

For Office Use Only:

File Number	<u>ANPL2018155</u>	Application Fee	<u>\$1406</u>
Related File Number	<u>—</u>	Conservation Authority Fee	<u>\$474.60</u>
Pre-consultation Meeting	<u>June 27/18</u>	OSSD Form Provided	<u>—</u>
Application Submitted	<u>July 6/18</u>	Planner	<u>Steve</u>
Complete Application	<u>July 6/18</u>	Public Notice Sign	<u>yes</u>

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 543-070-37700-0000

A. Applicant Information

Name of Owner Wayne and Dianne Woloschuk

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address 24 Vineden Dr
 Town and Postal Code St. Thomas N5P 2M6
 Phone Number 519-860-2036
 Cell Number 519-633-1831
 Email wwoloschuk@gmail.com

Name of Applicant same as above

Address
 Town and Postal Code
 Phone Number
 Cell Number
 Email

Name of Agent _____

Address _____

Town and Postal Code _____

Phone Number _____

Cell Number _____

Email _____

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

100 OLD CUT BLVD SWAL PLAN 436 LOT 619

Municipal Civic Address: 100 OLD CUT BLVD

Present Official Plan Designation(s): Resort Residential

Present Zoning: Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

Vacation Home



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Vacation home

Accessory Building (to be removed)

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Boat house with storage above

+ Sketch enclosed

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50+ years

9. Existing use of abutting properties:

Vacation Home, Boat house, Boat Wells

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes No If yes, describe the easement or restrictive covenant and its effect:



C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information	Existing	Proposed
Please indicate unit of measurement, i.e. m, m ² or %, etc.		
Lot frontage	23.326 m	
Lot depth	40.13 m	
Lot width	23.326 m	
Lot area	974.3 sq. m.	
Lot coverage	6.2% (existing out building)	10% proposed
Front yard	± 20 m	± 30 m
Rear yard	± 3 m	zero
Left Interior side yard	± 18 m	± 13 m
Right Interior side yard	zero	1.2 m
Exterior side yard (corner lot)	-	-

2. Please outline the relief requested (assistance is available):

Need relief of 60.31 sq m. from the maximum
 56 sq m usable floor space (Boat House)
 To allow a total of 116.31 sq m
 2 m from max. 5 m to allow 7 m height
 0.62% from max lot coverage of 10% to allow 10.62%

3. Please explain why it is not possible to comply with the provision(s) of the Zoning

By-law:

Boat well is taking up our existing usable floor space
 We request an upper storage space to be comparable
 in storage space to accommodate the boat arch
 storage space proposed above to maintain 10% lot coverage.

4. Description of land intended to be severed in metric units:

Frontage:

Depth:

Width:

Lot Area:

Present Use:

Proposed Use:



Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

Personal knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act*, R.S.O. 1990, c. P. 13? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No *We have current permits for the boat well

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.



4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

On the subject lands or within 500 meters – distance adjacent

Floodplain

On the subject lands or within 500 meters – distance _____

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____



F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

Municipal piped water Communal wells
 Individual wells Other (describe below)

Sewage Treatment

Municipal sewers Communal system
 Septic tank and tile bed Other (describe below)

Storm Drainage

Storm sewers Open ditches
 Other (describe below)

2. Existing or proposed access to subject lands:

Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

OLD CUT BLVD

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.



H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may also be required as part of the complete application submission:**

Zoning Deficiency Form *Site plan & building sketches from Applicant*

On-Site Sewage Disposal System Evaluation Form *X*

Environmental Impact Study

Geotechnical Study / Hydrogeological Review

Minimum Distance Separation Schedule

Record of Site Condition

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

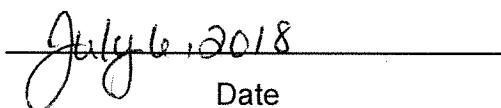
Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P.*

13 for the purposes of processing this application.



Owner/Applicant/Agent Signature



Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below.

I/We _____ am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize _____ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner

Date

Owner

Date



* Leave blank until submitted

K. Declaration

I, Wayne and Dianne Włoszczuk of St. Thomas
solemnly declare that:

all of the above statements and the statements contained in all of the exhibits
transmitted herewith are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made
under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

