

For Office Use Only:

File Number	<u>ANPL2018039</u>	Application Fee	<u>\$1406</u>
Related File Number	<u> </u>	Conservation Authority Fee	<u>\$474.60</u>
Pre-consultation Meeting	<u>Feb 5/2018</u>	OSSD Form Provided	<u>Yes</u>
Application Submitted	<u>March 6/2018</u>	Planner	<u>Steve</u>
Complete Application	<u>March 6/2018</u>	Public Notice Sign	<u>Yes</u>

EIS
waived
by Alisha
Feb 13/18

Check the type of planning application(s) you are submitting.

- Consent/Severance/Boundary Adjustment
- Surplus Farm Dwelling Severance and Zoning By-law Amendment
- Minor Variance
- Easement/Right-of-Way

Property Assessment Roll Number: 543-070-34100

A. Applicant Information

Name of Owner Dave + Anita Arnold.

It is the responsibility of the owner or applicant to notify the planner of any changes in ownership within 30 days of such a change.

Address P.O. Box 76 2696 Putnam road.

Town and Postal Code Putnam, Ont, N0L 2B0

Phone Number _____

Cell Number 519-617-2222.

Email adarnold53@gmail.com.

Name of Applicant Tim Wallace.

Address P.O. Box 5

Town and Postal Code Thamesford, Ont. N0M-2M0

Phone Number _____

Cell Number 519-282-6208

Email tmwallace@sympatico.ca.

Name of Agent

Tim Wallace

Address

P.O. Box 5

Town and Postal Code

Thamesford Ont. N0M-2M0

Phone Number

Cell Number

519-282-6208

Email

tmwallace@sympatico.ca

Please specify to whom all communications should be sent. Unless otherwise directed, all correspondence, notices, etc., in respect of this application will be forwarded to the agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: 53 Old Cut, Long Point, Lot 583 Norfolk

Present Official Plan Designation(s): Resort Residential

Present Zoning: RR. Resort Residential

2. Is there a special provision or site specific zone on the subject lands?

Yes No If yes, please specify:

3. Present use of the subject lands:

✓



4. Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Existing cottage + Boat Cover. Boat Cover to be removed and replaced with boat house

5. If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Boat house

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes No

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

50 plus years.

9. Existing use of abutting properties:

cottages

10. Are there any easements or restrictive covenants affecting the subject lands?

JW Yes No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Site Information

Existing

Proposed

Please indicate unit of measurement, i.e. m, m² or %, etc.

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____

2. Please outline the relief requested (assistance is available):

*0.7 m for side yard.
1.0 m for height
65.3 m.sq for usable floor area.*

3. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law:

RR zoning, and to accommodate existing boat well

4. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____



If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added:

Description of land intended to be retained in metric units:

Frontage: _____
Depth: _____
Width: _____
Lot Area: _____
Present Use: _____
Proposed Use: _____

5. Description of proposed right-of-way/easement in metric units:

Frontage: _____
Depth: _____
Width: _____
Area: _____
Proposed use: _____

6. List all properties in Norfolk County, which are owned and farmed by the applicant and involved in the farm operation:

Owners Name: _____
Roll Number: _____
Total Acreage: _____
Workable Acreage: _____
Existing Farm Type: (i.e., corn, orchard etc) _____
Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____
Roll Number: _____
Total Acreage: _____



Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Owners Name: _____

Roll Number: _____

Total Acreage: _____

Workable Acreage: _____

Existing Farm Type: (i.e., corn, orchard etc) _____

Dwelling Present?: Yes No If yes, year dwelling built _____

Note: If additional space is needed please attach a separate sheet.

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? Yes No Unknown

If yes, specify the uses (example: gas station, petroleum storage, etc.):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? Yes No Unknown

3. Provide the information you used to determine the answers to the above questions:

Owner knowledge

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? Yes No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? Yes No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? Yes No

If no, please explain:

replacing existing building

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? Yes No

If no, please explain:

outside town well area.

Note: If in an area of source water WHPA A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

On the subject lands or within 500 meters – distance _____

Wooded area

On the subject lands or within 500 meters – distance _____

Municipal Landfill

On the subject lands or within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

On the subject lands or within 500 meters – distance _____

✓ **Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or within 500 meters – distance adjacent

✓ **Floodplain**

On the subject lands or within 500 meters – distance adjacent

Rehabilitated mine site

On the subject lands or within 500 meters – distance _____

Non-operating mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Active mine site within one kilometre

On the subject lands or within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

On the subject lands or within 500 meters – distance _____

Active railway line

On the subject lands or within 500 meters – distance _____

Seasonal wetness of lands

On the subject lands or within 500 meters – distance _____

Erosion

On the subject lands or within 500 meters – distance _____

Abandoned gas wells

On the subject lands or within 500 meters – distance _____



F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water Communal wells
 Individual wells Other (describe below)
-

Sewage Treatment

- Municipal sewers Communal system
 Septic tank and tile bed Other (describe below)
Holding Tank.
-

Storm Drainage

- Storm sewers Open ditches
 Other (describe below)
overland.
-

2. Existing or proposed access to subject lands:

- Municipal road Provincial highway
 Unopened road Other (describe below)

Name of road/street:

Old Cut Blvd.

G. Other Information

1. Does the application involve a local business? Yes No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

Comparable boat houses in the area.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, folded hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Existing and proposed easements and right of ways
4. Parking space totals – required and proposed
5. All dimensions of the subject lands
6. Dimensions and setbacks of all buildings and structures
7. Names of adjacent streets
8. Natural features, watercourses and trees

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form
- Environmental Impact Study
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Record of Site Condition
- Agricultural Impact Assessment

Your development approval might also be dependent on Ministry of Environment and Climate Change, Ministry of Transportation or other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Transfers, Easements and Postponement of Interest

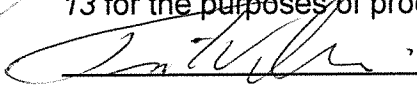
The owner acknowledges and agrees that if required it is their solicitor's responsibility on behalf of the owner for the registration of all transfer(s) of land to the County, and/or transfer(s) of easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

✓ 

Owner/Applicant/Agent Signature

Mar. 06 2018


Date

J. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner must complete the authorization set out below:

I/We Dave + Arvita Arnold am/are the registered owner(s) of the lands that is the subject of this application for site plan approval.

