

For Office Use Only:

File Number	<u>ANPL2018279</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>-</u>	Conservation Authority Fee	<u>-</u>
Pre-consultation Meeting	<u>-</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>Nov 13/18</u>	Planner	<u>Steve</u>
Complete Application	<u>Nov 13/18</u>	Public Notice Sign	<u>Yes</u>

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 331049101228010

A. Applicant Information

Name of Owner Stuart Hanson and Pamela Demontmorency

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 213 Windham Road 7

Town and Postal Code LaSalette, ON N0E 1H0

Phone Number 416-407-9622

Cell Number _____

Email _____

Name of Applicant _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent David Roe, Civic Planning Solutions
Address 599 Larch Street
Town and Postal Code Delhi, ON N4B 3A7
Phone Number 519-582-1174
Cell Number _____
Email dfrfez@bellnet.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

Owner

 Agent

 Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Windham Con 6 Pt Lot 22 RP 37R10132 Part 1

Municipal Civic Address: 213 Windham Road 7

Present Official Plan Designation(s): Agricultural

Present Zoning: Agriculture (A)

2. Is there a special provision or site specific zone on the subject lands?

Yes
 No
 If yes, please specify:

3. Present use of the subject lands:

rural residential lot

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

residential dwelling and garage are to be retained

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

the dwelling and garage are to be joined through a breezeway

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

the dwelling and garage are to be joined through a breezeway

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:
residential dwelling established after 2010

9. Existing use of abutting properties:

surrounded by agricultural fields except a woodlot to the south

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	88.39 m	
Lot depth	45.5 m	
Lot width	88.39 m	
Lot area	40,021.74 m ²	
Lot coverage		
Front yard	15 m	
Rear yard	17.5 m	7 m
Left Interior side yard	44.89 m	
Right Interior side yard	16.8 m	
Exterior side yard (corner lot)		

2. Please outline the relief requested (assistance is available):

relief of 2 m from the required 9 m rear yard set back to permit a 7 m rear yard

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

the dwelling and garage are already built, adding the breeze way creates this
need for a driveway

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____
Depth: _____
Width: _____
Area: _____
Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

owners personal knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

No change in land use is proposed

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

No change in land use is proposed

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

No change in land use is proposed

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance 20 m+ to south

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance _____

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance 20 m+ south

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)
-

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed Other (describe below)
-

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Windham Road 7

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition
- Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

[Signature]
Owner/Applicant/Agent Signature

November 13/18
Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We Stuart Hanson & Pam Demontmorency am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize David Roe, Civic Planning Solutions to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