Włoszczuk D. Włoszczuk

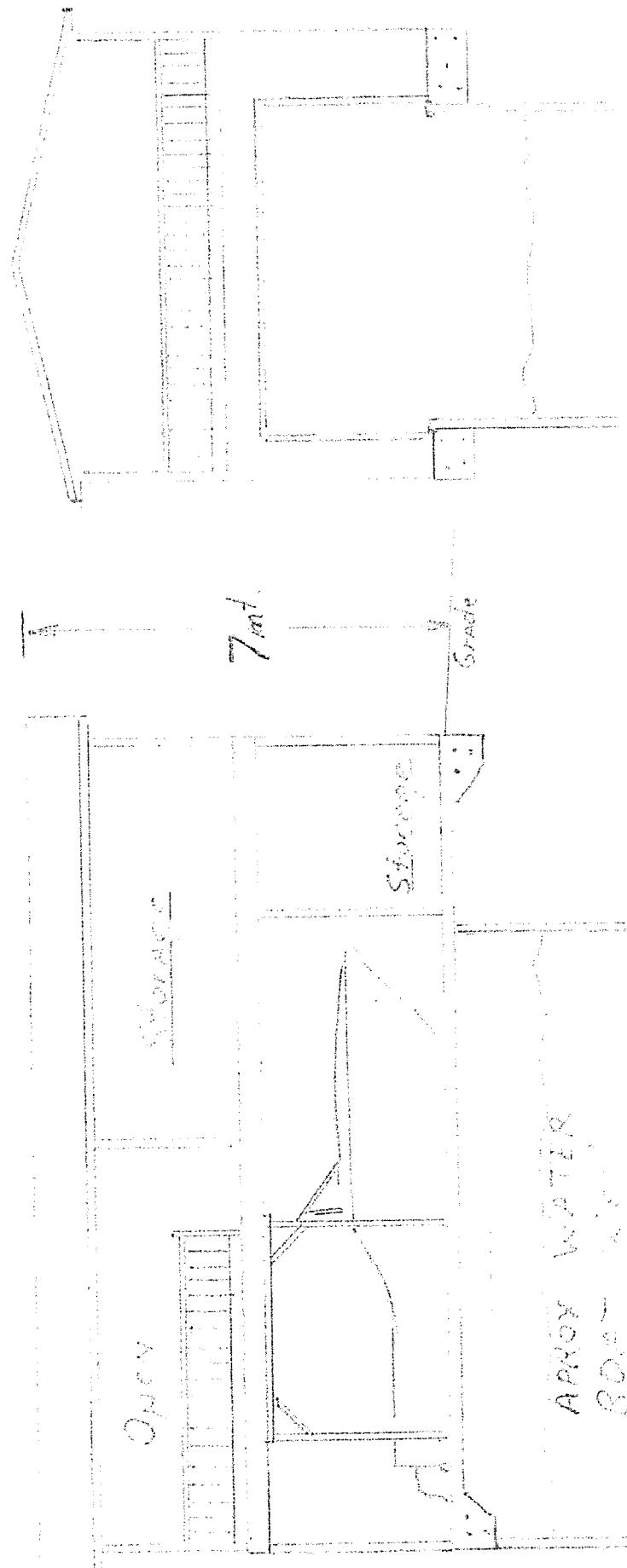
Owner/Applicant/Agent Signature

In Norfolk County

This 6th day of July

A.D., 20 18

Attn: Cllr J. J. J.
A Commissioner, etc.





$$37.5 \text{ m}^2 + 68 \text{ m}^2 = 105.5 \text{ m}^2$$

15m = 7m' ht 2m ht relief (boat arch)

— Project North



Norfolk County
50 Colborne Street, South
Simcoe ON N3Y 4H3

RECEIPT OF PAYMENT

Page 1

WOLOSCHUK WAYNE RUSSELL
24 VINEDEN DR
ST THOMAS, ON N5P 2M6

Receipt Number: 121904

Tax Number:

Date: July 5, 2018

Initials: LB

Type	Account / Ref. #	Description	Quantity	Amount Paid
General	DMVA	ANPL2018155	1	\$1,361.00
General	DMVAB	ANPL2018155	1	\$45.00
	Cheque Number:	339	Subtotal:	\$1,406.00
			Taxes:	\$0.00
			Total Receipt:	<u>\$1,406.00</u>
			Cheque:	\$1,406.00

Total Amount Received:	\$1,406.00
Rounding:	\$0.00
Amount Returned:	<u>\$0.00</u>



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-436-5870
Langton: 22 Albert St.
Langton, ON.
N0E 1G9
519-875-4485

PROPERTY INFORMATION

Address: 100 Old Cut Blvd Long Point

Legal Description:

Roll Number: 331054307037700

Application #:

Information Origins: drawings supplied by Girard Engineering **NOTE: lands at back of property owned by MNR. Owner must supply proof of purchase or permission from MNR to construct on this portion of property**

Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.1 a) building height	5.00		N/A	m
b) minimum front yard	6.00		N/A	m
c) minimum exterior side yard	6.00		N/A	m
d) minimum interior side yard	1.20		N/A	m
e) minimum rear yard	1.20		N/A	m
f) through lot distance to street line	6.00		N/A	m
g) Lot coverage (Note:Proposed Area)				m.sq
i) Lot coverage	10.00		N/A	%
ii) usable floor area	100.00	36.61	N/A	m.sq

Comments

rooms attached to boathouse but not entry to and from boathouse area are considered as accessory structures and are counted separate for useable floor area

Accessory Structure	REQUIRED	PROPOSED	DEFICIENCY	UNITS
3.2.2 Boathouse a) minimum exterior side yard	6.00		N/A	m
b) minimum interior side yard				m
i) typical lot	1.20	1.26	N/A	m
ii) erected on a common lot line	0.00		N/A	m
c) maximum building height (Note:Proposed Area)	5.00	7.00	2.00	m
d) maximum total useable floor area	56.00	116.31	60.31	m.sq
e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for ALL accessory buildings	10.00	10.62	0.62	%

Comments

note: any completely separated rooms from boathouse (means; no way of entry from boathouse area) are considered accessory structures, and are calculated as such for lot coverage, and are not included in useable floor area calculation of boathouse.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

Prepared by:
Roxanne Koot

I have read and understand the above.

