



**THE CORPORATION OF NORFOLK COUNTY
COMMITTEE OF ADJUSTMENT
COMMENT REQUEST FORM**

This Committee has received a consent/minor variance application concerning land within your jurisdiction. The proposal is explained on the attached application. If you require further information, please feel free to contact this office.

In order to properly consider this application, the Committee of Adjustment would appreciate your comments or recommendation before the date below:

August 15TH, 2007

FILE NO.: AN-040/2007

ASSESSMENT ROLL NO.: 3310-402-010-04668

APPLICANT:

Berardi Construction (A Division of 1391570 Ontario Inc.), 122 Pleasant Ridge Road, Brantford, ON N3T 5L5

AGENT:

Cesare Berardi, 122 Pleasant Ridge Road, Brantford, ON N3T 5L5

LOCATION:

Lot 34, Plan 37M-15, Phase 1 SIMCOE (2 Driftwood Drive, Simcoe)

PROPOSAL:

- Relief of 3 m (9.84 ft) from the required 6 m (19.68 ft) to permit an exterior side yard of 3 m (9.84 ft)

- | | |
|--|---|
| <input checked="" type="checkbox"/> Building Department | <input checked="" type="checkbox"/> GIS Section |
| <input checked="" type="checkbox"/> Building Inspector (Sewage System Review) | <input checked="" type="checkbox"/> Norfolk Power |
| <input checked="" type="checkbox"/> Forestry Division | <input type="checkbox"/> Ministry of Transportation |
| <input checked="" type="checkbox"/> Treasury Department | <input type="checkbox"/> Railway |
| <input checked="" type="checkbox"/> Public Works > NOTE: If an agreement is required please attach the clauses you require in the agreement. | <input type="checkbox"/> Conservation Authority |

CIRCULATION DATE: August 1st, 2007

PLEASE REPLY BY FAX OR EMAIL DIRECTLY TO:

Mary Elder

Norfolk County, 60 Colborne Street, South, Simcoe, ON N3Y 4N5

(519) 426-5870 ext 1341

FAX: (519) 428-3069 EMAIL: mary.elder@norfolkcounty.ca

COMMITTEE OF ADJUSTMENT DECISION:

If you wish to be notified of the Decision of Norfolk County, Committee of Adjustment in respect of the proposed consent, you must make a written request to: Stephanie Godby, Acting Secretary-Treasurer, P.O. Box 128, 22 Albert Street, Langton ON N0E 1G0 • Phone: (519) 875-4485 ext 1835; Fax: (519) 875-4789; Email: stephanie.godby@norfolkcounty.ca

APPEALS TO THE ONTARIO MUNICIPAL BOARD:

If a person or public body that files an appeal of a Decision of Norfolk County Committee of Adjustment in respect of the proposed consent or variance does not make written submission to the Norfolk County Committee of Adjustment, before it gives or refuses to give a provisional consent or variance, the Ontario Municipal Board may dismiss the appeal.

MINOR VARIANCE

Lot #35
#2 Driftwood

Office Use:

File Number: AN-40/2007
Related File:
Fees Submitted: July 19, 2007
Application Submitted: July 19, 2007
Sign Issued: July 19, 2007
Complete Application: July 19, 2007

This development application must be typed or printed in ink and completed in full. An incomplete or improperly prepared application may not be accepted and could result in processing delays.

Property assessment roll number: 3310-402-010-046-68-0000

The undersigned hereby applies to the Committee of Adjustment under Section 45 of the Planning Act, R.S.O. 1990, c. P. 13, for relief as described in this application from by-law no. _____

A. APPLICANT INFORMATION

Name of Applicant¹ BERARDI CONSTRUCTION
A DIVISION OF 1391570 ONTARIO INC Phone # 519 770-6241
Address 122 PLEASANT RIDGE RD. Fax #
Town / Postal Code BRANTFORD ON N3T 5L5 E-mail

¹ If the applicant is a numbered company provide the name of a principal of the company.

Name of Agent _____ Phone # _____
Address _____ Fax # _____
Town / Postal Code _____ E-mail _____

Name of Owner² CESARE BERARDI Phone # 519 770-6241
Address 122 PLEASANT RIDGE RD Fax # 519 75-6700
Town / Postal Code BRANTFORD ON. N3T 5L5 E-mail

² It is the responsibility of the owner or applicant to notify the Planner of any changes in ownership within 30 days of such a change.

Please specify to whom all communications should be sent³: Applicant Agent Owner

³ Unless otherwise directed, all correspondence, notices, etc., in respect of this development application will be forwarded to the Applicant noted above, except where an Agent is employed, then such will be forwarded to the Applicant and Agent.

Names and addresses of any holders of any mortgagees, charges or other encumbrances on the subject lands:



MINOR VARIANCE

B. LOCATION/LEGAL DESCRIPTION OF SUBJECT LANDS

Geographic Township SIMCOE Urban Area or Hamlet _____
 Concession Number HARVEST GLEN SUBDIVISION Lot Number(s) 35
 Registered Plan Number PLAN 37 M-15 PHASE 1 Lot(s) or Block Number(s) _____
 Reference Plan Number _____ Part Number(s) _____
 Frontage (metres/feet) 17.195 M / 56.4 F Depth (metres/feet) 35.315 M / 115.8' F
 Width (metres/feet) _____ Lot area (m² / ft² or hectares/acres) _____
 Municipal Civic Address 2 DRIFTWOOD DRIVE SIMCOE

Are there any easements or restrictive covenants affecting the subject lands?

