

For Office Use Only:

File Number	<u>ANPL2018155</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>\$474.60</u>
Pre-consultation Meeting	<u>June 27/18</u>	OSSD Form Provided	<u>—</u>
Application Submitted	<u>July 6/18</u>	Planner	<u>Steve</u>
Complete Application	<u>July 6/18</u>	Public Notice Sign	<u>yes</u>

Check the type of planning application(s) you are submitting.

- ☐ Consent/Severance/Boundary Adjustment
- ☐ Surplus Farm Dwelling Severance and Zoning By-law Amendment
- ☒ Minor Variance
- ☐ Easement/Right-of-Way

Property Assessment Roll Number: 543-070-37700-0000

A. Applicant Information

Name of Owner Wayne and Dianne Woloschuk

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 24 Vineden Dr

Town and Postal Code St. Thomas N5P 2M6

Phone Number 519-860-2036

Cell Number 519-633-1831

Email wwoloschuk@gmail.com

Name of Applicant same as above

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Name of Agent _____
Address _____
Town and Postal Code _____
Phone Number _____
Cell Number _____
Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

☐ Owner ☐ Agent ☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

100 OLD CUT BLVD SWAL PLAN 436 LOT 619

Municipal Civic Address: 100 OLD CUT BLVD

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify:

3. Present use of the subject lands:

Vacation Home

4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Vacation Home

Accessory Building (to be removed)

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Boat house with storage above

+ Sketch enclosed.

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50+ years

9. Existing use of abutting properties:

Vacation Home, Boat House, Boat Wells

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: ☐ Yes ☐ No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☒ No ☐ Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

Personal knowledge.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No *we have current permits for the boat well

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance adjacent

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input checked="" type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|--|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input checked="" type="checkbox"/> Septic tank and tile bed | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|--|
| <input type="checkbox"/> Storm sewers | <input checked="" type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street:

OLD CUT BLVD

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☒ Zoning Deficiency Form *Site plan & building sketches from Applicant*
- ☐ On-Site Sewage Disposal System Evaluation Form *X*
- ☐ Environmental Impact Study
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

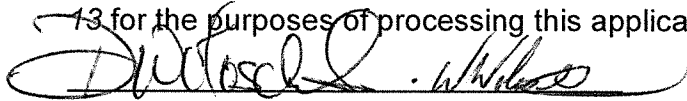
Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

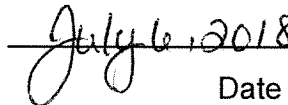
Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.*

13 for the purposes of processing this application.



Owner/Applicant/Agent Signature



Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date

K. Declaration

I, Wayne and Dianne Woloschuk of St. Thomas

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

Woloschuk D Woloschuk

Owner/Applicant/Agent Signature

In Norfolk County

This 6th day of July

A.D., 20 18

Atter Giff
A Commissioner, etc.

CONSTRUCTION NOTES

1. All concrete shall be cast in place and shall be finished to a smooth, true surface.
2. All concrete shall be cured for a minimum of 7 days before any formwork is removed.
3. All concrete shall be tested for strength at 28 days.
4. All concrete shall be placed in a single lift unless otherwise specified.
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GENERAL NOTES

