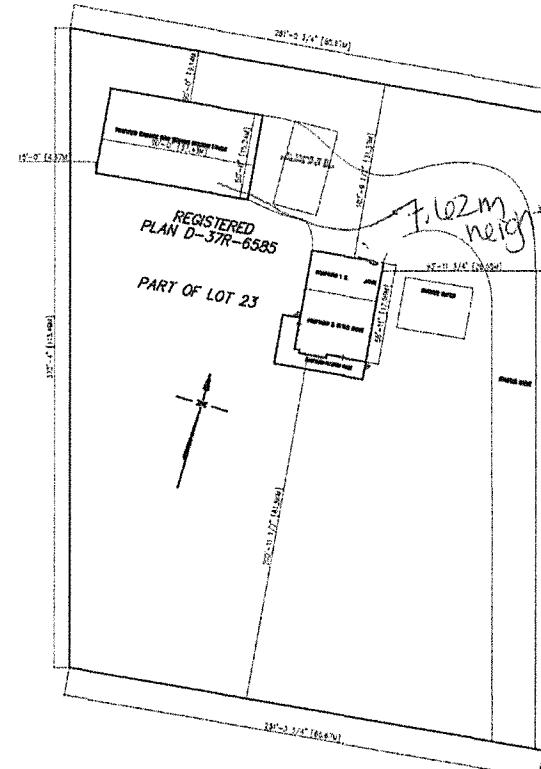
- ALL DIMENSIONS IN FEET AND INCHES /METERS AND MILLIMETRES
- DO NOT SCALE DRAWINGS
- ALL DISCREPANCIES TO BE REPORTED TO THE CONSULTANT PRIOR TO SITE WORK IMMEDIATELY BEFORE CONSTRUCTION
- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY CONTRACTOR, ANY DISCREPANCIES TO BE REPORTED TO CONSULTANT.
- ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE MINIMUM REQUIREMENTS, LATEST RELEASE, ALL ZONING AND BUILDING REGULATIONS UNDER AUTHORITIES HAVING JURISDICTION
- THESE DRAWINGS ARE THE PROPERTY OF THE CONSULTANT AND ARE NOT TO BE REPRODUCED OR USED FOR CONSTRUCTION UNLESS AUTHORIZED
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH & SAFETY ACT.
- ALL CONCRETE TO BE A MINIMUM OF 25MPA AT 28 DAYS. ANY MASONRY TO BE PERFORMED IN ACCORDANCE WITH CSA STANDARD S304 BELOW GRADE MORTAR TO BE TYPE S
- REBAR: G30, 18-GRADE 400
- STRUCTURAL STEEL TO BE IN ACCORDANCE WITH CAN/CSA-S16.1-M89. ALL STEEL TO BE PAINTED WITH RUST PROTECTION MATERIAL.
- ALL WELDING SHALL CONFORM TO CSA STANDARD W59.1
- LUMBER TO BE SPF SELECT STRUCTURAL UNLESS NOTED OTHERWISE.
- ALL LVLs TO BE OF GRADE: 2950F-2-0E
- TRUSS JOISTS: MC MULLEN PRO
- ALL JOIST CONNECTIONS TO BE MADE WITH SIMPSON STRONG-TIES UNLESS NOTED OTHERWISE.
- THE ENERGY EFFICIENCY OF A BUILDING OR PART OF A BUILDING OF RESIDENTIAL OCCUPANCY THAT IS WITHIN THE SCOPE OF PART 9 AND IS INTENDED FOR OCCUPANCY ON A CONTINUING BASIS DURING THE WINTER MONTHS SHALL MEET THE PERFORMANCE LEVEL THAT IS EQUAL TO A RATING OF 80 OR MORE WHEN EVALUATED IN ACCORDANCE WITH NRCan, "ENERGUIDE FOR NEW HOUSES: ADMINISTRATIVE AND TECHNICAL PROCEDURES", OR CONFORM TO SUPPLEMENTARY STANDARD SB-12

SITE STATS.