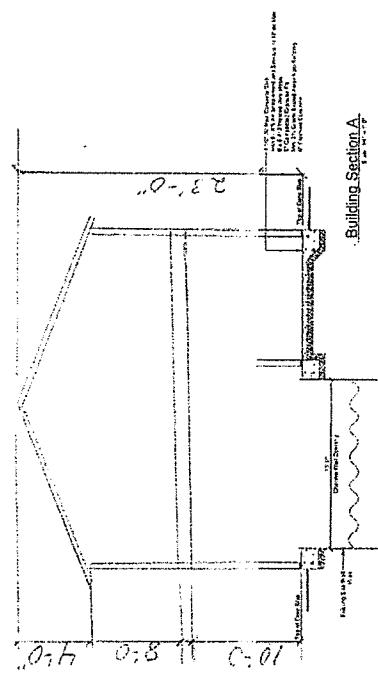
Signature of owner or authorized agent

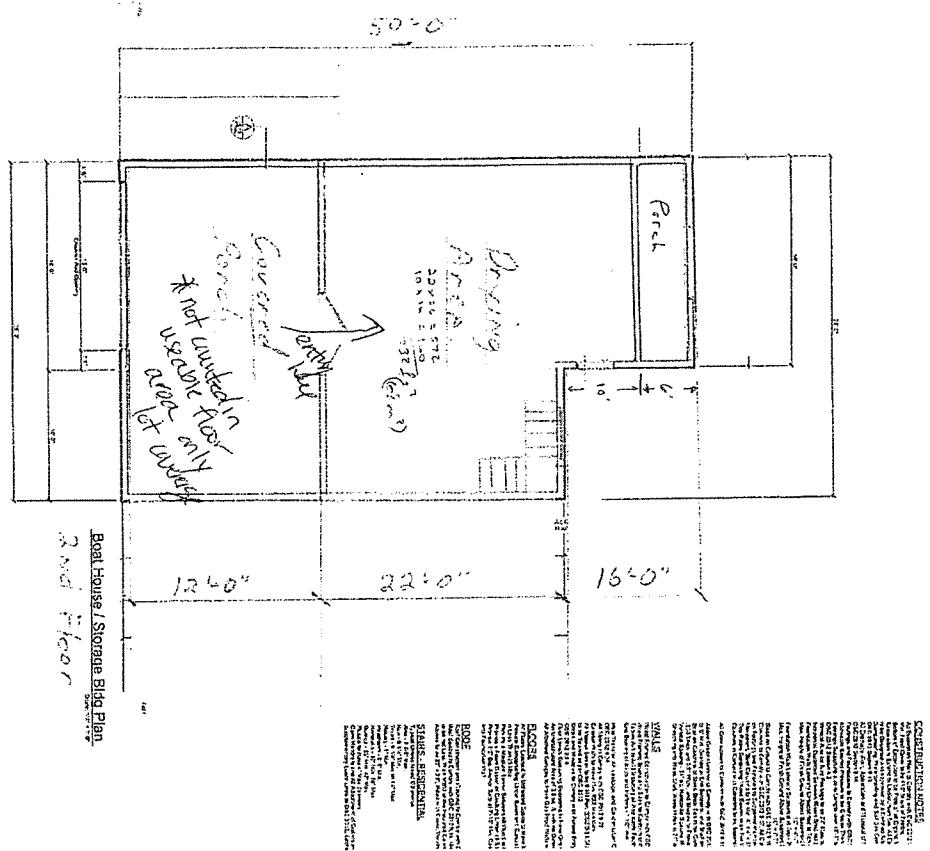
July 9/2018

AS PER: Fritz R. Enzlin, CBCO, CRBO -
Chief Building Official Manager,
Building & Bylaw Division, Norfolk
County

Signature of Zoning Administrator

July 9/2018





During 1952-1953, 2000 species were collected, 4500 more

Project North

done by ~~the~~ ^{the} owner and
their permission or are ~~left~~
~~permitted~~ ^{permitted} ~~from~~ ^{by} owner.