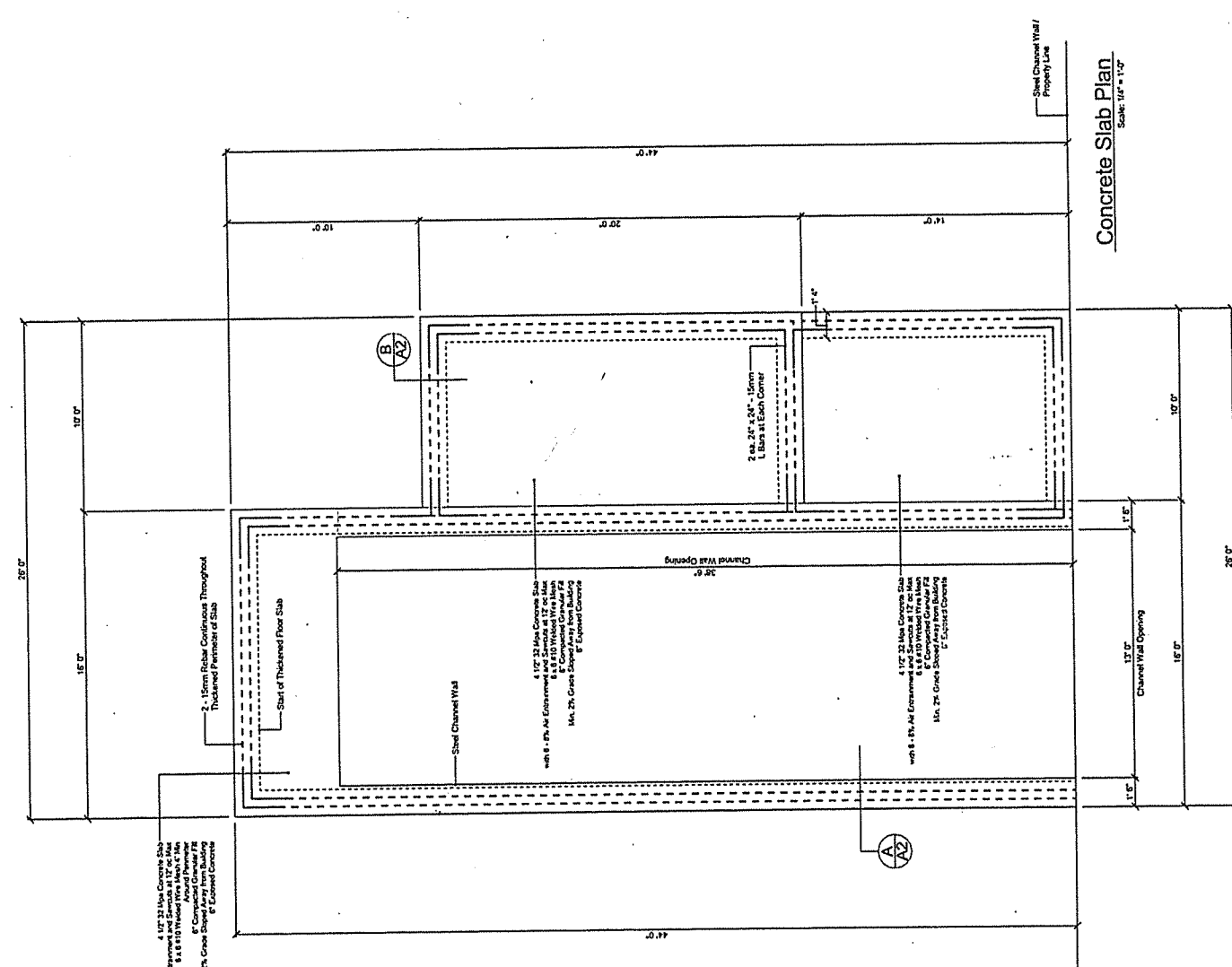
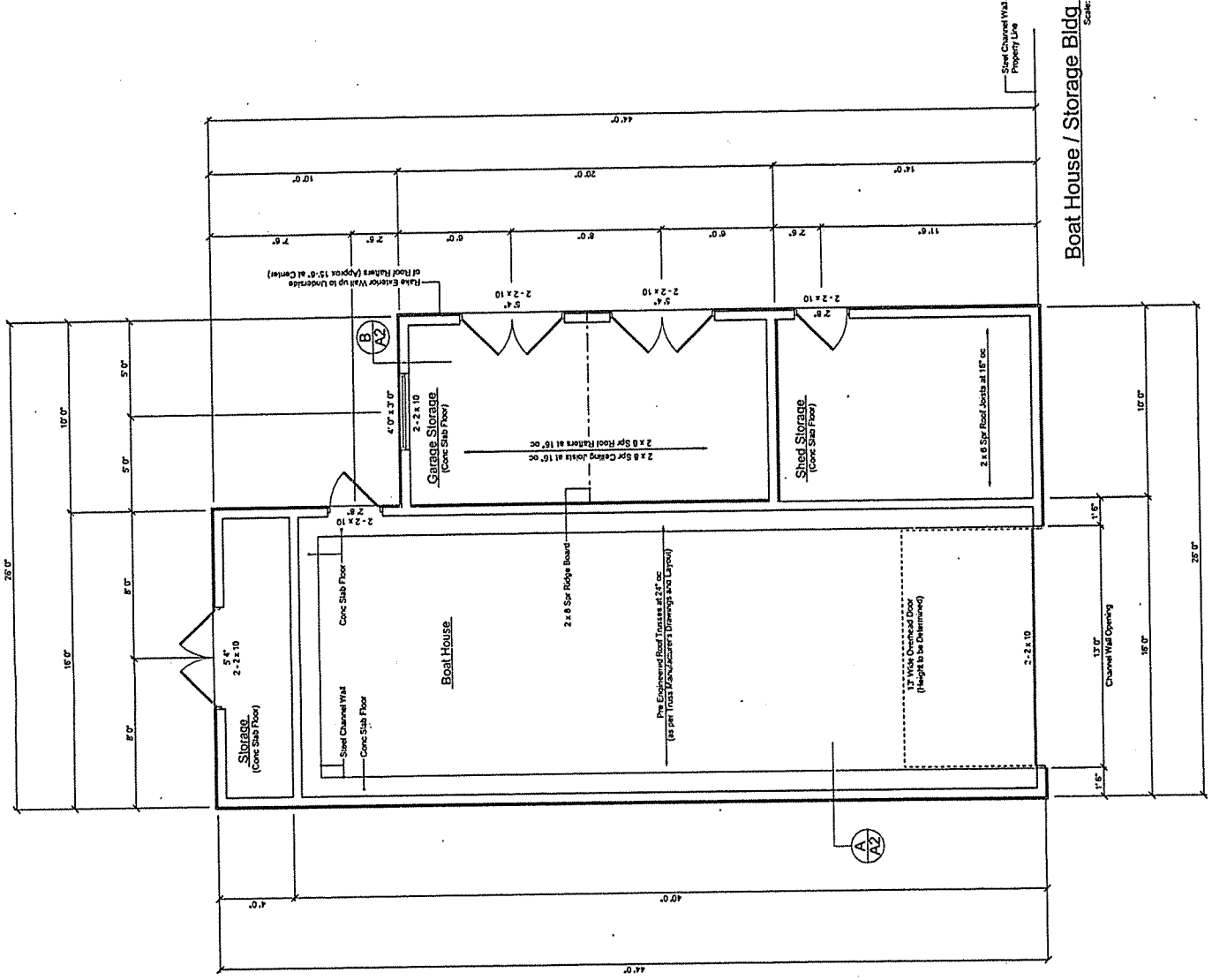
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DATE: REVISION: DRAWN: CHECK:

SPRINGFIELD
TIMBER MART

BCIN / SCHEDULE 1 REVIEW BY:

girard
ENGINEERING

2478153 Ontario Inc. c/o Girard Engineering
212 Main Street West P.O. Box 98
Chatham, ON N7A 1P0
519-879-5375
519-879-5335
Email: dslawson@girardengineering.ca

DRAWINGS PREPARED FOR:

TIM WALLACE CONSTRUCTION LTD
PO BOX 5
THAMESVILLE, ONTARIO
N0M 2M0

PROPOSED RES. BOATHOUSE
AND STORAGE BUILDING:

100 OLD CUT BLVD
PORT ROWAN, ONTARIO
N0E 1M0

SLAB + BOATHOUSE PLANS

DRAWN: JOHN TRAVIS
DESIGNED BY: DFLAG
CHECKED BY: DFLAG
DATE: NOVEMBER 2017
JOB No.: 17 - 240

SCALE: 1/4\"= 1'-0\"

DRAWING No.