LOT AREA: 9722.58 SQ.M.
 LOT FRONTAGE: 35.67 M
 PRO. COVERAGE INCLUDING PROPOSED STORAGE: 652.26 SQ.M.
 TOTAL PRO. LOT COVERAGE: 6.7%
 PRO.GFA INCLUDING GARAGE: 360.48 SQ.M.

SITE INFO. TAKEN FROM:

PART OF LOT 23, REGISTERED PLAN 57R-6585 PREPARED BY JEWITT AND DIXON OLS
 DATE: NOV 22 1993



COMPACT CONTRACTING
 DESIGN INC. 416-886-4005

8		
7		
6		
5		
4		
3		
2		
1	PERMIT	DEC 10/2018
NO.	PERMITS	DATE

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CONTRACTOR MUST CHECK AND VERIFY ALL DRAWINGS ON THE JOB.

**GRAY
 RESIDENTIAL
 COMMERCIAL
 DESIGN INC.**

**PROJECT:
 NEW HOUSE
 17/3 CONCESSION 10
 WATERTFORD
 ONTARIO**

**DRAWING:
 SITE PLAN
 NOTES**

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES
 THIS DRAWING IS FOR INFORMATION ONLY

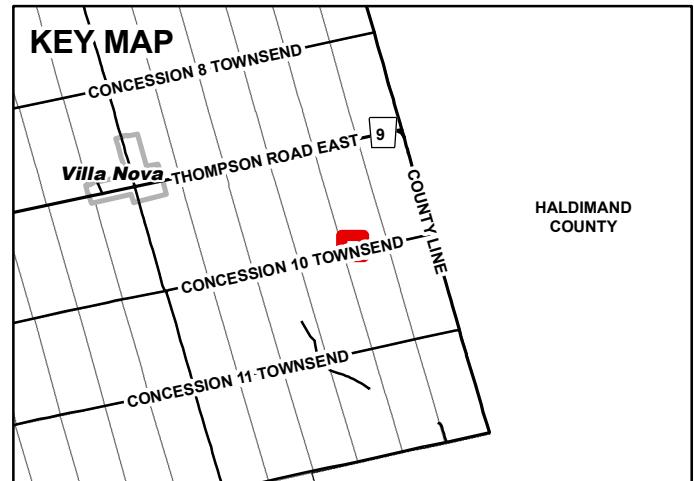
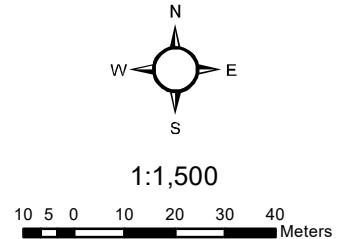
ISSUE #1	ISSUE #2
DG	DG
DEC 10-2018	AS SHOWN
PROJECT NO.	ISSUE NO.
18-07	A1