[Signature]
Owner
[Signature]
Owner

Oct. 14, 2018
Date
Oct 14, 2018
Date

K. Declaration

I, David Roe of Norfolk County

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Wangata

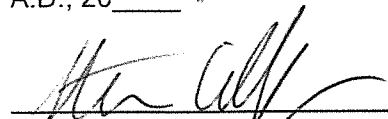


Owner/Applicant/Agent Signature

In Norfolk County

This 13 day of November

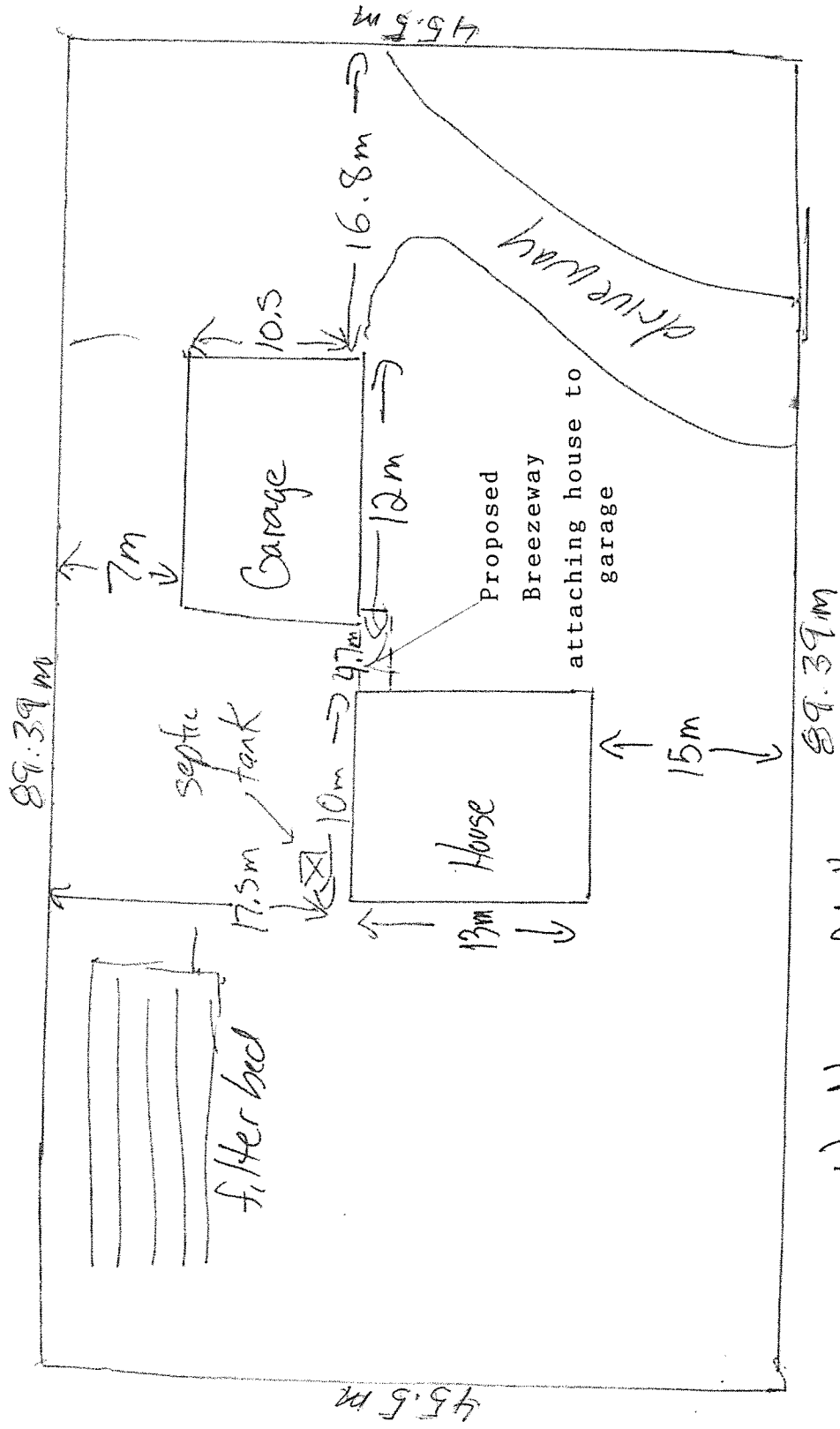
A.D., 20 13



A Commissioner, etc.

Steven James Collyer,
a Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires April 3, 2021

213 Windham Road 7



Windham Rd #7



Working together with our community to provide quality services.

Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

OFFICE USE ONLY		FILE NO.:		DATE RECEIVED:				
PROPERTY INFORMATION		Municipal Address: 213 Windham Road 7						
Owner: Stuart Hanson & Pam Demontmorency		(416-407-9622)		Lot: 22	Concession: 6			
Lot Area: 40021m ²	Lot Frontage: 88.39m	Assessment Roll No. 331049101228010						
PURPOSE OF EVALUATION		<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____						
BUILDING INFORMATION		<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural						
Building Area: 1,800 sq ft		No. of Bedrooms: 3	No. of Fixture Units: 24	Is the building currently occupied? <input checked="" type="radio"/> Yes / No If No, how long?				
EVALUATOR'S INFORMATION		Evaluator's Name: Larry Dedrick		Company Name: Dedrick Bros. Excavating LTD.				
Address: 370 Lynedoch Rd; Palmy		Postal Code: N4B-2W4		Phone: 519-582-2069				
Email: dbel@k.wic.com		BCIN # 16930						
SITE EVALUATION		Ground Cover (trees, bushes, grass, impermeable surface): Grass		Soil Type: Sand				
Site Slope: <input type="checkbox"/> Flat <input checked="" type="checkbox"/> Moderate <input type="checkbox"/> Steep		Soil Conditions: <input checked="" type="checkbox"/> Wet <input type="checkbox"/> Dry		Depth of Water Table: 5' plus ft.				
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		Current Weather (at time of evaluation):				
SYSTEM EVALUATION		Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input checked="" type="checkbox"/> 4 (Leaching Bed) <input type="checkbox"/> 5 (Holding Tank)						
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other 4500L		Size: 1,000 Gal.		Pump: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>				
Distribution System: Area: <input checked="" type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium		No. of Tile Runs: 5	Total Length of Tile: 500	Distance Between Tile Runs: 6 ft				
Tile Material: <input checked="" type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other		Ends: <input checked="" type="checkbox"/> Capped <input type="checkbox"/> Joined		Cover: <input type="checkbox"/> Filter Cloth <input checked="" type="checkbox"/> Sand <input checked="" type="checkbox"/> Top Soil <input checked="" type="checkbox"/> Seeded				
Setbacks:			Tank			Distribution Pipe		
Distance to Buildings & Structures (ft)			5'			20'		
Distance to Bodies of Water (ft)			150 Pond East Side Lot			155		
Distance to Nearest Well (ft)			50			70		
Distance to Proposed Property Lines			Front 64' Rear 52' Side 140' Side 142' W E			Front 110' Rear 15' Side 10' Side 150' W E		

OVERALL SYSTEM RATING

- System Working Properly / No Work Required
- System Functioning / Maintenance Required
- System Not Functioning / Minor Repair Required
- System Failure/Major Repair / Replacement Required

Note:

Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-5870 for more information.

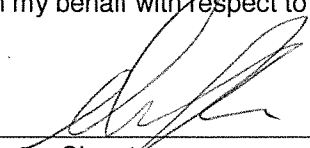
Additional Comments:

VERIFICATION

OWNER:

The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.

I, David Roe (Agent) (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.



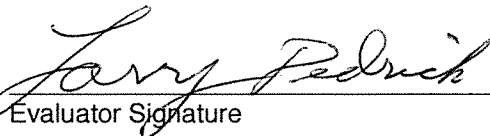
Owner Signature

Nov 7/18

Date

EVALUATOR:

1. I, Larry Pedrick declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.



Evaluator Signature

Nov. 5/18

Date

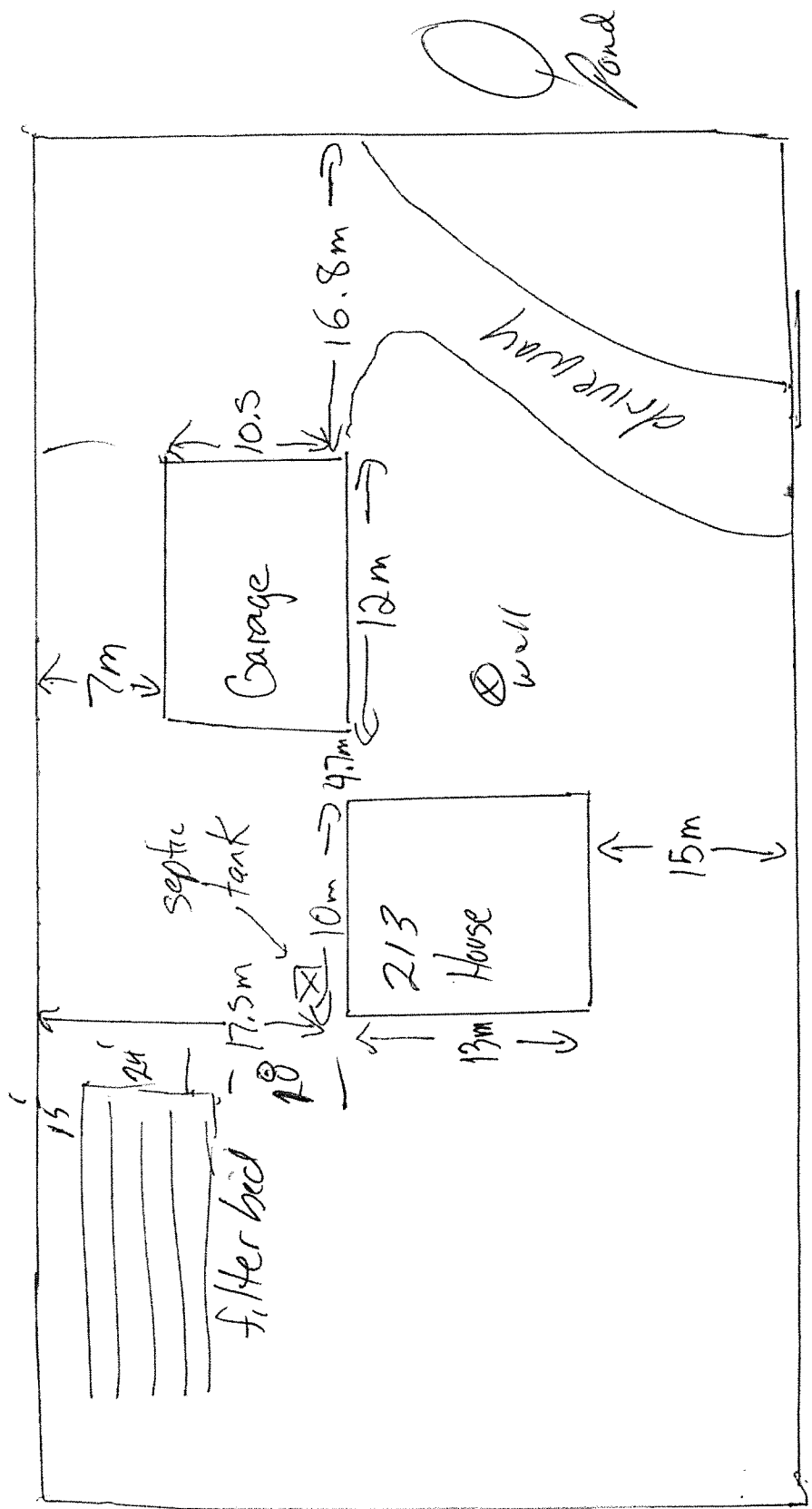
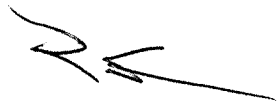
BUILDING DIVISION COMMENTS

Comments: _____

I, _____ have reviewed the information contained in this form as submitted.