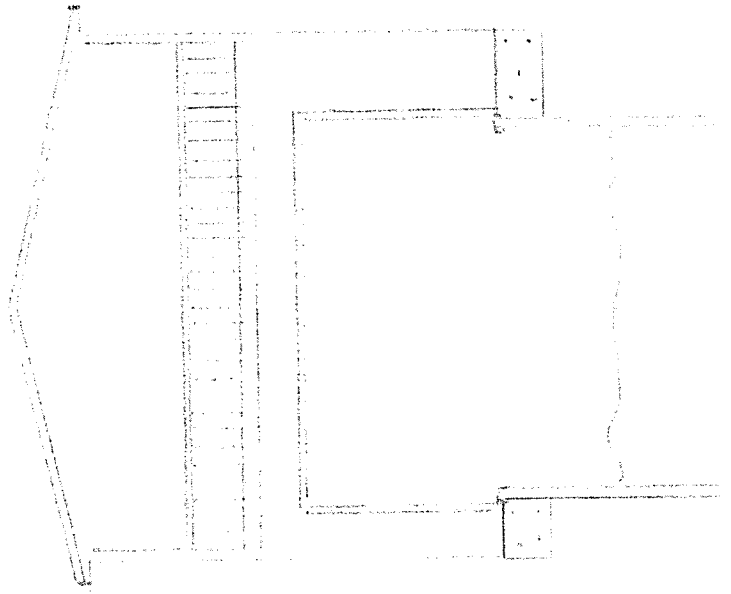
CHECKED BY: DFLAG

DATE: NOVEMBER 2017

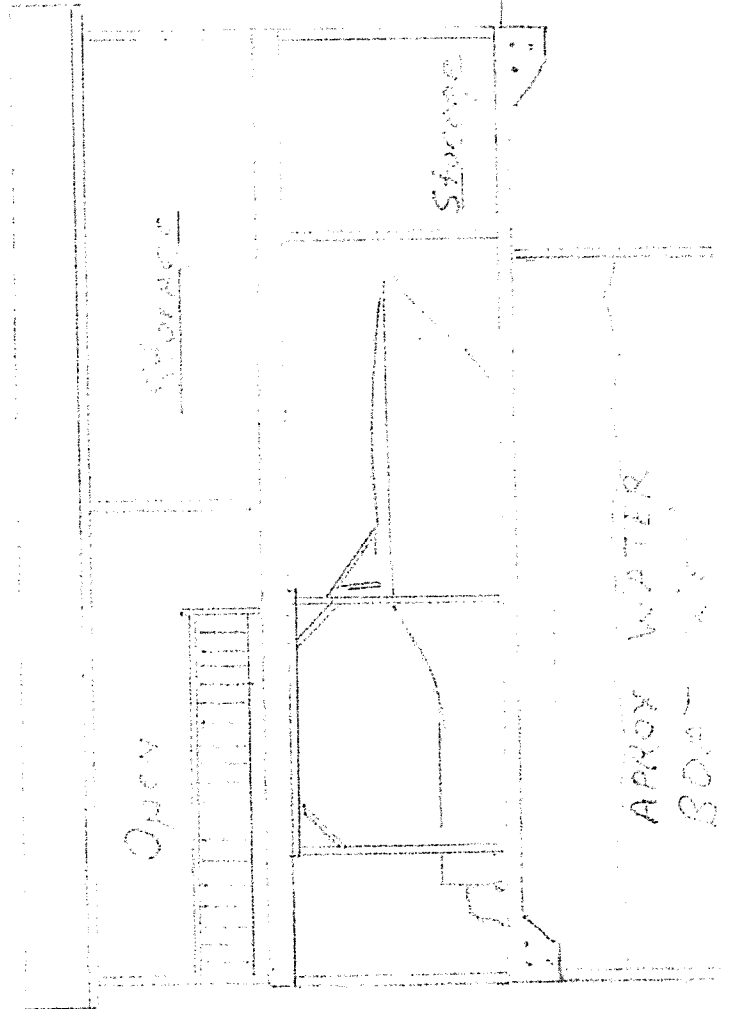
JOB No.: 17 - 240

A1

Project North



7 ft. Grade



CONSTRUCTION NOTES

As Excavation Work to Comply with OGC 2012.11.
Min. Frost Cover to be 400 mm on all Footings.
Bottom of Excavation to be Free of all Organic Matter.
Excavation to be Extended to Underneath Soil. All Cut to be Designed and Approved by a Certified Soil Consultant.
Waterproofing and Soil Gas Control OGC 2012 Section 9.13.
All Concrete Work, Application and Disposal of OGC 2012 Section 9.14.
Footings and Foundations to Comply with OGC 2012 Section 9.15.
Allowable Bearing Pressure to be 0.5 MPa. Thick Footings Supporting a wall to be 150 mm.
OGC 2012 Section 4.2.
Vertical Rise for Step Footings to be 200 mm.
Horizontal Distance Between Rising Walls to be 2.0 Max. Height of Finish Ground Above Basement 1 100 mm.
Foundation Walls Laterally Supported at Top - 2 Max. Height of Finish Ground Above Basement 1 100 mm.
Slabs on Ground to Comply with OGC 2012 9.16.
Columns to Comply with OGC 2012 9.17. All Columns on Footings and Fastened to Supporting Member Movement. Slab Expansion to be Min. 2" x 1/8" Slab Top Plates Supporting Wood Beams to be Full V Columns in Contact with Concrete to be Square.
All Concrete to Comply with OGC 2012 9.14.
Above Grade Masonry to Comply with OGC 2012 9.15 to 5' Min. Sealing at End Supports, and shall be Bear on Concrete of Steel Deck. Ties to be Com 3/32 Thick and 18" W.C., and Spaced to Provide Vertical Spacing - 24" on Horizontal Spacing 16" Spacing into Wood Deck. Weep Holes at 24" o

WALLS

Wood Framed Construction to Comply with OGC Wood Framing Joists and Beams to Conform to R Tables A-1 to A-13 providing all Applicable Foot End Bearing of Joists and Rafters - 1 1/2" min.

