



**THE CORPORATION OF NORFOLK COUNTY  
COMMITTEE OF ADJUSTMENT**

**COMMENT REQUEST FORM**

This Committee has received a consent/minor variance application concerning land within your jurisdiction. The proposal is explained on the attached application. If you require further information, please feel free to contact this office.

In order to properly consider this application, the Committee of Adjustment would appreciate your comments or recommendation before the date below:

**September 12<sup>TH</sup>, 2007**

**FILE NO.: AN-045/2007**

**ASSESSMENT ROLL NO.: 3310-543-070-26900**

**APPLICANT:**

Larry Robinson, 39 Whitehall Crescent, St. Albert, AB T8N 3G3

**AGENT:**

N/A, ,

**LOCATION:**

21 Rogers Avenue, Long Point (Lot 547, RP 436 SWAL)

**PROPOSAL:**

- Relief of 164.7 m2 (1772.3 ft2) from the maximum 700 m2 (7532 ft2) lot area to allow a lot area of 535.1 m2 (5759.7 ft2)
- Relief of 0.01 m. (0.04 ft.) from the required 1.2 m. (3.94 ft.) interior side yard (RT) to allow for an interior side yard (RT) of 1.19 m. (3.9 ft.)
- Relief of 0.01 m. (0.04 ft.) from the required 1.2 m. (3.94 ft.) interior side yard (LT) to allow for an interior side yard (LT) of 1.19 m. (3.9 ft.)
- Relief of 2.3 m. (7.53 ft.) from the required 9 m. (29.53 ft) rear yard setback to allow for a rear yard setback of 6.7 m. (22 ft.) to permit construction of an addition and a second storey to existing house.

- Building Department
- Building Inspector (Sewage System Review)
- Forestry Division
- Treasury Department
- Public Works > NOTE: If an agreement is required please attach the clauses you require in the agreement.

- GIS Section
- Norfolk Power
- Ministry of Transportation
- Railway
- Conservation Authority

**CIRCULATION DATE: August 29<sup>th</sup>, 2007**

**PLEASE REPLY BY FAX OR EMAIL DIRECTLY TO:**

Shirley Cater, MCIP, RPP  
Norfolk County, 60 Colborne Street, South, Simcoe, ON N3Y 4N5  
(519) 426-5870 ext 1290

**FAX: (519) 428-3069 EMAIL: shirley.cater@norfolkcounty.ca**

**COMMITTEE OF ADJUSTMENT DECISION:**

If you wish to be notified of the Decision of Norfolk County, Committee of Adjustment in respect of the proposed consent, you must make a written request to: Larry Dawson, Acting Secretary-Treasurer, P.O. Box 128, 22 Albert Street, Langton ON N0E 1G0 • Phone: (519) 875-4485 ext 1835; Fax: (519) 875-4789; Email: larry.dawson@norfolkcounty.ca

**APPEALS TO THE ONTARIO MUNICIPAL BOARD:**

If a person or public body that files an appeal of a Decision of Norfolk County Committee of Adjustment in respect of the proposed consent or variance does not make written submission to the Norfolk County Committee of Adjustment, before it gives or refuses to give a provisional consent or variance, the Ontario Municipal Board may dismiss the appeal.

**MINOR VARIANCE**

**Office Use:**

File Number: AN-45107  
 Related File: -  
 Fees Submitted: August 2107  
 Application Submitted: " " "  
 Sign Issued: " " "  
 Complete Application: " " "

This development application must be typed or printed in ink and completed in full. An incomplete or improperly prepared application may not be accepted and could result in processing delays.

**Property assessment roll number: 3310- 543 870 26900**

The undersigned hereby applies to the Committee of Adjustment under Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, for relief as described in this application from by-law no. 1-1405

**A. APPLICANT INFORMATION**

Name of Applicant <sup>1</sup> Lanny Robinson Phone # 780-458-4650  
 Address 39 Whitehall Cres. Fax # 780-429-3914  
 Town / Postal Code St. Albert AB T8N3G3 E-mail Lrobinson@dundee Realty.com

<sup>1</sup> If the applicant is a numbered company provide the name of a principal of the company.

Name of Agent \_\_\_\_\_ Phone # \_\_\_\_\_  
 Address \_\_\_\_\_ Fax # \_\_\_\_\_  
 Town / Postal Code \_\_\_\_\_ E-mail \_\_\_\_\_

Name of Owner <sup>2</sup> \_\_\_\_\_ Phone # \_\_\_\_\_  
 Address \_\_\_\_\_ Fax # \_\_\_\_\_  
 Town / Postal Code \_\_\_\_\_ E-mail \_\_\_\_\_

<sup>2</sup> It is the responsibility of the owner or applicant to notify the Planner of any changes in ownership within 30 days of such a change.