१०

SHOWN ON A PLAN BY
GEOGRAPHIC TO
NORFOLK CO

SCALE - 1: 250

METRIC DISTANCE
METRES /
BY 0.304

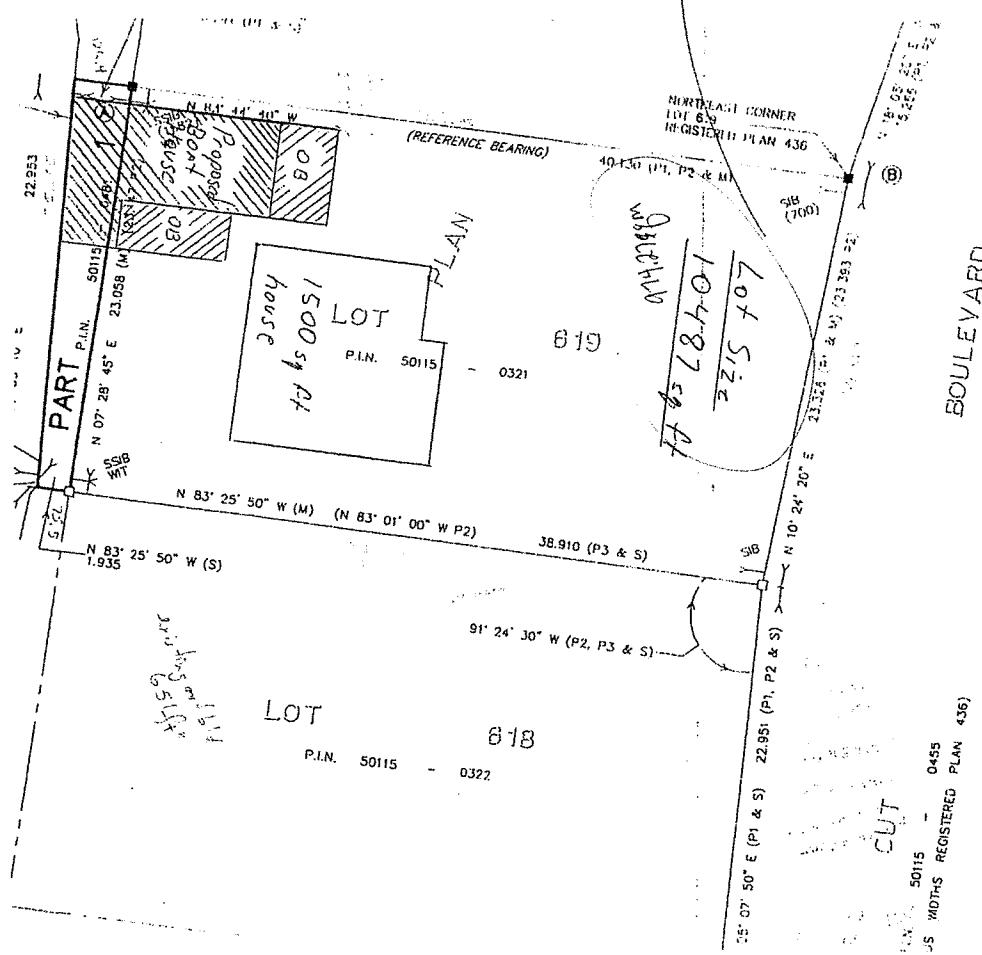
KIM HUSTED SUF

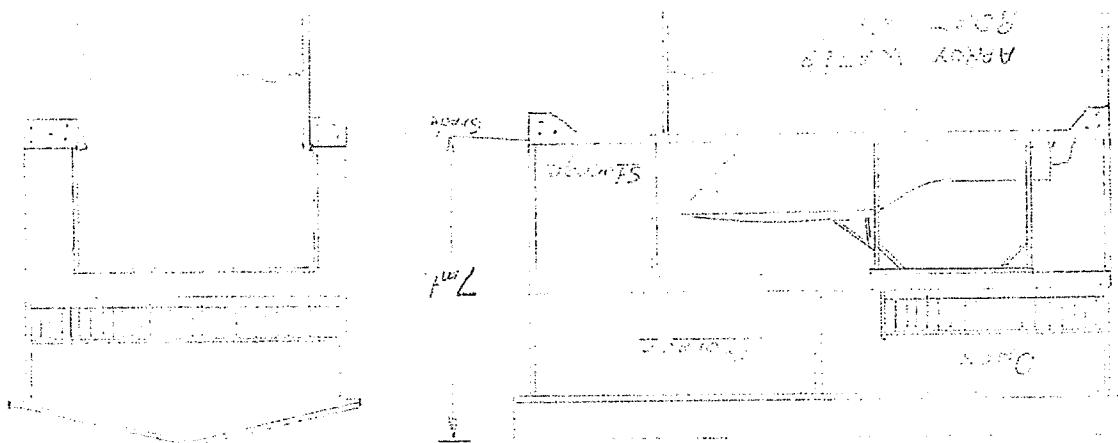
SURVEYOR'S

I CERTIFY THAT

- (1) - THIS SURVEY AND PLA
THE SURVEYS ACT, TH
AND THE REGULATIONS
- (2) - THIS SURVEY WAS CO
- (3) - THIS SURVEY AND FIEL
PERFORMED UNDER MY
THE SITE DURING THE