Heat Transfer, Air Leakage, and Condensation OGC 2012 9.25

All Siding to Comply with OGC 2012 9.27

Exterior Walls to Have Min. R22 Insulation

All Vapor Barrier to be 6 Mil Poly (CGSB-51.134) to be Sealed as per OGC 2012

Doors and Windows to Comply with Forced Entry OGC 2012 9.5.8

Floor Levels Containing Bedrooms to Have One An Unobstructed Area of 18 sq. ft. with no Other

All Attached Garages to Have Gas Proof Walls w

FLOORS

All Floors Exposed to Unfinished Spaces to Have a Provide Dampproofing Under Basement Concrete

is Less Than 25 Mpa

Provide a Sloped Surface Between All Wood Joist Provide a Foam Gasket or Gasketing Under all Sl

Provide 1/2" Dia. Anchor Bolts at 7'-10" Min. Cast into Foundation Wall

ROOF

Roof Construction and Flashing to Comply with C Roof Boards to Comply with OGC 2012 9.16. (A) to be not Less Than 1/2" of the Insulated Gable

Access to be 22' x 23', Filled with Cover, Weath

STAIRS - RESIDENTIAL

Typical Unless Noted Otherwise

Rise - 7 1/2" Max.

Run - 9 1/4" Min.

Tread - 9 1/4" Min. to 14" Max.

Nosing - 1" Min.

Handrails - 2" Min. to 4" Max.

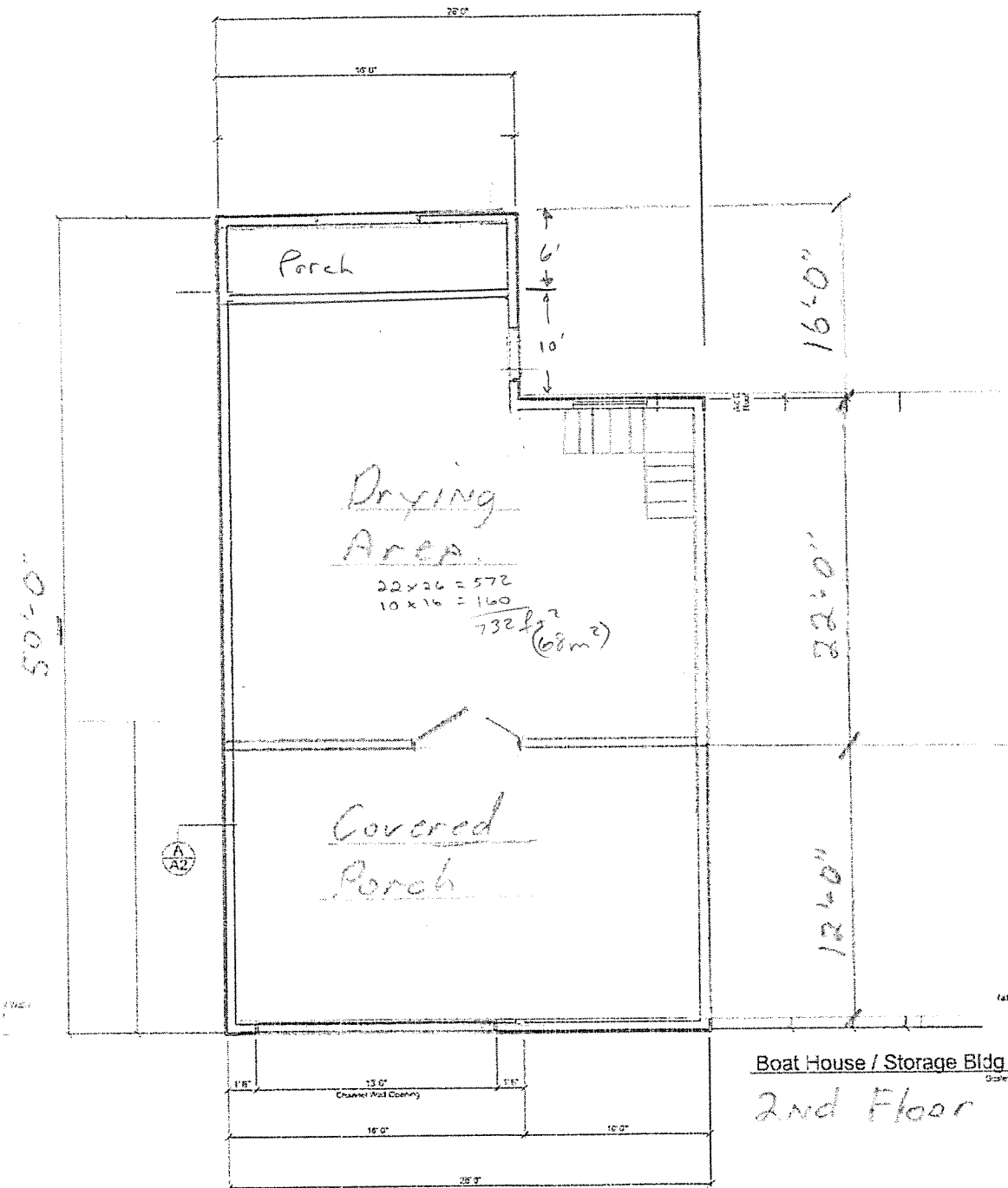
Handrails - 3" Min. to 3 1/2" Max.

Grilles - 3" Min. to 4" Max.