I/We authorize Tim Wallace to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.



Owner

Feb 17/18

Date



Owner

Feb 17/18

Date



K. Declaration

I, Tim Wallace of Norfolk

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Langton

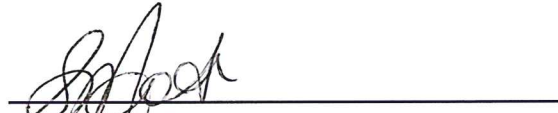


Owner/Applicant/Agent Signature

In Norfolk County

This 6th day of March

A.D., 20 18


A Commissioner, etc.

SHERRY ANN MOTT, a
Commissioner, etc., Province of Ontario,
for the Corporation of Norfolk County.
Expires January 5, 2020.



Zoning Deficiency

Simcoe: 185 Robinson St.
 Simcoe, ON
 N3Y 5L6
 519-426-5870

Langton: 22 Albert St.
 Langton, On.
 NOE 1G0
 519-875-4485

PROPERTY INFORMATION

Address: 53 Old Cut

Legal Description:

Roll Number: 543-070-34100

Application #:

Information Origins: hand sketch site plan handed in by owner

Resort Residential Zone (RR)

3.2.2 Boathouse

a) minimum exterior side yard

	REQUIRED	PROPOSED	DEFICIENCY	UNITS
a) minimum exterior side yard	6.00	11.90	N/A	m
b) minimum interior side yard				m
i) typical lot	1.20	0.50	0.70	m
ii) erected on a common lot line	0.00		N/A	m
c) maximum building height	5.00	6.00	1.00	m
(Note: Proposed Area)				m.sq
d) maximum total usable floor area	56.00	121.30	65.30	m.sq
e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for accessory buildings	10.00	8.40		%
			N/A	

b) minimum interior side yard

i) typical lot

ii) erected on a common lot line

c) maximum building height

(Note: Proposed Area)

d) maximum total usable floor area

e) maximum lot coverage - shall not occupy more than 10 percent of the lot area, for accessory buildings

Comments

used dimensions given on site plan. Note; useable floor area calculated from inside wall dimension, but site plan not clear on whether inside wall dimensions were given.

The proposed information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to the associated planning application and does not relieve the owner/applicant from obtaining all other permits/approvals required. The owner/applicant hereby accepts full responsibility for the accuracy of the proposed information provided on this form.

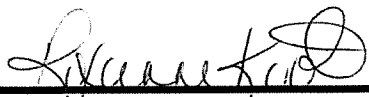
Prepared By:
 Roxanne Koot

I have read and understand the above.

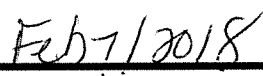
Signature of owner or authorized agent

date

AS PER: Fritz R. Enzlin. CBCO, CRBO -
 Chief Building Official Manager,
 Building & Bylaw Division, Norfolk
 County



 Signature of Zoning Administrator



 date



Zoning Deficiency

Simcoe: 185 Robinson St.
Simcoe, ON
N3Y 5L6
519-426-5870
Langton: 22 Albert St.
Langton, On.
N0E 1G0
519-875-4485

PROPERTY INFORMATION

Address: 53 Old Cut

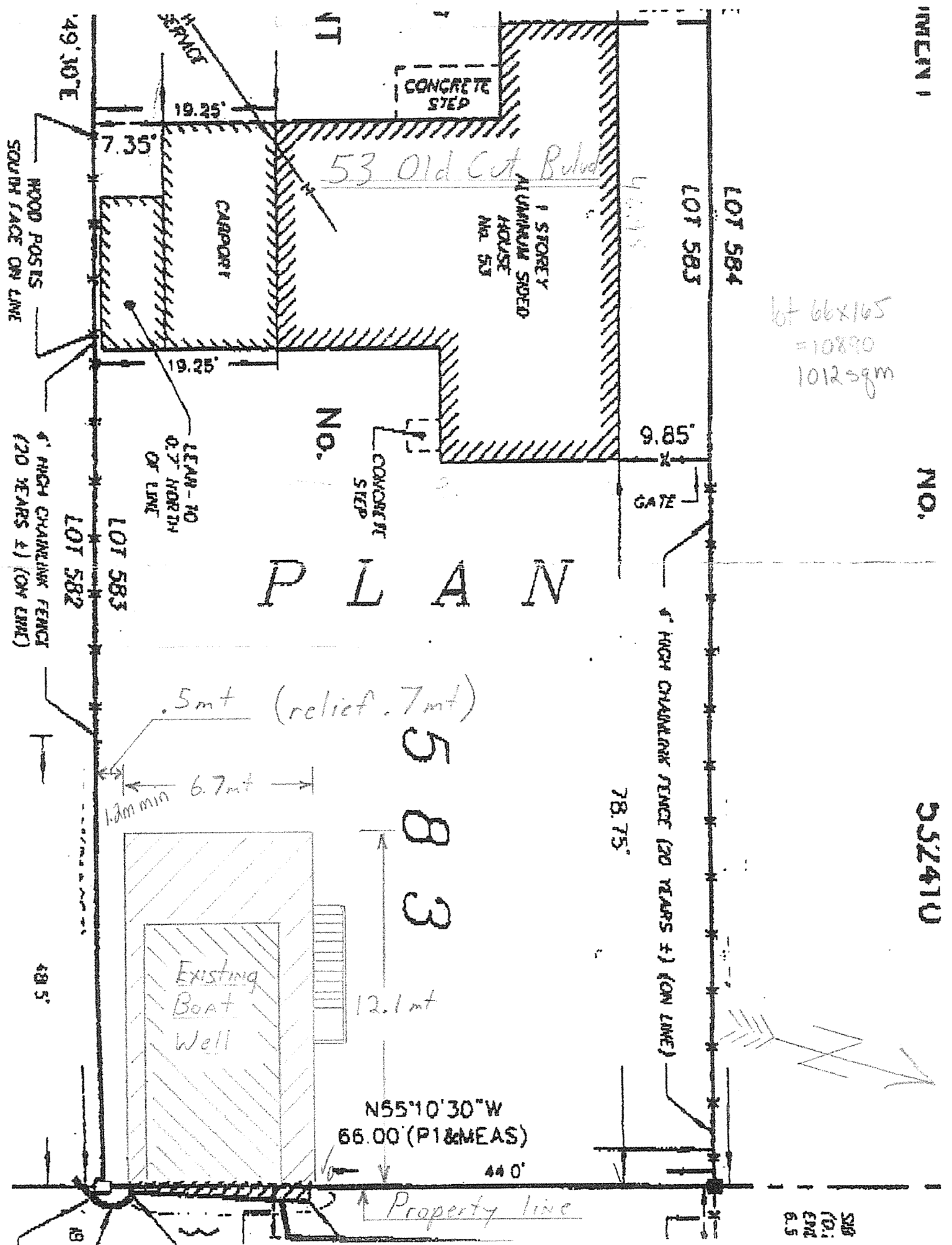
Legal Description:

Roll Number: 543-070-34100

Application #:

Information Origins: hand sketch site plan handed in by owner

Resort Residential Zone (RR)



lot 66x165
= 10890
1012sqm

PLAN

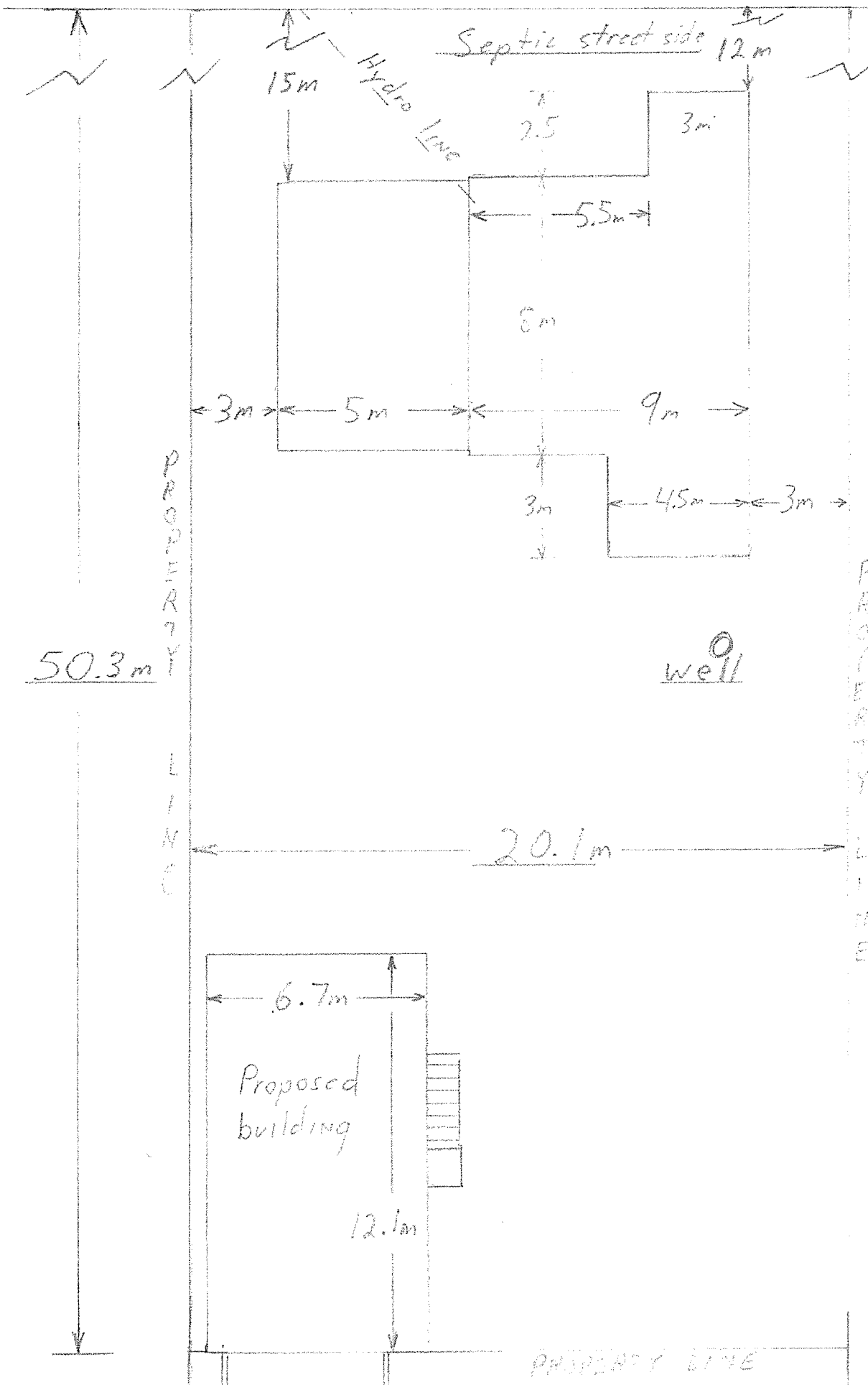
583

N55°10'30"W
66.00' (P1&MEAS)