MAY 28, 2015
DATE

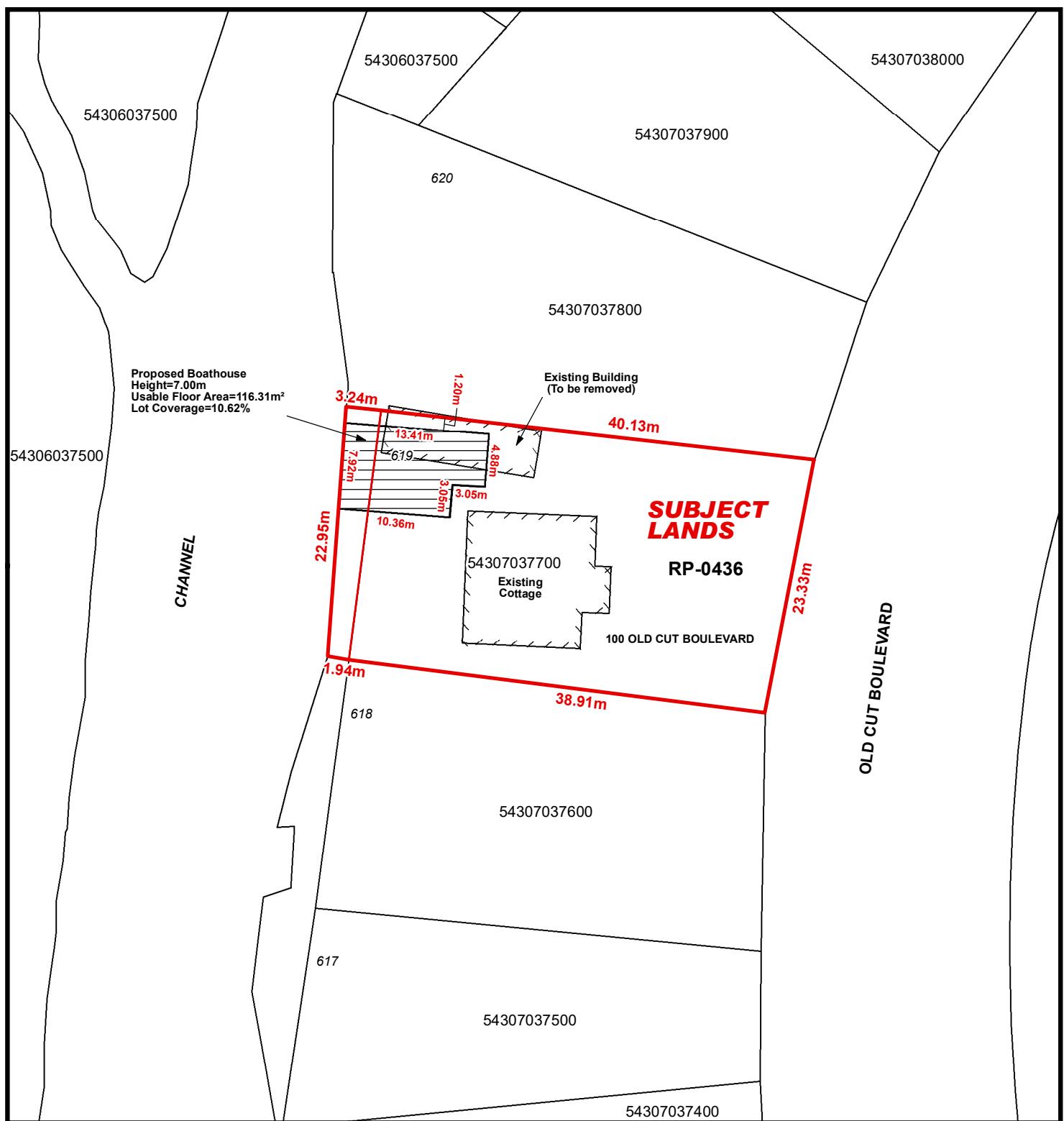
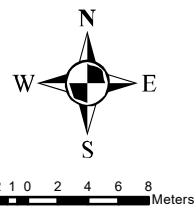