Placed to Rise - 1" Max. Between

Corner Handrails and At Attachment of Stairs to

Supplementary Guide Lines to OGC 2012, Lethe



$$37.5 \text{ m}^2 + 68 \text{ m}^2 = 105.5 \text{ m}^2$$

Proposing 56 m² - 105.5 m² floor space relief 49.5 m²
 15 m - 7 m' ht 2 m ht relief (boat arch)

SCALE - 1: 250

METRIC

DISTANCE
METRES /
BY 0.504

KIM HUSTED SUF

I CERTIFY THAT

(1) -- THIS SURVEY AND P.L.A.
THE SURVEYS ACT, TH
AND THE REGULATIONS

(2) -- THIS SURVEY WAS CON

(3) -- THIS SURVEY AND FIELD
PERFORMED UNDER MY
THE SITE DURING THE

DATE _____



Norfolk County
50 Colborne Street, South
Simcoe ON N3Y 4H3

RECEIPT OF PAYMENT

Page 1

WOLOSCHUK WAYNE RUSSELL
24 VINEDEN DR
ST THOMAS, ON N5P 2M6

Receipt Number: 121904

Tax Number:

Date: July 5, 2018

Initials: LB

Type	Account / Ref. #	Description	Quantity	Amount Paid
General	DMVA	ANPL2018155	1	\$1,361.00
General	DMVAB	ANPL2018155	1	\$45.00
Cheque Number: 339			Subtotal:	\$1,406.00
			Taxes:	\$0.00
			Total Receipt:	\$1,406.00
			Cheque:	\$1,406.00

Total Amount Received:	\$1,406.00
Rounding:	\$0.00
Amount Returned:	\$0.00



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, ON
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 100 Old Cut Blvd Long Point

Legal Description:

Roll Number: 331054307037700

Application #:

Information Origins: drawings supplied by Girard Engineering NOTE: lands at back of property owned by MNR. Owner must supply proof of purchase or permission from MNR to construct on this portion of property

Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height	5.00		N/A	m
b) minimum front yard	6.00		N/A	m
c) minimum exterior side yard	6.00		N/A	m
d) minimum interior side yard	1.20		N/A	m
e) minimum rear yard	1.20		N/A	m
f) through lot distance to street line	6.00		N/A	m
g) lot coverage (Note: Proposed Area)				m.sq
h) lot coverage	10.00		N/A	%
i) useable floor area	100.00	36.61	N/A	m.sq

Comments

rooms attached to boathouse but not entry to and from boathouse area are considered as accessory structures and are counted separate for useable floor area

3.2.2 Boathouse

	REQUIRED	PROPOSED	DEFICIENCY	UNITS
a) minimum exterior side yard	6.00		N/A	m
b) minimum interior side yard				m
i) typical lot	1.20	1.25	N/A	m
ii) erected on a common lot line	0.00		N/A	m
c) maximum building height	5.00	7.00	2.00	m
(Note: Proposed Area)				m.sq
d) maximum total useable floor area	56.00	115.31	60.31	m.sq
e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for ALL accessory buildings	10.00	10.62	0.62	%

Comments

note: any completely separated rooms from boathouse (means: no way of entry from boathouse area) are considered accessory structures, and are calculated as such for lot coverage, and are not included in useable floor area calculation of boathouse.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared By:

Roxanne Koot

I have read and understand the above.

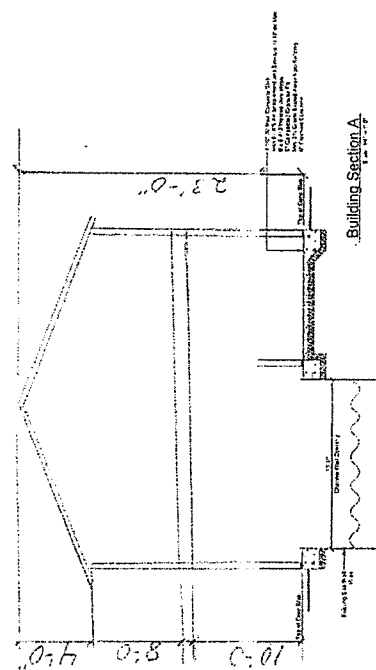
Signature of owner or authorized agent

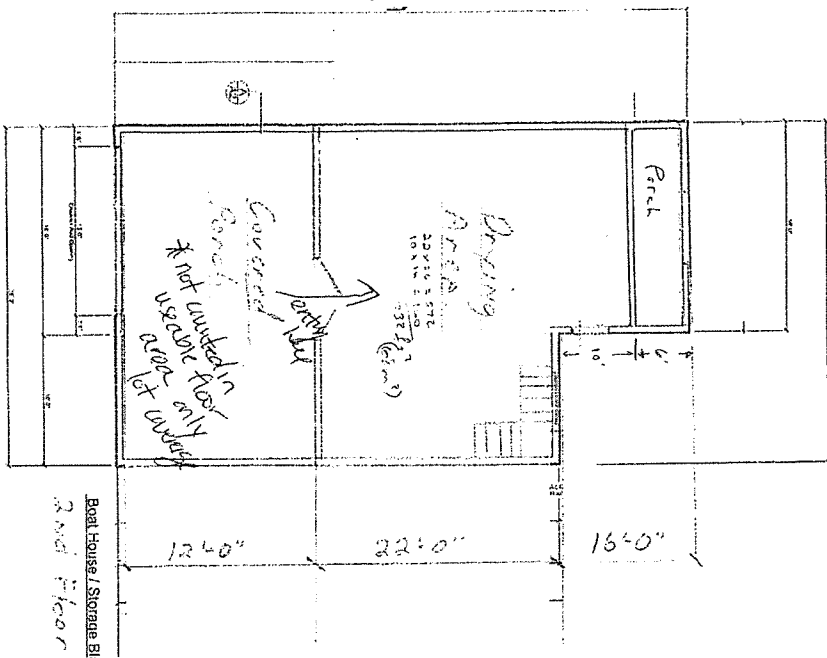
Signature of Zoning Administrator

Date

Date

AS PER: Fritz R. Enzlin, CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County





Boat House / Storage Bldg Plan
2nd Floor

$37.5 m^2 \times 4.8 m^2 = 105.5 m^2$
 Proposed $50 m^2 - 105.5 m^2$ floor space ratio of $49.5 m^2$
 5m - 7m' ht 2m' to ratio of (wood arch)

CONSTRUCTION NOTES

1. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the City of [City Name].