Chief Building Official or designate

Date



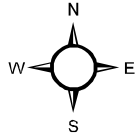
213 Windham Rd #7

MAP 1

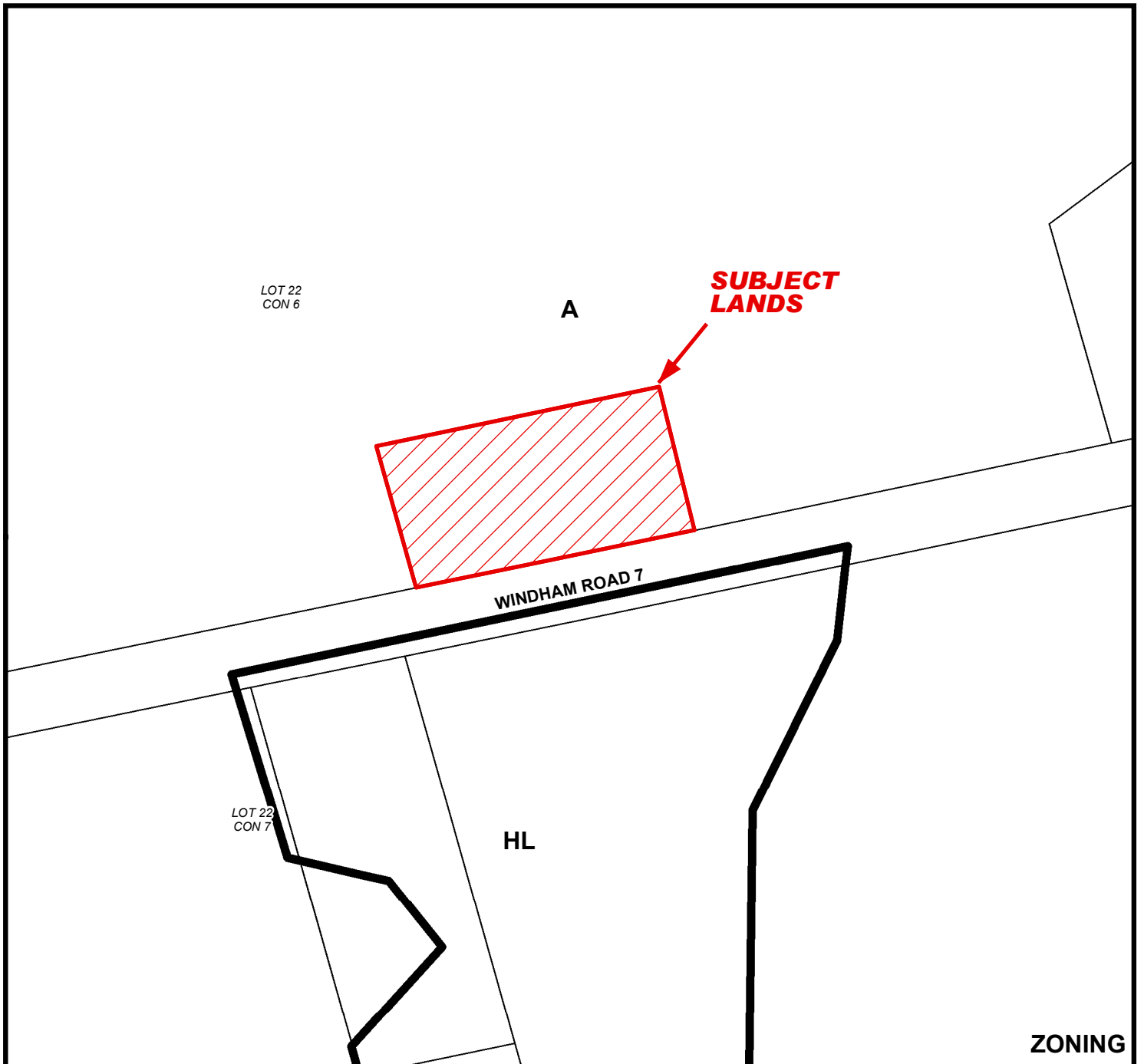
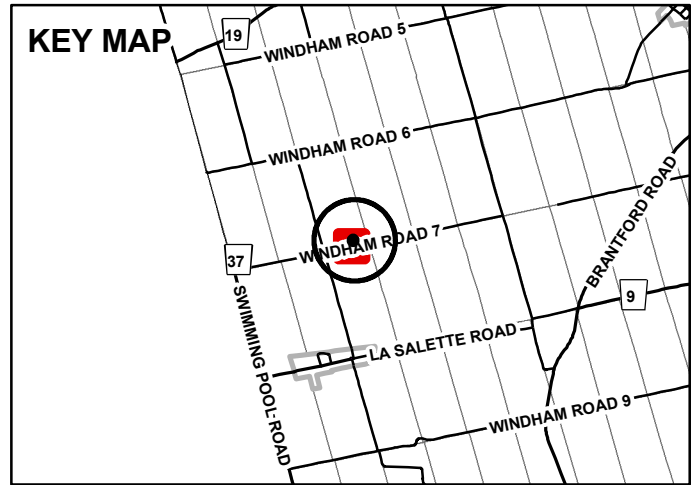
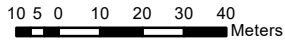
File Number: ANPL2018279