LOCATION OF LANDS AFFECTED

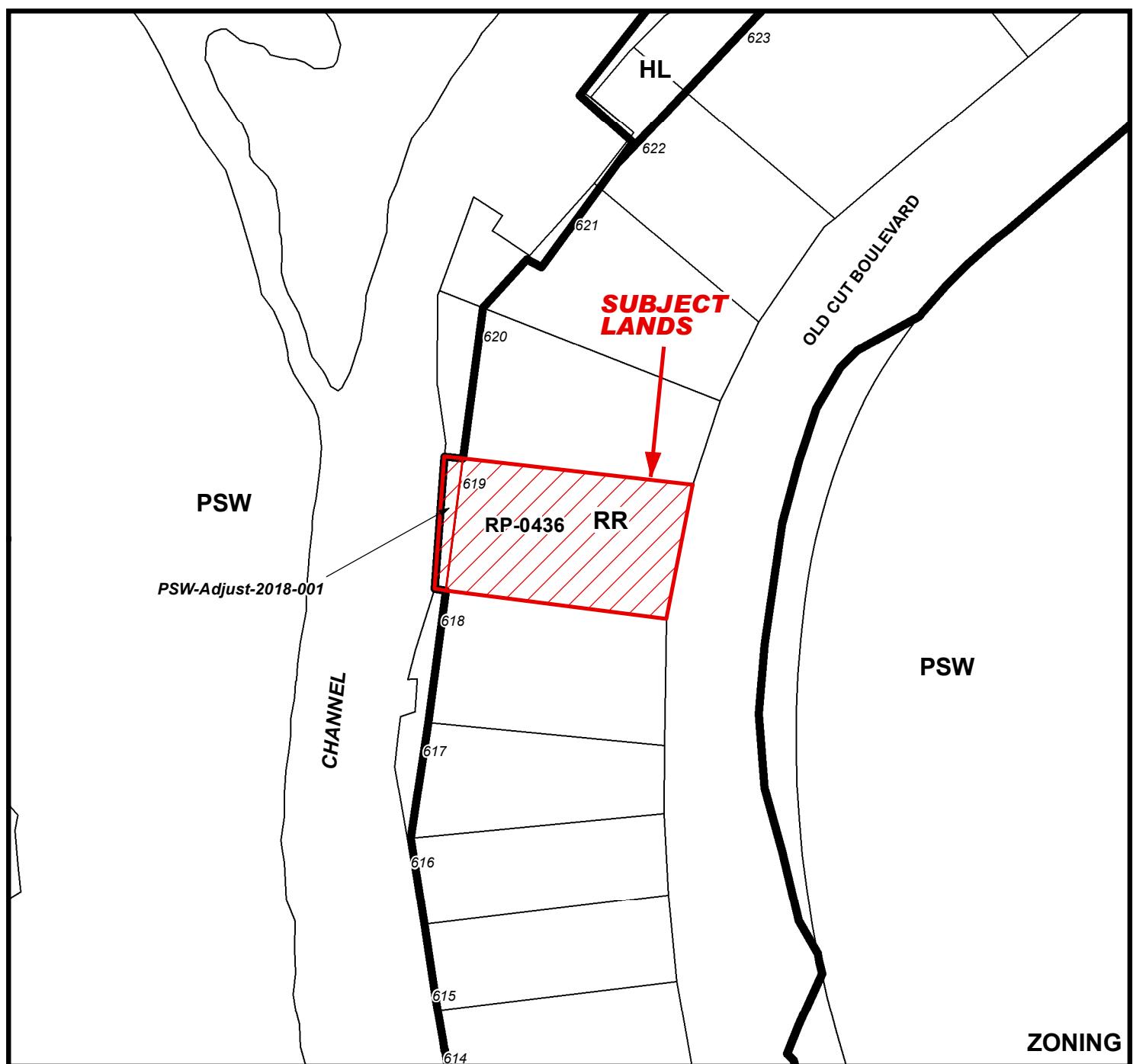
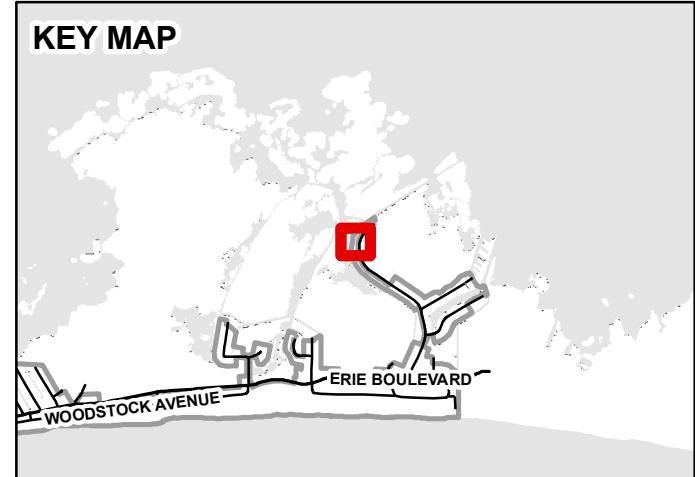
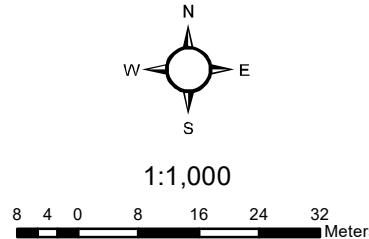
File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM



2018-07-10

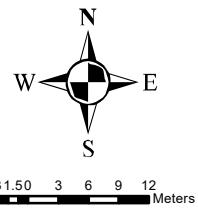
MAP 1
File Number: ANPL2018155
Geographic Township of
SOUTH WALSINGHAM