2. The foundation shall be constructed of concrete and shall be designed to support the loads specified in the structural drawings.

3. The walls shall be constructed of masonry or concrete block and shall be finished with stucco or plaster.

4. The roof shall be constructed of gable end gables and shall be finished with asphalt shingles.

5. The floor shall be constructed of concrete and shall be finished with a smooth finish.

6. The doors shall be constructed of solid wood and shall be finished with a stain finish.

7. The windows shall be constructed of wood frame and shall be finished with a stain finish.

8. The exterior finish shall be stucco or plaster.

9. The interior finish shall be drywall and shall be finished with a paint finish.

10. The plumbing and electrical work shall be installed in accordance with the latest edition of the International Plumbing Code (IPC) and the International Electrical Code (IEC) as adopted by the City of [City Name].

11. The mechanical work shall be installed in accordance with the latest edition of the International Mechanical Code (IMC) as adopted by the City of [City Name].

12. The construction shall be completed within the specified time frame.

13. The construction shall be completed within the specified budget.

14. The construction shall be completed within the specified quality standards.

15. The construction shall be completed within the specified safety standards.

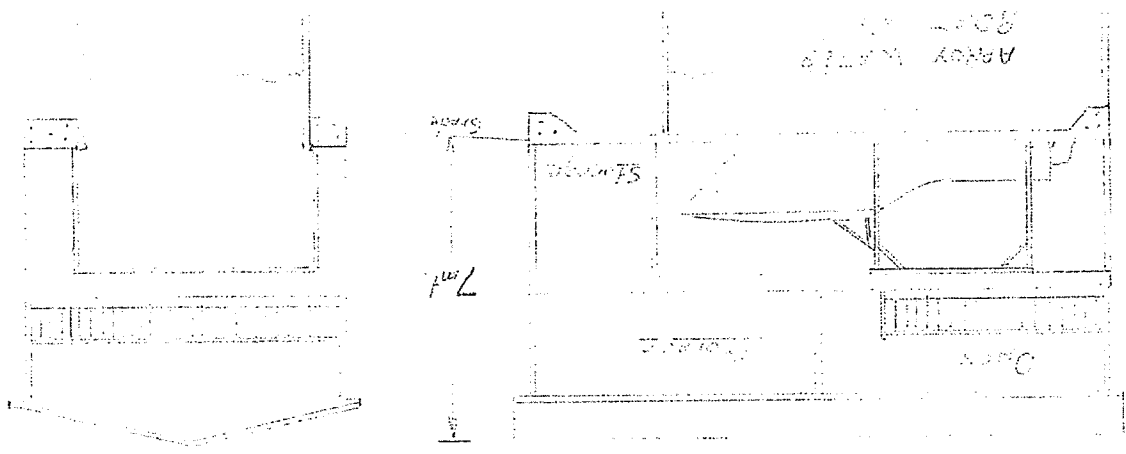
16. The construction shall be completed within the specified environmental standards.

17. The construction shall be completed within the specified social standards.

18. The construction shall be completed within the specified economic standards.

19. The construction shall be completed within the specified cultural standards.

20. The construction shall be completed within the specified historical standards.



LOCATION OF LANDS AFFECTED

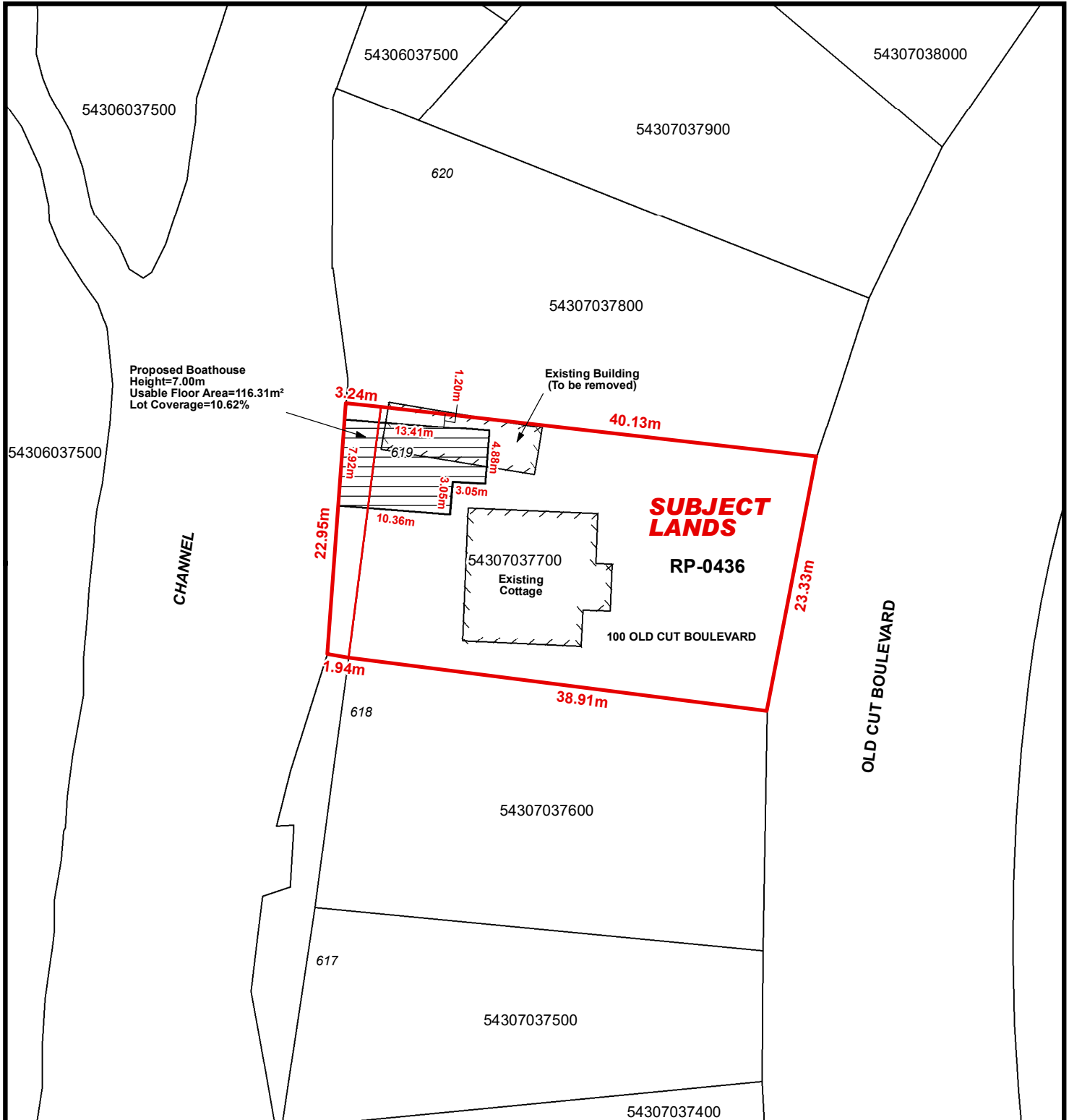
File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM

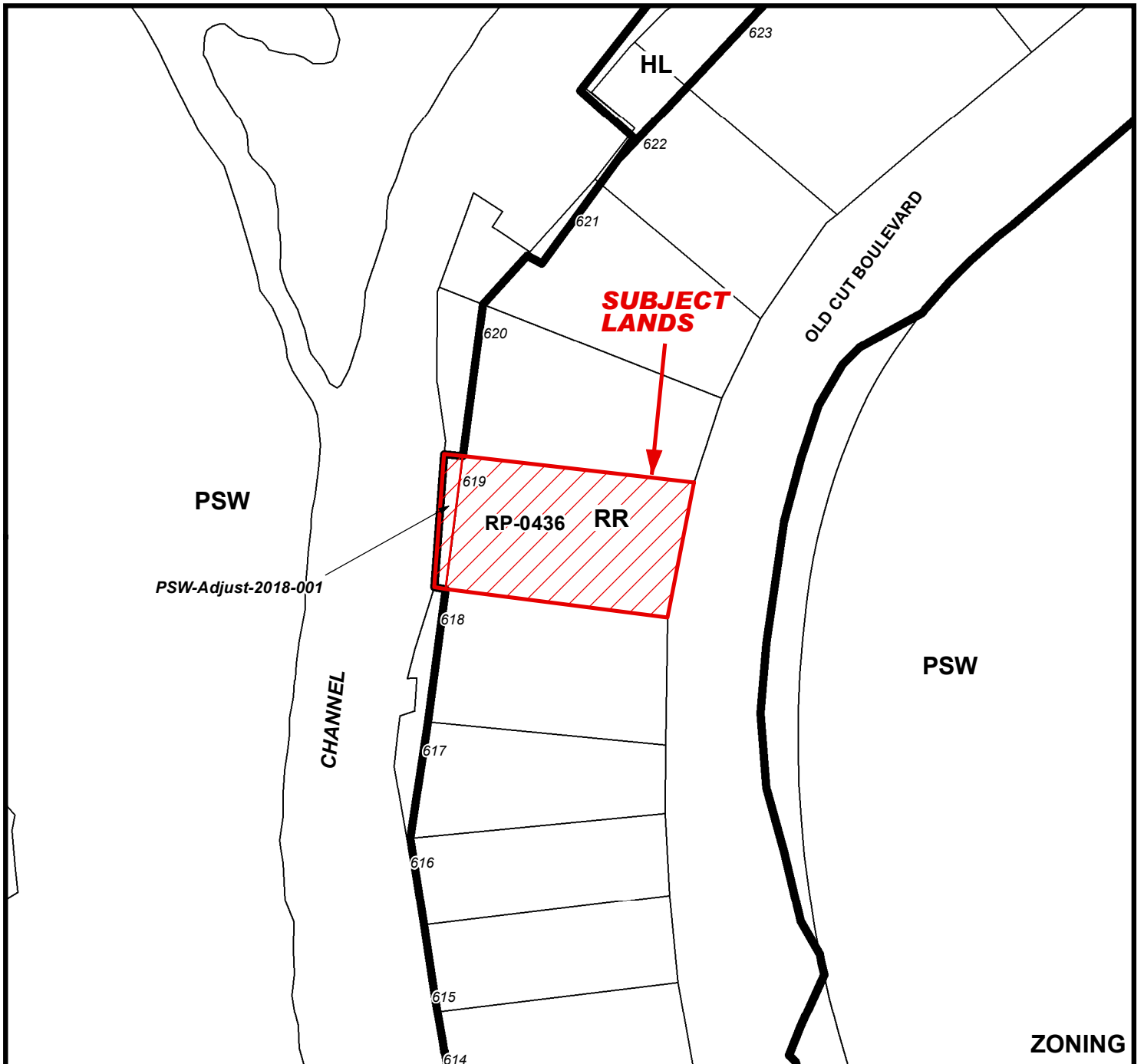
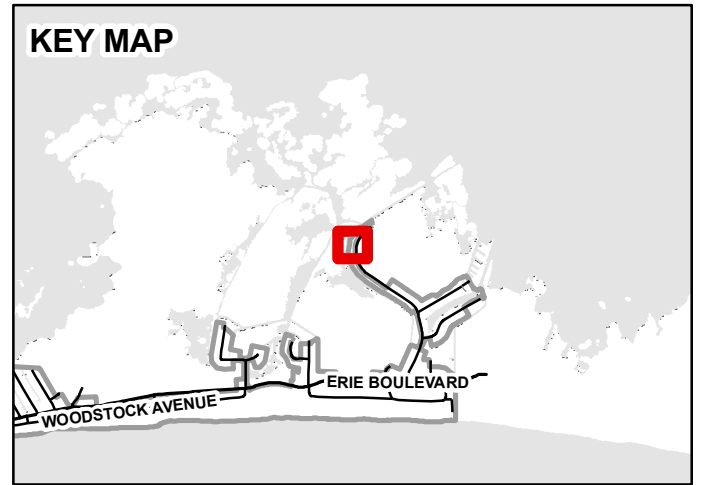
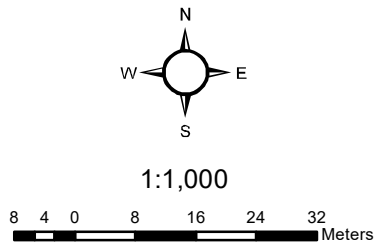