Geographic Township of

WINDHAM



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MAP 2

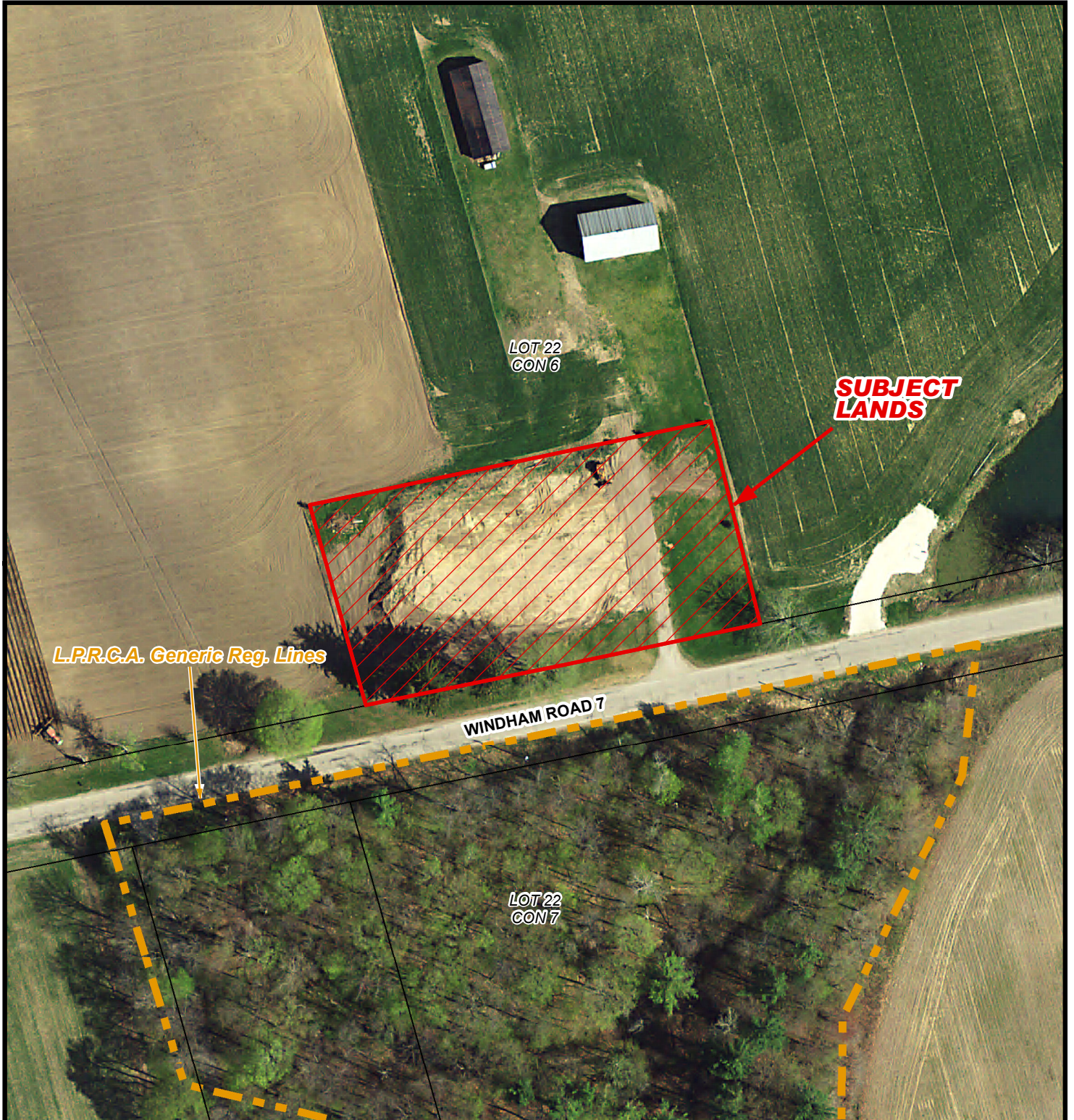
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Geographic Township of WINDHAM