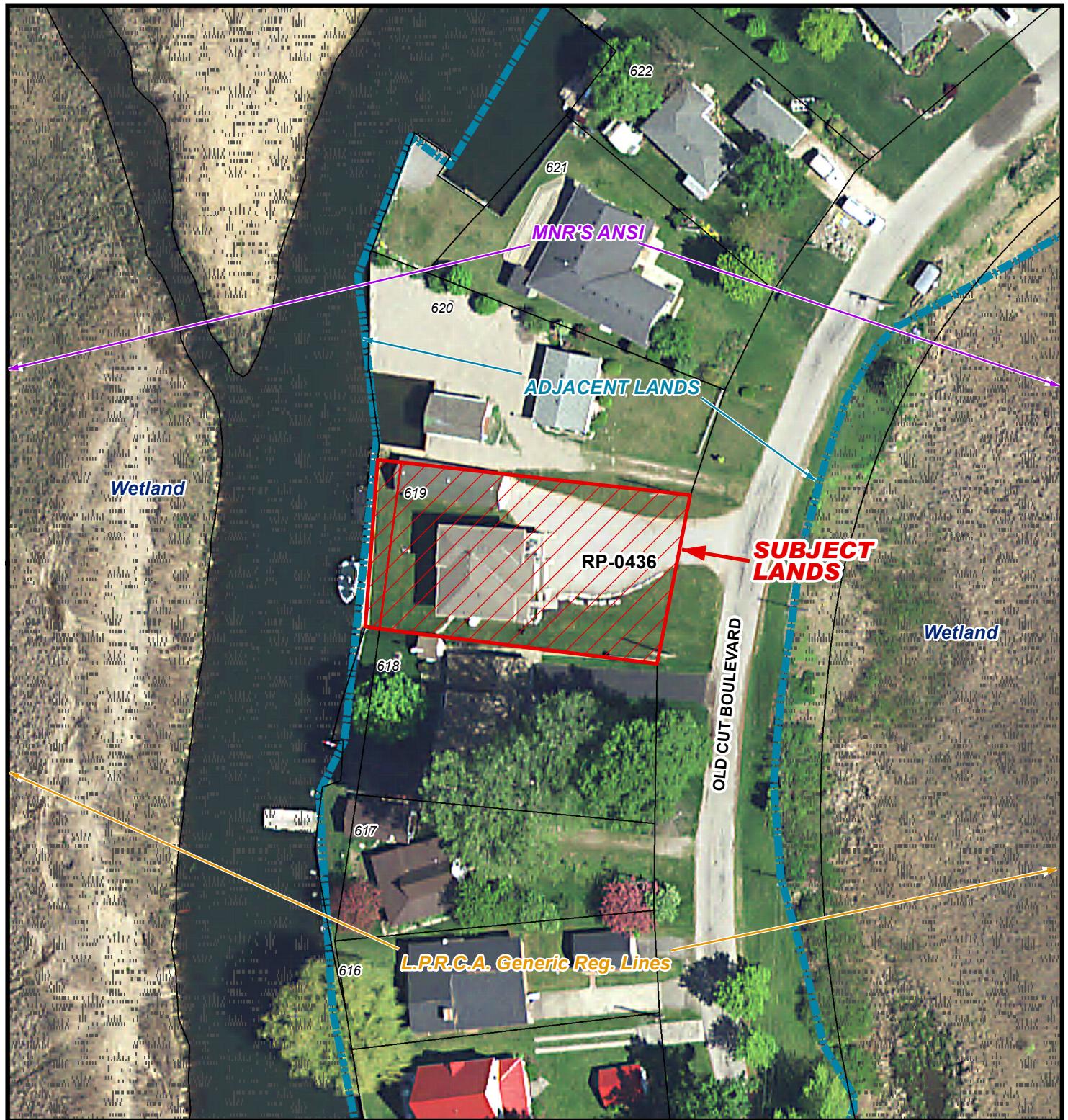
MAP 2

File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM



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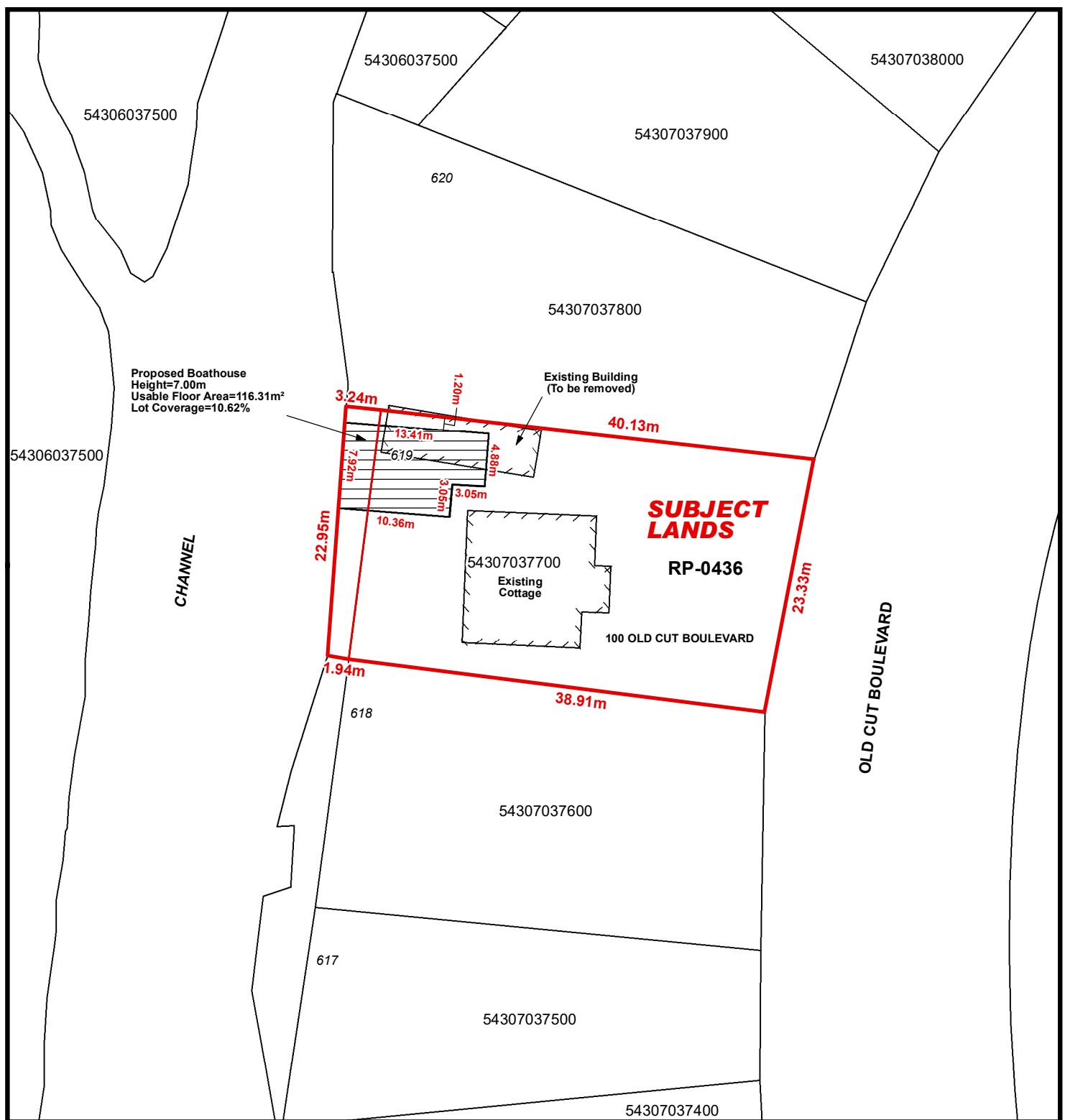
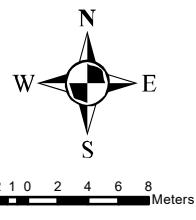