Property line

SIB
FO:
EPT
6.5

53 Old Cut Bulvd



Lot

$$\sqrt{20.1 \times 50.3} = 1011.3$$

Cottage

$$9 \times 8 = 72$$

$$3 \times 2.5 = 7.5$$

$$3 \times 9.5 = 13.5$$

$$5 \times 8 = 40$$

$$\underline{\underline{133.0}}$$

13.0%

outbuilding

$$6.7 \times 12.1 = 81.07$$

8.0%

include stairs in lot coverage



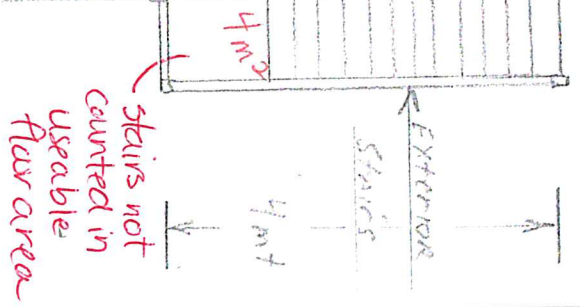
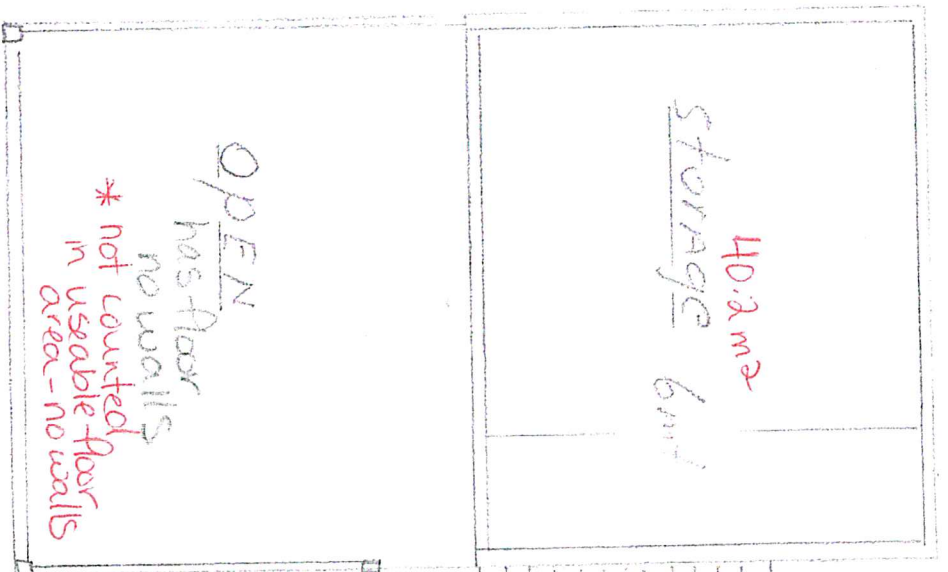
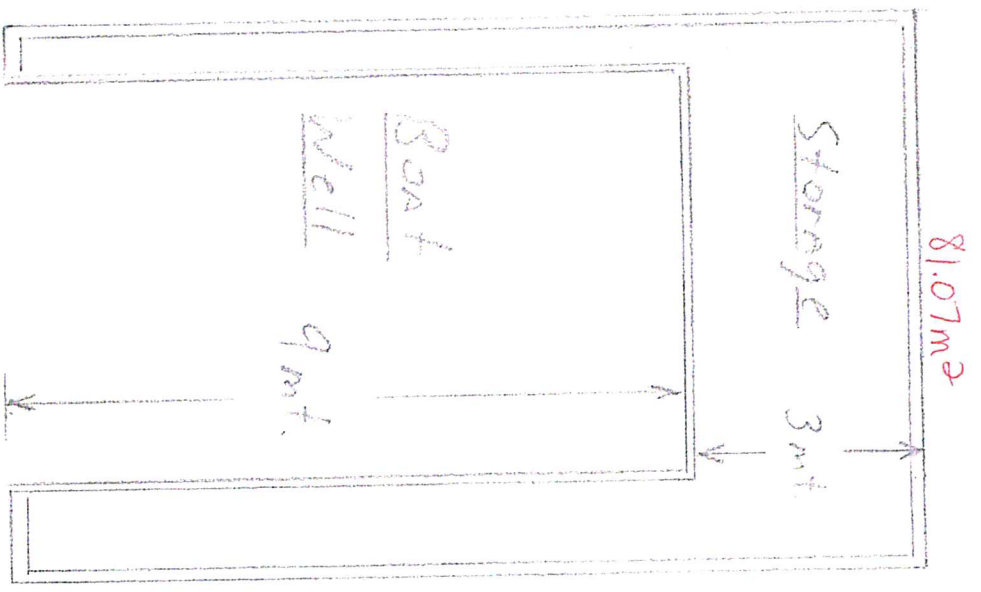
$$\therefore 85.07 \text{ sqm}$$

$$= 8.4\%$$

Channel

53 Old Col Bldg. Long 9m

useable floor area = $81.07 + 40.2 = 121.3 \text{ m}^2$



Ground level

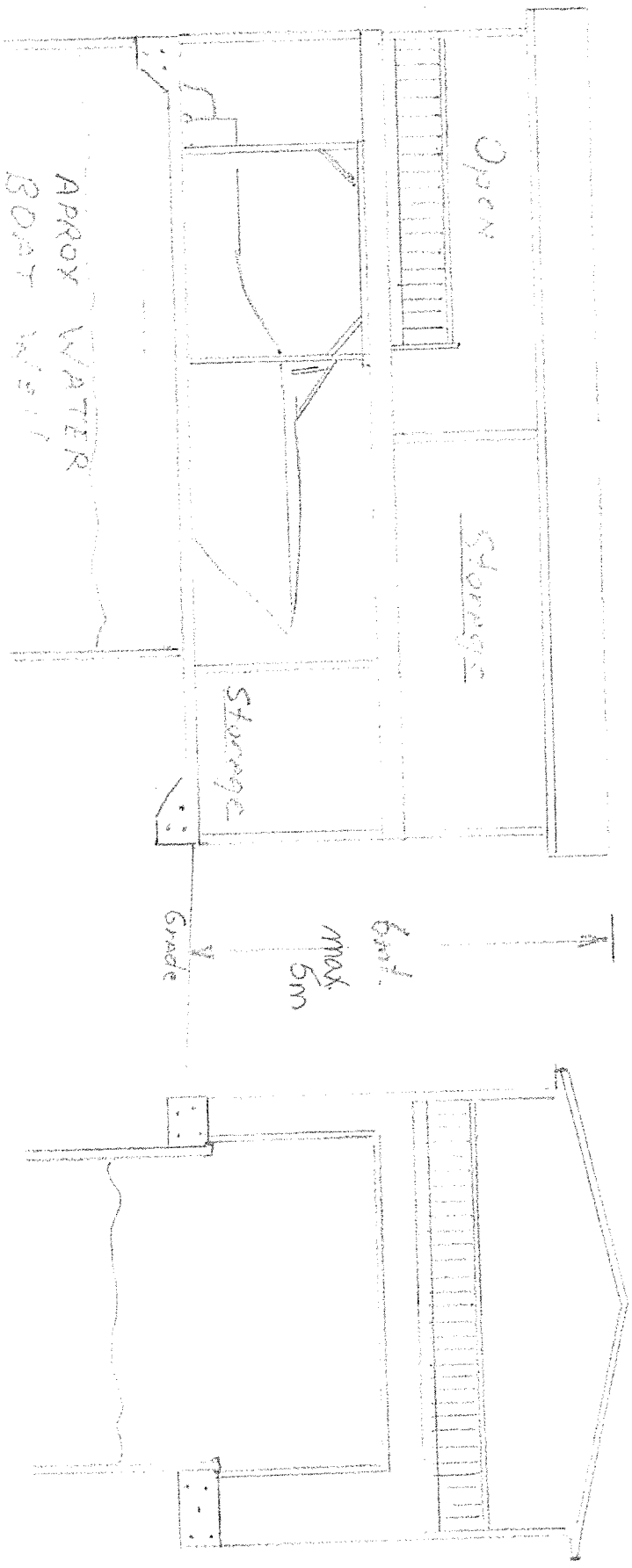
2nd floor



53 Old Cut Blvd Long Point

Feb 5/18

Boat house - storage to replace existing



Instructions for Completing the Evaluation Form for Existing On-Site Sewage Systems