1 SITE PLAN
 A1
 SCALE: 1/32" = 1'-0"

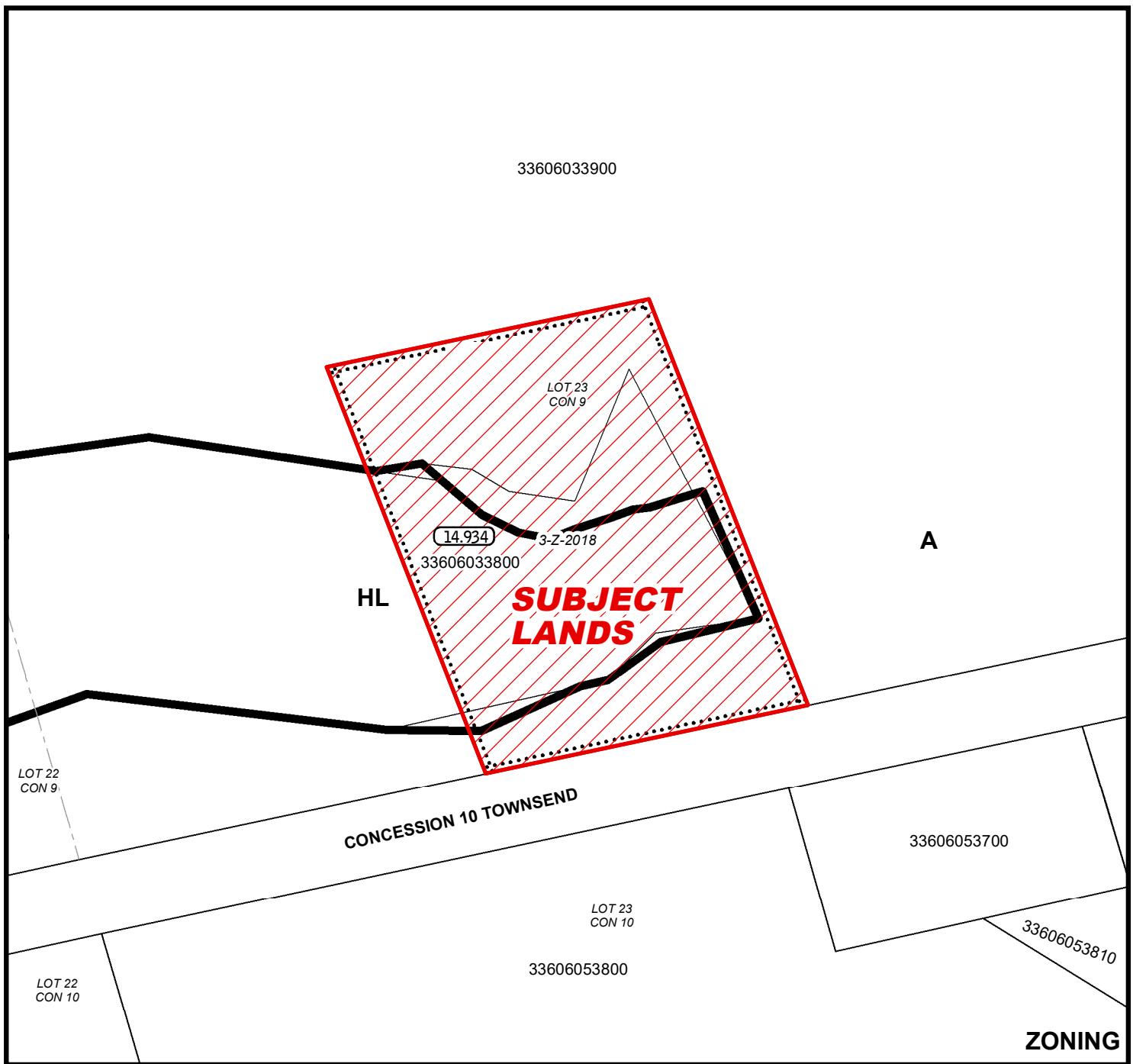
MAP 1

File Number: ANPL2019360

Geographic Township of