2018-07-10

MAP 3

File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM

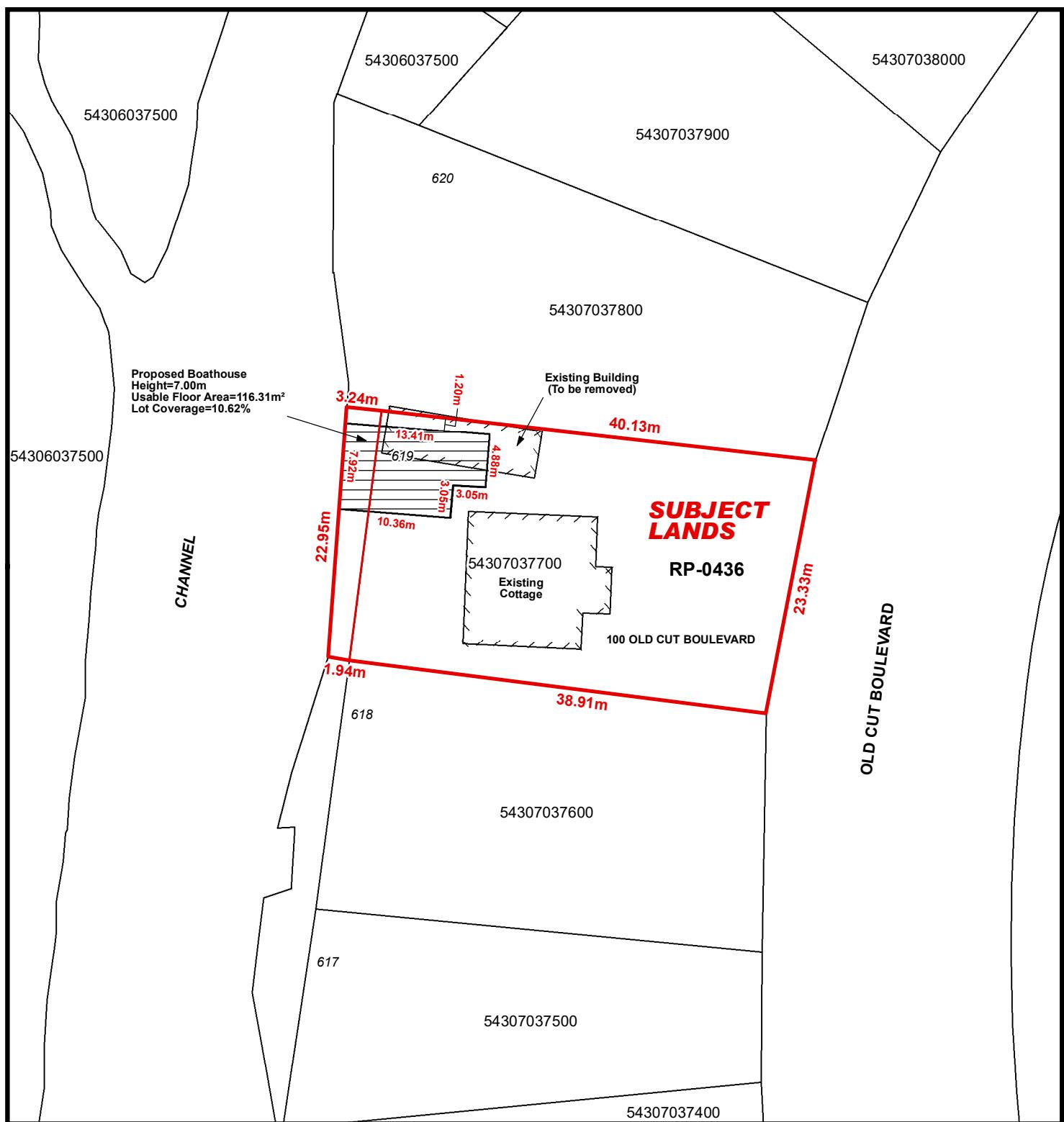
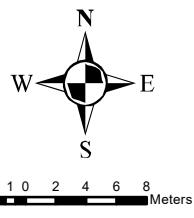


2018-07-10

LOCATION OF LANDS AFFECTED

File Number: ANPL2018155

Geographic Township of SOUTH WALSINGHAM



2018-07-10