General Information Applicable to Sewage Evaluations:

1. Please complete the following form by checking appropriate lines and filling out blanks.
2. This Evaluation Form must be completed by a "Qualified" person engaged in the business of constructing on site, installing, repairing, servicing, cleaning or emptying sewage systems.
3. If sewage system malfunctions are found during an evaluation (surfacing or discharge of improperly treated sewage effluent) which indicate a possible health hazard or nuisance, orders may be issued for correction.
4. Evaluations should be scheduled accordingly so as not to delay the application process.
5. Completed Forms MUST be submitted as part of a "complete" Planning Application. Failure to meet this date may cause the application to be deferred.
6. Completed Forms must be returned to:

Building Division

Simcoe Office
185 Robinson St. Suite 200
Simcoe, ON N3Y 2J4
Fax: (519) 427-5901

Langton Office
22 Albert St.
Langton, ON N3Y 2J4
Fax: (519) 875-4789

7. Evaluation Forms will become part of the property records of Norfolk County Building Division.
8. No On-Site Sewage System Evaluation will be conducted where:
 - snow depth exceeds two (2) inches, or
 - grass and brush exceeds twelve (12) inches
9. The comments that are given as a result of this evaluation are rendered without complete knowledge or observation of some of the individual components of the sewage system and applies only to the date and time the evaluation is conducted.



Evaluation Form for Existing On-Site Sewage Systems

Date: July 2009

OFFICE USE ONLY	FILE NO.:	DATE RECEIVED:
PROPERTY INFORMATION	Municipal Address:	
Owner:	Lot:	Concession:
Lot Area:	Lot Frontage:	Assessment Roll No.
PURPOSE OF EVALUATION	<input type="checkbox"/> Consent <input checked="" type="checkbox"/> Minor Variance <input type="checkbox"/> Site Plan <input type="checkbox"/> Zoning <input type="checkbox"/> Other _____	
BUILDING INFORMATION	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Agricultural	
Building Area: 93 sq mt.	No. of Bedrooms: 2	No. of Fixture Units: 8.5 Is the building currently occupied? (Yes) / No If No, how long?
EVALUATOR'S INFORMATION	Evaluator's Name: JACK GRANGER	Company Name: Granger Ex
Address: 1770 3rd con ST Williams	Postal Code: NOE 1P6	Phone: 519 586 7628
Email:	BCIN # 26664	
SITE EVALUATION	Ground Cover (trees, bushes, grass, impermeable surface): GRASS	Soil Type: Sandy
Site Slope: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Moderate <input type="checkbox"/> Steep	Soil Conditions: <input type="checkbox"/> Wet <input checked="" type="checkbox"/> Dry	Depth of Water Table: 5 ft.
Surface Discharge Observed: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Odour Detected: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Current Weather (at time of evaluation):
SYSTEM EVALUATION	Class of System: <input type="checkbox"/> 1 (Privy) <input type="checkbox"/> 2 (Greywater) <input type="checkbox"/> 3 (Cesspool) <input type="checkbox"/> 4 (Leaching Bed) <input checked="" type="checkbox"/> 5 (Holding Tank)	
Tank: <input checked="" type="checkbox"/> Pre-cast <input type="checkbox"/> Plastic <input type="checkbox"/> Fibre Glass <input type="checkbox"/> Wood <input type="checkbox"/> Other _____	Size: 2000 Gal.	Pump: Yes No
Distribution System: Area: <input type="checkbox"/> Trench Bed <input type="checkbox"/> Filter Medium	No. of Tile Runs:	Total Length of Tile: Distance Between Tile Runs:
Tile Material: <input type="checkbox"/> PVC <input type="checkbox"/> Clay <input type="checkbox"/> Other	Ends: <input type="checkbox"/> Capped <input type="checkbox"/> Joined	Cover: <input type="checkbox"/> Filter Cloth <input type="checkbox"/> Sand <input type="checkbox"/> Top Soil <input type="checkbox"/> Seeded
Setbacks:	Tank	Distribution Pipe
Distance to Buildings & Structures (ft)	10 ft. 3mts	
Distance to Bodies of Water (ft)	100 ft. 30mts.	
Distance to Nearest Well (ft)	60 ft. 20mts.	
Distance to Proposed Property Lines	Front 8mt. Rear _____ Side 8mt Side 8mt.	Front _____ Rear _____ Side _____ Side _____

OVERALL SYSTEM RATING	<input checked="" type="checkbox"/> System Working Properly / No Work Required <input type="checkbox"/> System Functioning / Maintenance Required <input type="checkbox"/> System Not Functioning / Minor Repair Required <input type="checkbox"/> System Failure/Major Repair / Replacement Required Note: Any repair/replacement of an on site sewage system requires a building permit. Contact the Norfolk County Building Division at (519) 426-5870 for more information.
	Additional Comments: <i>Holding Tank, pumped as needed.</i>

VERIFICATION

OWNER:
 The owner is responsible for having a site evaluation conducted of the above mentioned property. Neither the evaluation nor the approval thereof shall in any way exempt the owner(s) from complying with the Ontario Building Code or any other applicable law.

I, Dave + Arvita Arnold (the owner of the subject property) hereby authorize the above mentioned evaluator to act on my behalf with respect to all matters pertaining to the existing on-site sewage system evaluation.