Please specify to whom all communications should be sent <sup>3</sup>:  Applicant  Agent  Owner

<sup>3</sup> Unless otherwise directed, all correspondence, notices, etc., in respect of this development application will be forwarded to the Applicant noted above, except where an Agent is employed, then such will be forwarded to the Applicant and Agent.

Names and addresses of any holders of any mortgagees, charges or other encumbrances on the subject lands:  
Royal Bank =



**MINOR VARIANCE**

**B. LOCATION/LEGAL DESCRIPTION OF SUBJECT LANDS**

Geographic Township	<u>South Weymouth</u>	Urban Area or Hamlet	<u>Long Point</u>
Concession Number	_____	Lot Number(s)	_____
Registered Plan Number	<u>436</u>	Lot(s) or Block Number(s)	<u>547</u>
Reference Plan Number	_____	Part Number(s)	_____
Frontage (metres/feet)	<u>50 FT</u>	Depth (metres/feet)	<u>100</u>
Width (metres/feet)	_____	Lot area (m <sup>2</sup> / ft <sup>2</sup> or hectares/acres)	<u>5759.7 ft<sup>2</sup></u>
Municipal Civic Address	<u>21 Rogers Ave.</u>		

Are there any easements or restrictive covenants affecting the subject lands?

Yes       No

If yes, describe the easement or covenant and its effect:

\_\_\_\_\_

\_\_\_\_\_

**C. PURPOSE OF DEVELOPMENT APPLICATION**

Please explain what you propose to do on the subject lands/premises which makes this development application necessary (if additional space is required, please attach a separate sheet):

propose addition to house and second story addition.

\_\_\_\_\_

\_\_\_\_\_

Please explain the nature and extent of the amendment requested (assistance is available):

Relief of lot area, interior side yard and rear yard setbacks.

\_\_\_\_\_

\_\_\_\_\_



**MINOR VARIANCE**

Please explain why it is not possible to comply with the provision of the zoning by-law:

location of existing building and size of lot.

**D. PROPERTY INFORMATION**

Present official plan designation(s):

Long Point - Resort

Present zoning:

Long Point

Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

1 1 storey house and garage - see survey

If known, the date existing buildings or structures were constructed on the subject lands:

unknown

If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

**MINOR VARIANCE**

Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

Second story addition to house and addition on main floor

If known, the date the proposed buildings or structures will be constructed on the subject lands:

Spring 2008

Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant?

Yes  No

If yes, identify and provide details of the building:

The date the subject lands was acquired by the current owner:

Present use of the subject lands:

If known, the length of time the existing uses have continued on the subject lands:

Existing use of abutting properties:

**E. PREVIOUS USE OF THE PROPERTY**

Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes  No  Unknown

If yes, specify the uses:

Has the grading of the subject lands been changed through excavation or the addition of earth or other material?

Yes  No  Unknown

## MINOR VARIANCE

Has a gas station been located on the subject lands or adjacent lands at any time?

Yes       No       Unknown

Has there been petroleum or other fuel stored on the subject lands or adjacent lands at any time?

Yes       No       Unknown

Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes       No       Unknown

Provide the information you used to determine the answers to the above questions:

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If you answered yes to any of the above questions, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed.

Is the previous use inventory attached?

Yes       No

## F. STATUS OF OTHER PLANNING DEVELOPMENT APPLICATIONS

Has the subject land or land within 120 metres of it been or is now the subject of an application under the *Planning Act, R.S.O. 1990, c. P. 13* for:

- (a) a minor variance or a consent;
- (b) an amendment to an official plan, a zoning by-law or a Minister's zoning order; or
- (c) approval of a plan of subdivision or a site plan?

Yes       No       Unknown

If yes, indicate the following information about **each application**:

File number:

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Land it affects:

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Purpose:

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Status/decision:

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**MINOR VARIANCE**

Effect on the requested amendment:

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If additional space is required, please attach a separate sheet.

Is the above information for other planning developments applications attached?

Yes       No

**G. PROVINCIAL POLICY**

Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes       No

If no, please explain:

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Are the subject lands within an area of land designated under any provincial plan or plans?