2 1 0 2 4 6 8 Meters

1:500



MAP 1
File Number: ANPL2018155
Geographic Township of
SOUTH WALSLINGHAM



ZONING

MAP 2

File Number: ANPL2018155

Geographic Township of SOUTH WALSHINGHAM



31.50 3 6 9 12 Meters

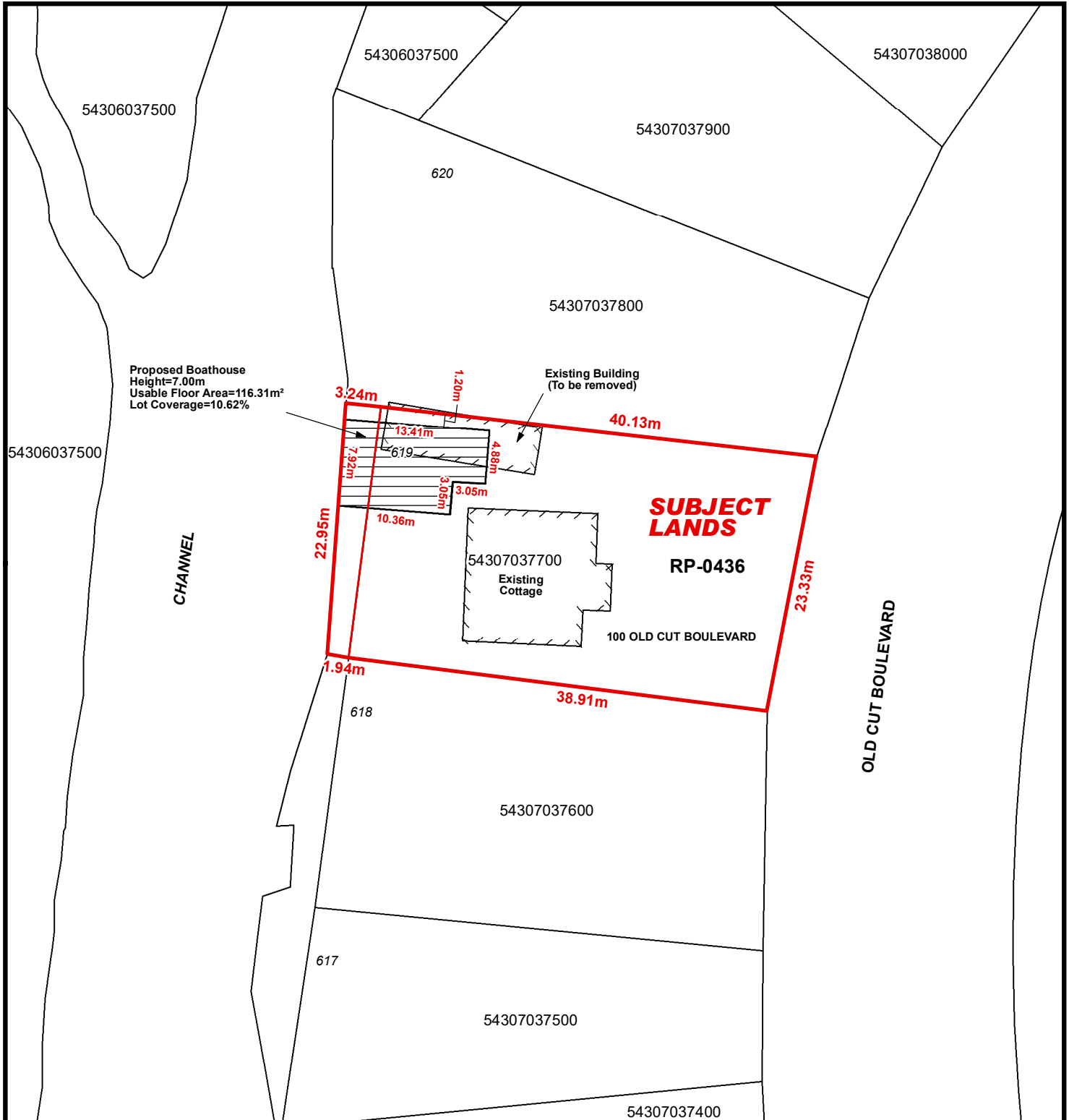
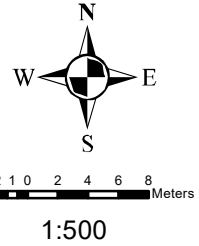
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MAP 3

File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM



LOCATION OF LANDS AFFECTED

File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM



2 1 0 2 4 6 8 Meters

1:500