[Signature]
 Owner Signature

Feb. 17/18
 Date

EVALUATOR:

1. I, JACK GRANGER declare that this site evaluation is accurate as of the date of inspection. No determination of future performance can be made due to unknown conditions, future water usage over the life of the system, abuse of the system and/or inadequate maintenance, all of which may adversely affect the life of the system. This evaluation does not grant or imply any guarantee or warranty of the future performance of the sewage system. The undersigned takes no responsibility for the accuracy of existing or proposed property lines, whether measured or implied.

[Signature]
 Evaluator Signature

~~Feb 28/18~~ Feb 28/18
 Date

BUILDING DIVISION COMMENTS

Comments: _____

I, _____ have reviewed the information contained in this form as submitted.

_____ Date

Chief Building Official or designate



On Site Sewage Disposal System Location Plan

DATE: _____

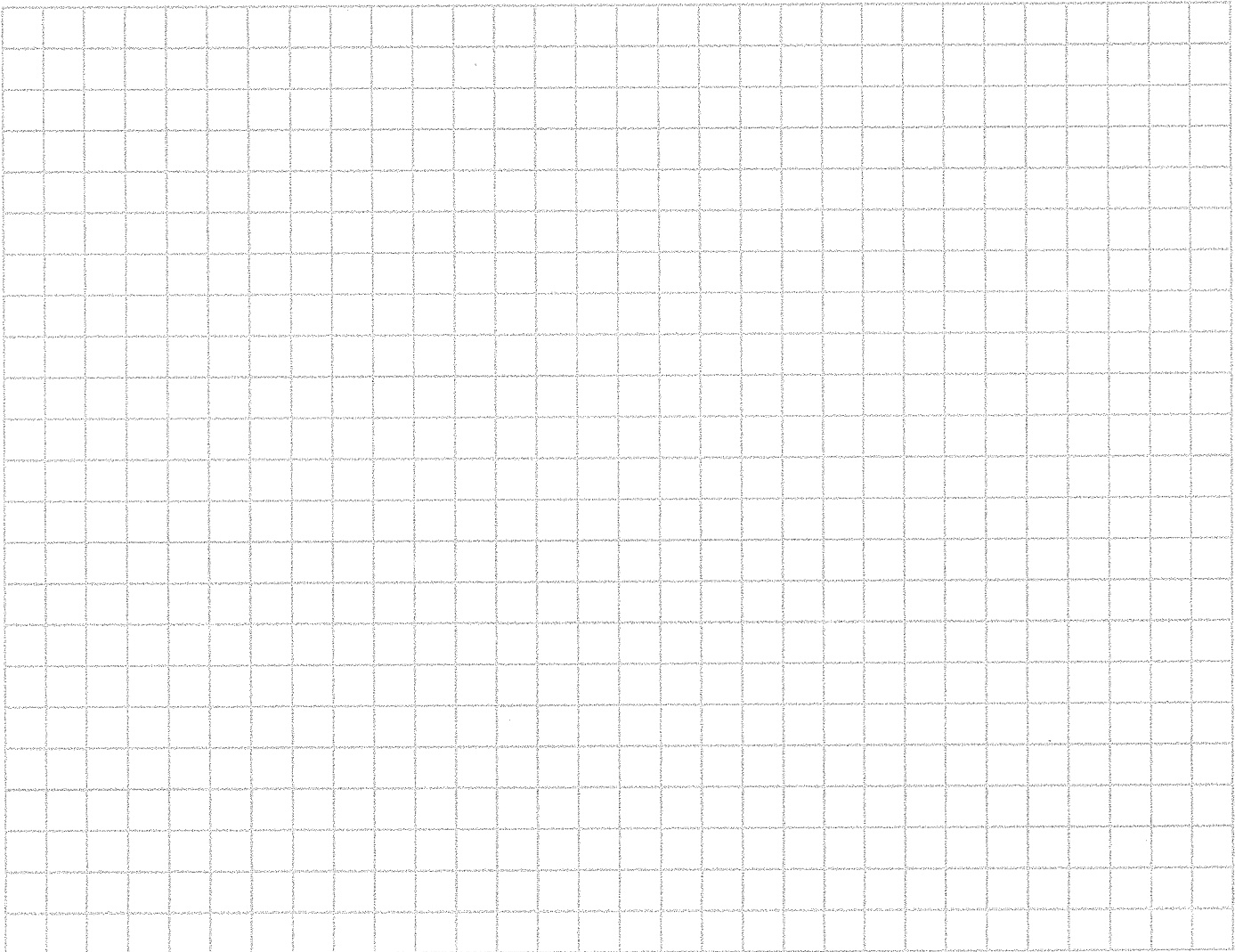
APPLICATION NUMBER: _____

OWNER _____

EVALUATOR _____

PROPERTY ADDRESS _____

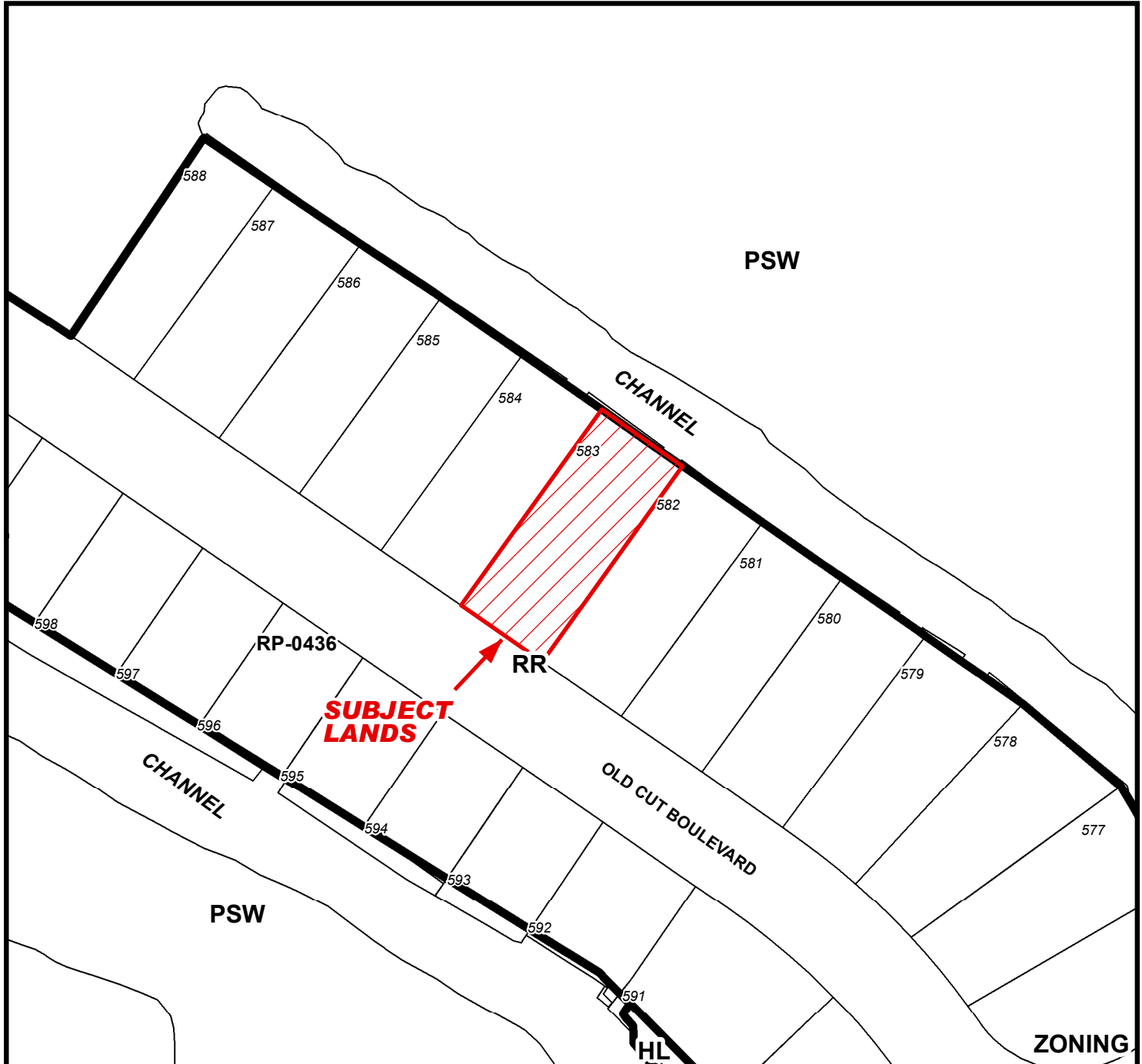
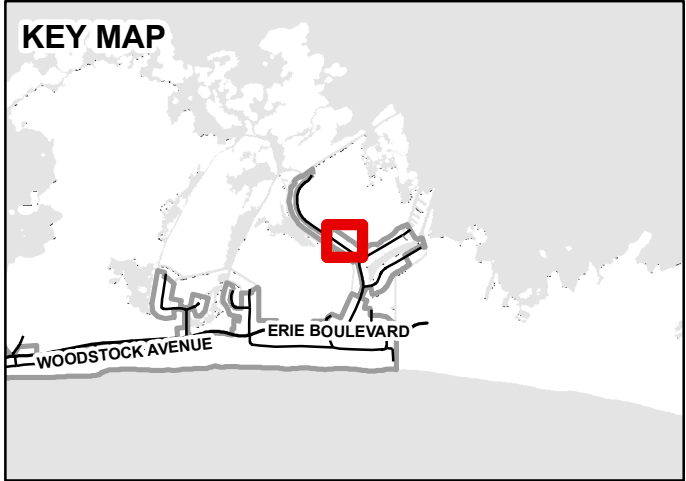
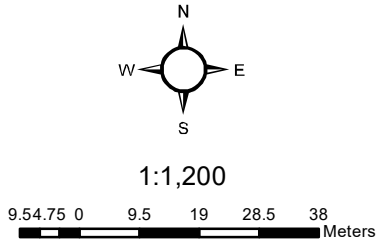
Please provide a DIMENSIONED sketch drawing indicating EXISTING AND PROPOSED property lines, existing roads and driveways, location of all existing buildings, location of existing wells, and location of existing septic tanks and tile beds.



PREPARED BY: _____

NOTE: The above sketch is not to exact scale.