Yes       No

If yes, does the requested amendment conform to or does not conflict with the provincial plan or plans:

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Are any of the following uses or features on the subject lands or within 500 metres (1,640 feet) of the subject lands, unless otherwise specified? Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Lands		Within 500 Metres (1,640 feet) of Subject Lands (Indicate Distance)		
	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Livestock facility or stockyard (if yes, complete Form 3 – available upon request)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Wooded area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Municipal landfill	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Sewage treatment plant or waste stabilization plant	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Provincially significant welland (class 1, 2 or 3) or other environmental feature	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	___ distance
Floodplain	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Rehabilitated mine site	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Non-operating mine site within one kilometre	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Active mine site within one kilometre	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Industrial or commercial use (specify the use(s))	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Active railway line	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Seasonal wetness of lands	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Erosion	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance
Abandoned gas wells	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	___ distance



**MINOR VARIANCE**

**H. SERVICING AND ACCESS**

Indicate what services are available or proposed:

**Water Supply**

- Municipal piped water
- Communal wells
- Individual wells
- Other (describe below)

**Sewage Treatment**

- Municipal sewers
- Communal system
- Septic tank and tile bed
- Other (describe below)

**Storm Drainage**

- Storm sewers
- Open ditches
- Other (describe below)

If other, describe:

*Lake water*

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Have you consulted with Public Works & Environmental Services concerning stormwater management?

- Yes
- No

Has the existing drainage on the subject lands been altered?

- Yes
- No

Does a legal and adequate outlet for storm drainage exist?

- Yes
- No
- Unknown

Existing or proposed access to subject lands:

- Unopened road
- Municipal road
- Provincial highway
- Other (describe below)

If other, describe:

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Name of road/street:

*Rogers Avenue*

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**MINOR VARIANCE**

**I. OTHER INFORMATION**

Is there a time limit that affects the processing of this development application?

Yes       No

If yes, describe:

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Is there any other information that you think may be useful in the review of this development application? If so, explain below or attach on a separate page.

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# Zoning Deficiency

Norfolk CityView Web

Roll Number 33-10-543-070-269-00-0000

IMPORTANT: THIS FORM IS NOT COMPLETE UNLESS IT IS ACCOMPANIED BY AN ATTACHED "LOT DIAGRAM PLAN" INDICATING ALL APPLICABLE SITE CONDITIONS.

## Property Information

Issue Date:

Owner: ROBINSON LANNY HORACE  
ROBINSON ELIZABETH RITA MARI

Property Lot:

Former Municipality:

Block:

Plan:

Civic Address: 21 ROGERS AVE

Part:

Reference Plan:

Legal Description: SWAL PLAN 436 LOT 547

Concession:

Extension to a Non-conforming use?:

Zoning:

Current Use of Property: Residential

Township:

By-law: 1-NO 85

Proposed Use of Property: Residential

## Zoning Deficiency

### DEVELOPMENT STANDARDS

### Required (Meters/Feet)

### Proposed

### Deficiency

a) Lot Area	700	7532	5351	5752.7	164.7	1772.3 sq ft.
b) Lot Frontage	15	49.21		50		OK
c) Front Yard Setback	6	19.68		29.8		OK
d) Exterior Side Yard	N/A	N/A				N/A
e) Interior Side Yard (Rt)	1.2	3.94	1.19	3.9	0.01	0.04'
f) Interior Side Yard (Lt)	1.2	3.94	1.19	3.9	0.01	0.04'
g) Rear Yard	9	29.53	6.7	22.0	2.3	7.53'
h) Dwelling Unit Area	700			1035		OK.
i) % Lot Coverage	30%		25.10		OK.	
j) Height of Building	23-11%					
k) Accessory Building						
Accessory Building Comments	<input type="text"/>					
l) Parking	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
m) Other	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Other Clause:

Other Description:

The "PROPOSED" information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to "Zoning" (Minor Variance, Zone Change, etc.) and does not relieve the applicant/owner from obtaining all other permits and/or approvals, such as Health Approval, entrance Permits, Building Permit, etc.

I, the Owner/Applicant take full responsibility for the accuracy of the "PROPOSED" information provided on this form.