4.5 20 4.5 9 13.5 18 Meters

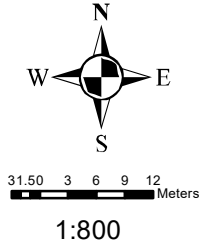
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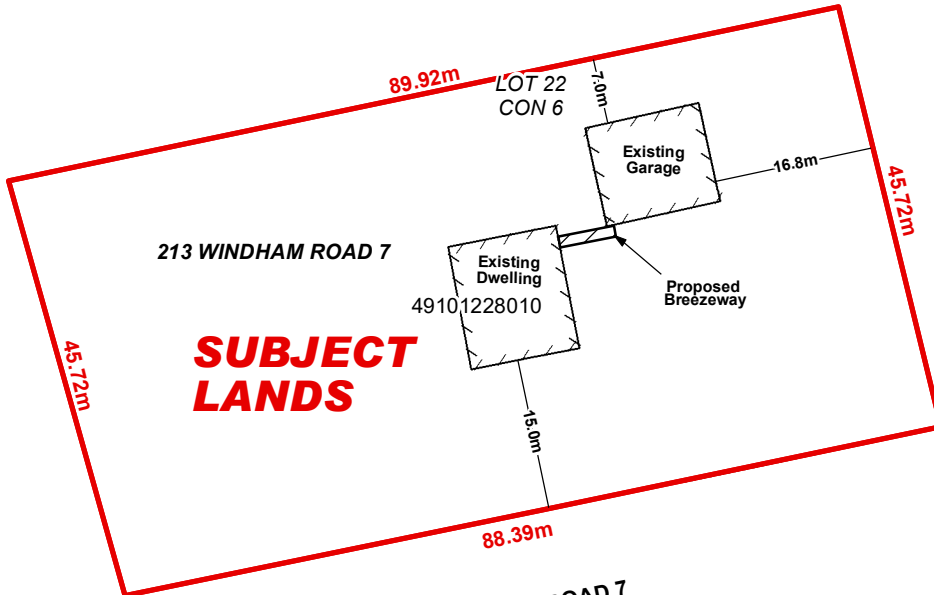
MAP 3

File Number: ANPL2018279

Geographic Township of WINDHAM



49101228000



213 WINDHAM ROAD 7

**SUBJECT
LANDS**

89.92m

LOT 22
CON 6

7.0m

Existing
Garage

16.8m

Existing
Dwelling

49101228010

Proposed
Breezeway

45.72m

45.72m

15.0m

88.39m

WINDHAM ROAD 7

LOT 22
CON 7

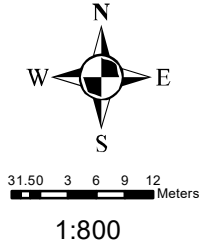
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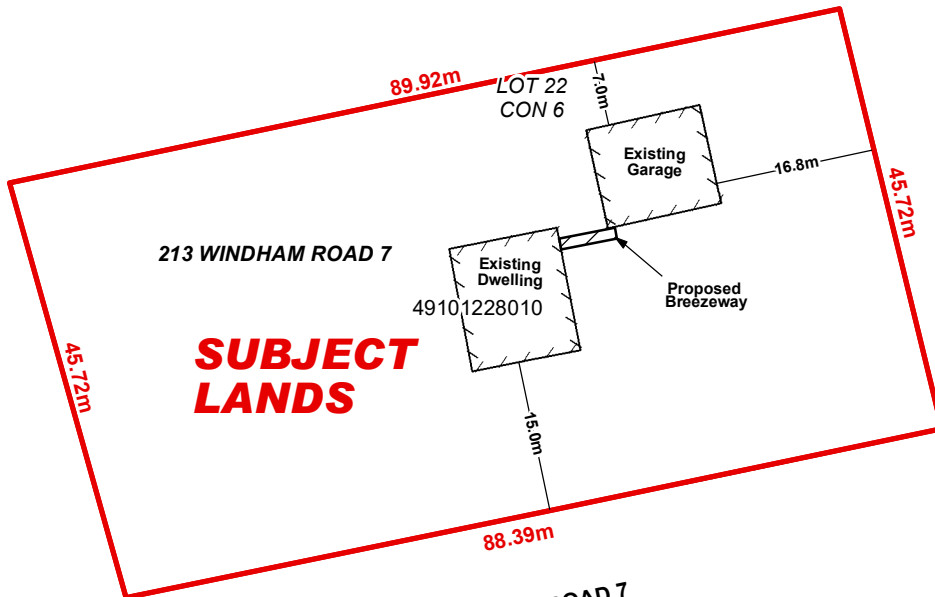
LOCATION OF LANDS AFFECTED

File Number: ANPL2018279

Geographic Township of WINDHAM



49101228000



213 WINDHAM ROAD 7

**SUBJECT
LANDS**

89.92m

LOT 22
CON 6

7.0m

Existing
Garage

16.8m

Existing
Dwelling

49101228010

Proposed
Breezeway

45.72m

45.72m

15.0m

88.39m

WINDHAM ROAD 7

LOT 22
CON 7

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