MAP 1
File Number: ANPL2018039
Geographic Township of
SOUTH WALSHINGHAM

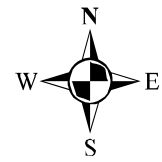


ZONING

MAP 2

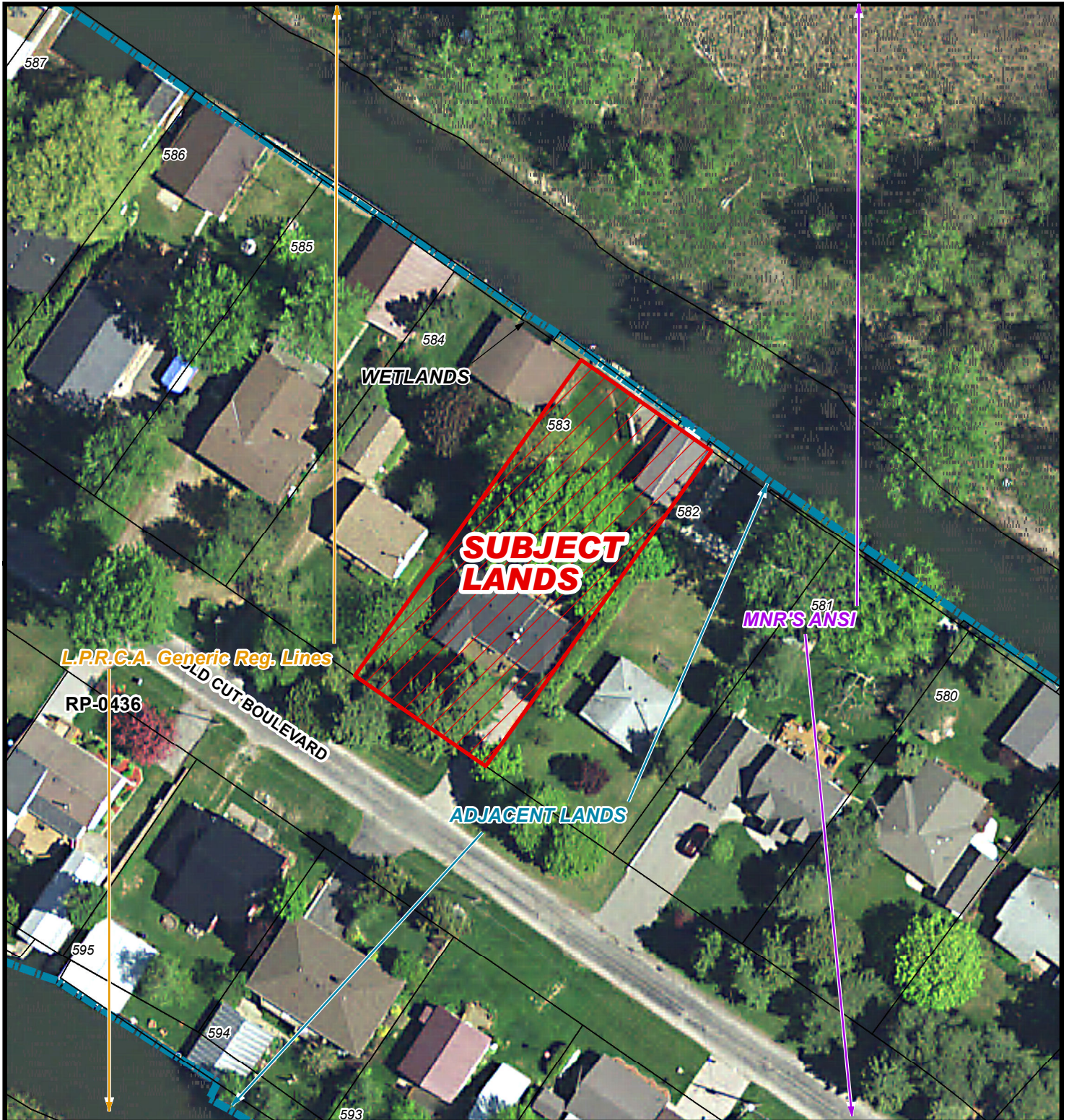
File Number: ANPL2018039

Geographic Township of SOUTH WALSHINGHAM



2.5 2.5 5 7.5 10 Meters

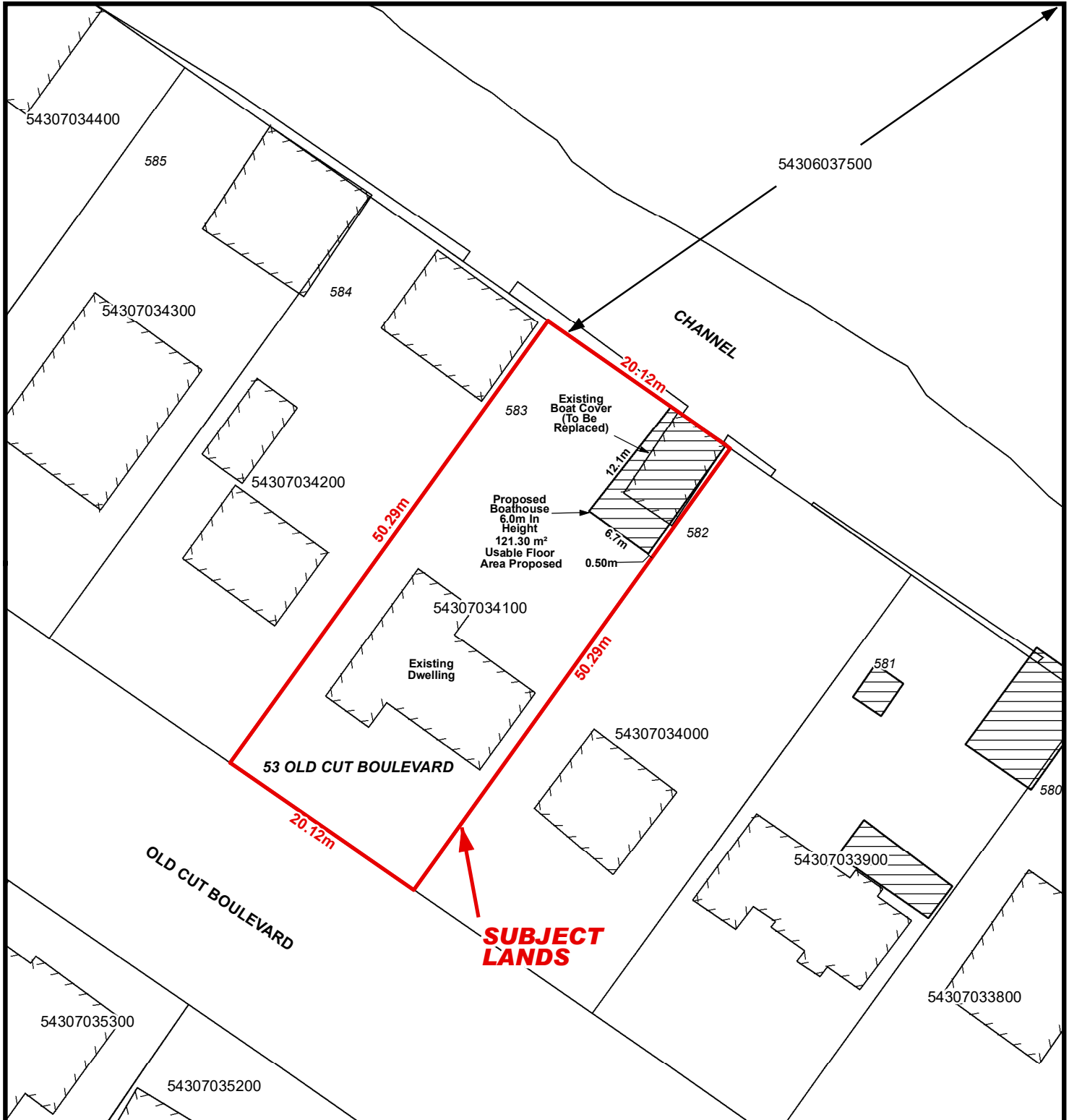
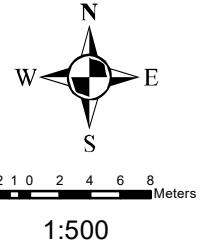
1:700



MAP 3

File Number: ANPL2018039

Geographic Township of SOUTH WALSHINGHAM



LOCATION OF LANDS AFFECTED

File Number: ANPL2018039

Geographic Township of SOUTH WALSHINGHAM