Signatures:   
Owner/Applicant

Building Inspector

- Instructions:
1. Owner/Applicant to complete unshaded areas.
  2. Building Inspector to complete shaded areas.
  3. The Owner/Applicant to submit completed form to the Area regional Planner or the secretary to Committee of Adjustment. Your contact in this regard is:

Name

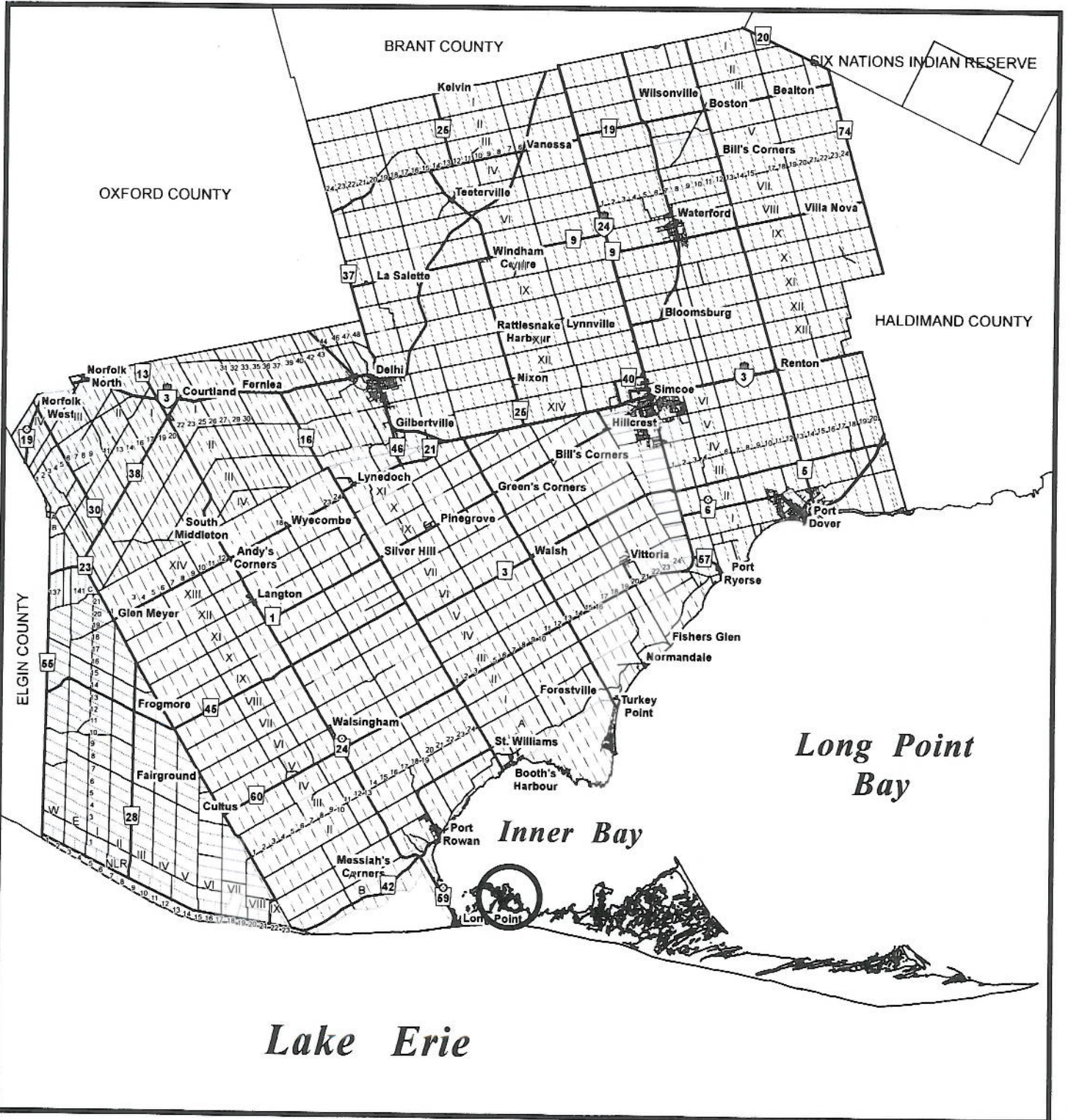
Address



# MAP 1

File Number: AN-045/2007

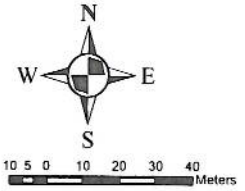
## Geographic Township of SOUTH WALSINGHAM