TOWNSEND



33606033900



10/29/2019

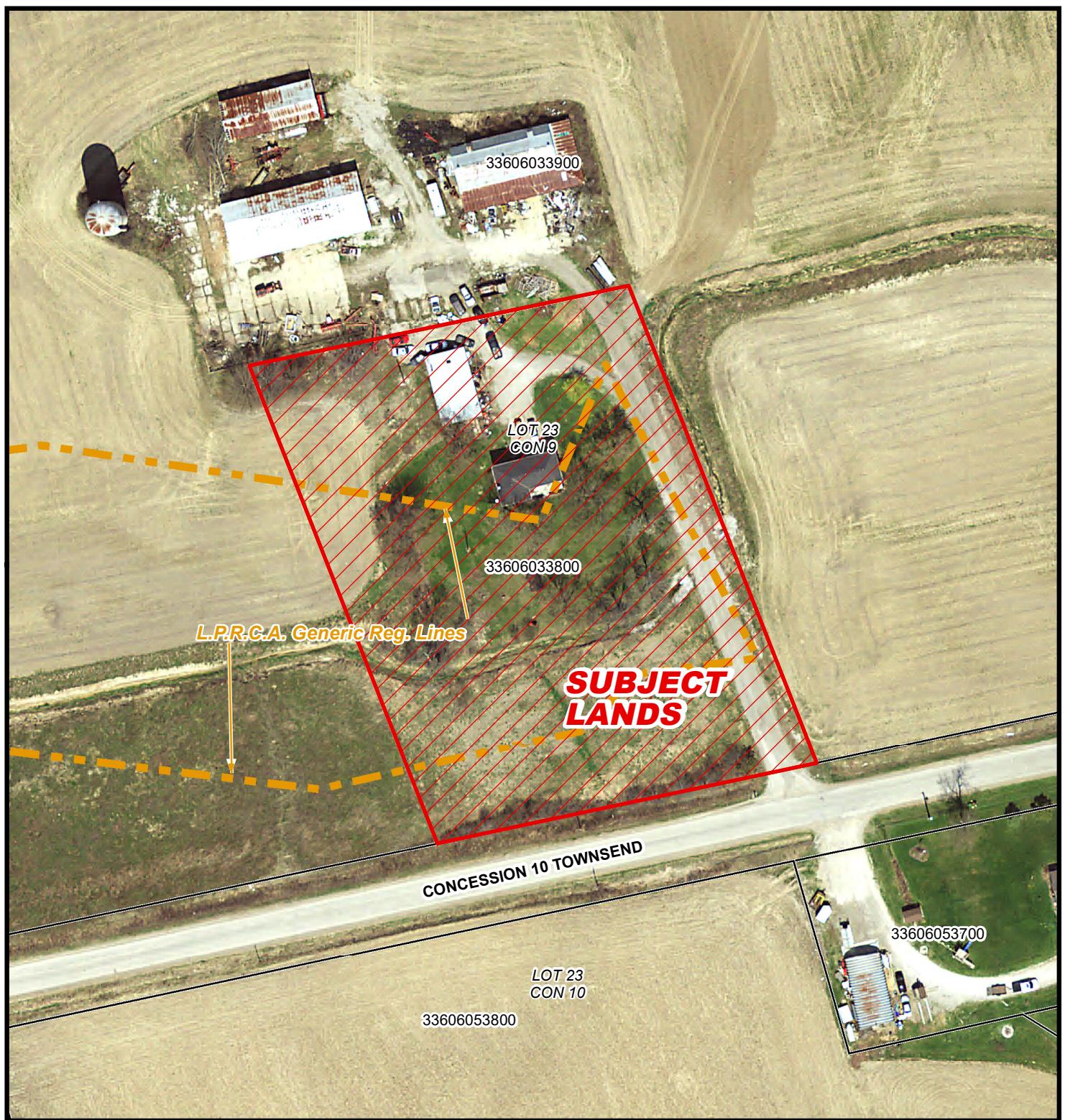
MAP 2

File Number: ANPL2019360

Geographic Township of TOWNSEND