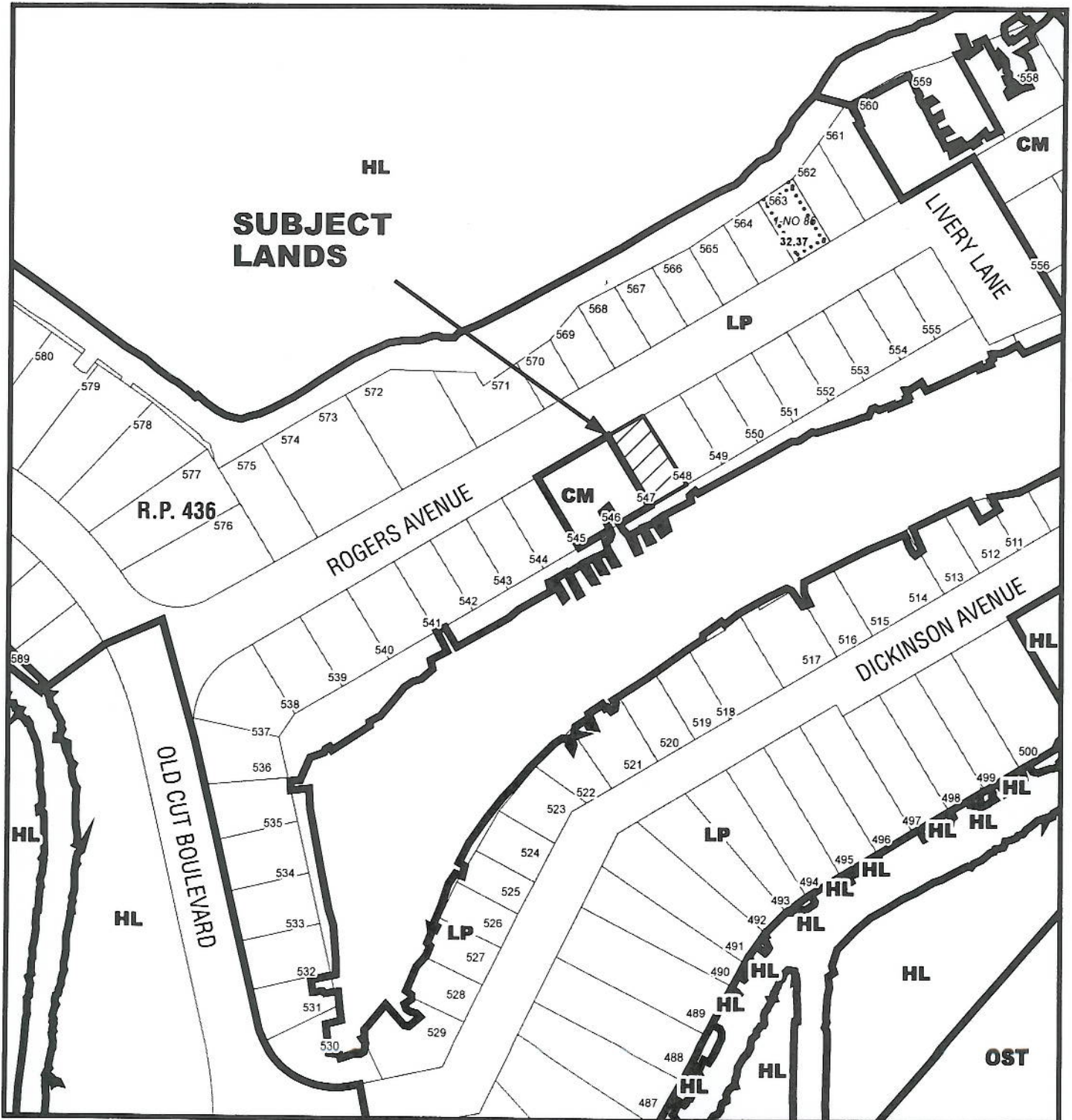
# MAP 2

File Number: AN-045/2007

Geographic Township of SOUTH WALSHINGHAM



1:2,000

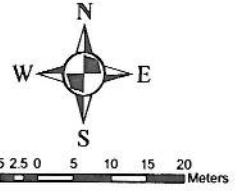




# MAP 3

File Number: AN-045/2007

Geographic Township of SOUTH WALSHINGHAM



1:1,000



# MAP 4

File Number: AN-045/2007

Geographic Township of SOUTH WALSHINGHAM



3 1.5 0 3 6 9 12 Meters

1:500

## SUBJECT LANDS

ROGERS AVENUE

Existing Garage

Existing One Storey Dwelling

R.P. 436

Proposed addition

3' High Wooden Deck

Wood and Steel Sea Wall

15.24m

30.48m

1.19m  
(3.9')

(100.00')

1.19m  
(3.9')

(22.0')

(50.00')

546

545

549

550

551