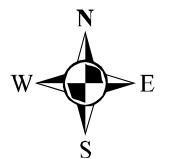


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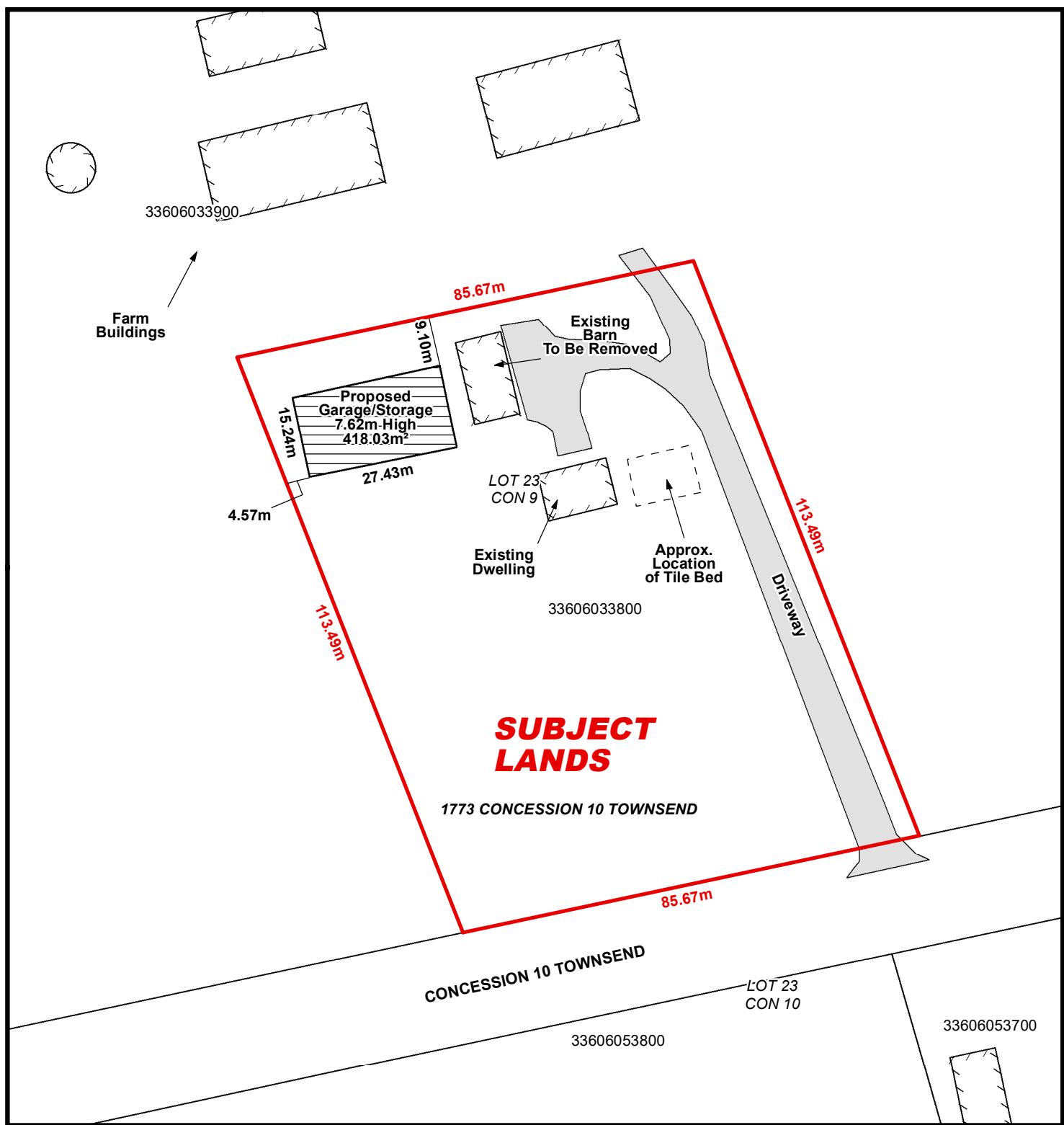
MAP 3

File Number: ANPL2019360
Geographic Township of TOWNSEND



4 2 0 4 8 12 16 Meters

1:1,000

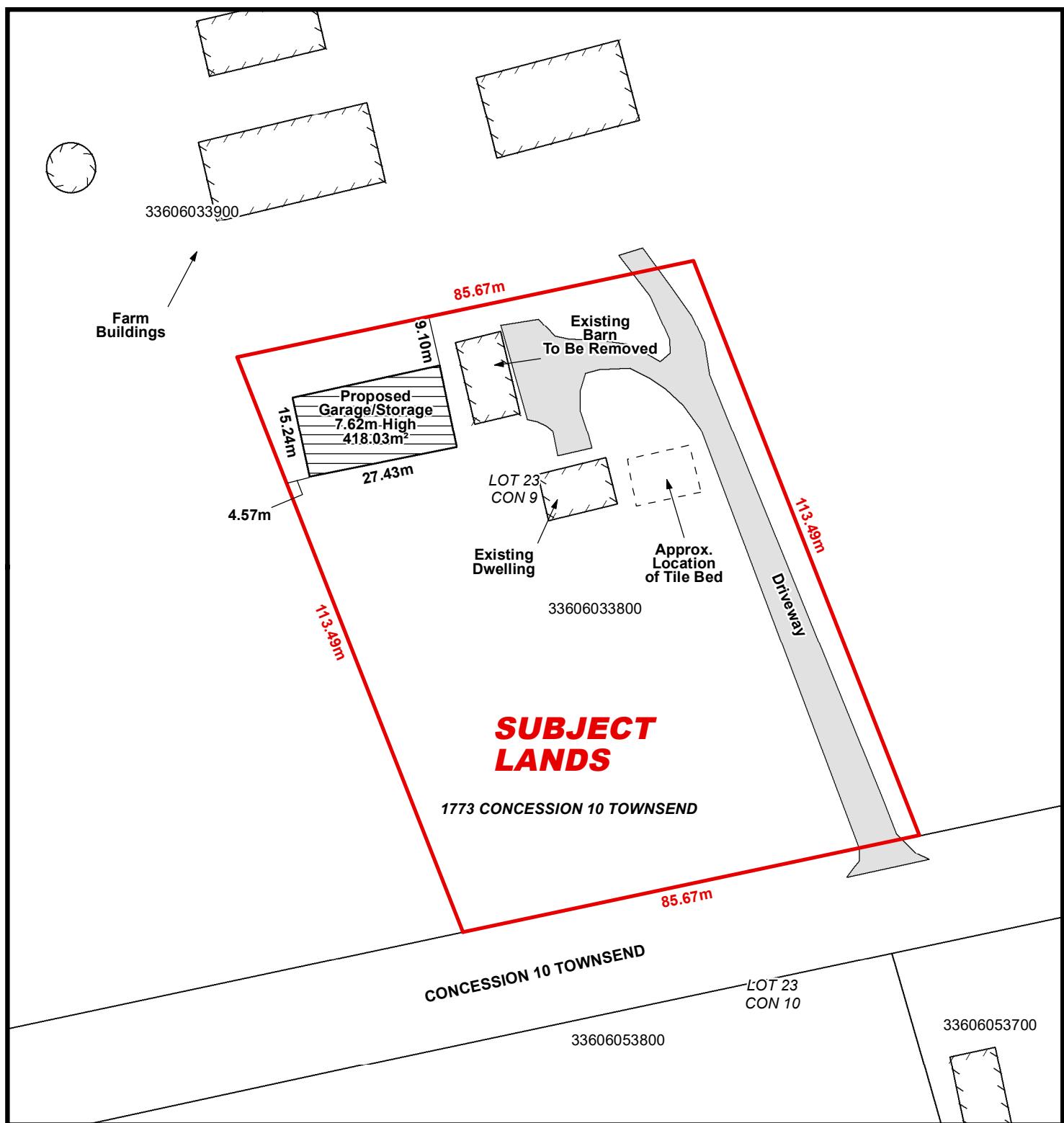
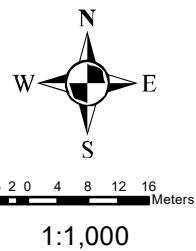


10/29/2019

LOCATION OF LANDS AFFECTED

File Number: ANPL2019360

Geographic Township of TOWNSEND



10/29/2019