Yes No

If yes, describe the easement or covenant and its effect:

C. PURPOSE OF DEVELOPMENT APPLICATION

Please explain what you propose to do on the subject lands/premises which makes this development application necessary (if additional space is required, please attach a separate sheet):

WOULD LIKE TO BUILD A NEW HOME SIMILAR IN SIZE AS NEARBY NEW HOMES. THIS LOT DOES NOT ALLOW FOR OUR PLAN BECAUSE OF THE SIDE YARD 6 METRE REQUIREMENT AS PER SKETCH.

Please explain the nature and extent of the amendment requested (assistance is available):

WE ARE REQUESTING A MINOR VARIANCE ON THE LEFT HAND SIDE OF THE NEW HOME TO BE BUILT FRONT CORNER FROM 3 METRE - TO 6 METRE.

→ Relief of 3m (9.84') from the required 6m (19.68') to permit a 3m (9.84') extreme rear set back.

MINOR VARIANCE

Please explain why it is not possible to comply with the provision of the zoning by-law:

BECAUSE THE STYLE AND DESIGN OF THE NEW HOUSE TO BE BUILT DOES NOT CONFORM TO THE EXTERIOR SIDE YARD.

D. PROPERTY INFORMATION

Present official plan designation(s):

Present zoning:

R1B.9

Please describe **all existing** buildings or structures on the subject lands and whether they are to be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

VACANT.

If known, the date existing buildings or structures were constructed on the subject lands:

If an addition to an existing building is being proposed, please explain what will it be used for (e.g. bedroom, kitchen, bathroom, etc.). If new fixtures are proposed, please describe.

MINOR VARIANCE

Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, height, etc. on your attached sketch which must be included with your application:

To BUILD A NEW 1800 SQ. FT. RAISED RANCH INCLUDING GARAGE. AS PER BLUEPRINT SUPPLIED. SETBACKS AND SIDELYARDS ARE AS PER ENGINEERED FOOTPRINT SKETCH

If known, the date the proposed buildings or structures will be constructed on the subject lands:

END OF SEPTEMBER 2007

Are any existing buildings on the subject lands designated under the Ontario Heritage Act as being architecturally and/or historically significant?

Yes No

If yes, identify and provide details of the building:

The date the subject lands was acquired by the current owner:

JUNE 8th 2007

Present use of the subject lands:

VACANT SINGLE RESIDENTIAL BUILDING LOT.

If known, the length of time the existing uses have continued on the subject lands:

Existing use of abutting properties:

SINGLE FAMILY DWELLINGS

E. PREVIOUS USE OF THE PROPERTY

Has there been an industrial or commercial use on the subject lands or adjacent lands?

Yes No Unknown

If yes, specify the uses:

Has the grading of the subject lands been changed through excavation or the addition of earth or other material?

Yes No Unknown

MINOR VARIANCE

Has a gas station been located on the subject lands or adjacent lands at any time?

Yes No Unknown

Has there been petroleum or other fuel stored on the subject lands or adjacent lands at any time?

Yes No Unknown

Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

Provide the information you used to determine the answers to the above questions:

If you answered yes to any of the above questions, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed.

Is the previous use inventory attached?

Yes No

F. STATUS OF OTHER PLANNING DEVELOPMENT APPLICATIONS

Has the subject land or land within 120 metres of it been or is now the subject of an application under the *Planning Act, R.S.O. 1990, c. P. 13* for:

- (a) a minor variance or a consent;
- (b) an amendment to an official plan, a zoning by-law or a Minister's zoning order; or
- (c) approval of a plan of subdivision or a site plan?

Yes No Unknown

If yes, indicate the following information about **each application**:

File number:

Land it affects:

Purpose:

Status/decision:

MINOR VARIANCE

Effect on the requested amendment:

If additional space is required, please attach a separate sheet.

Is the above information for other planning developments applications attached?

Yes No

G. PROVINCIAL POLICY

Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?

Yes No

If no, please explain:

Are the subject lands within an area of land designated under any provincial plan or plans?

Yes No

If yes, does the requested amendment conform to or does not conflict with the provincial plan or plans:

Are any of the following uses or features on the subject lands or within 500 metres (1,640 feet) of the subject lands, unless otherwise specified? Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Lands		Within 500 Metres (1,640 feet) of Subject Lands (Indicate Distance)	
Livestock facility or stockyard (if yes, complete Form 3 – available upon request)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Wooded area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Municipal landfill	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Sewage treatment plant or waste stabilization plant	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Provincially significant wetland (class 1, 2 or 3) or other environmental feature	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Floodplain	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Rehabilitated mine site	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Non-operating mine site within one kilometre	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Active mine site within one kilometre	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Industrial or commercial use (specify the use(s))	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Active railway line	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Seasonal wetness of lands	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Erosion	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance
Abandoned gas wells	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No _____ distance

MINOR VARIANCE

H. SERVICING AND ACCESS

Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Communal wells
- Individual wells
- Other (describe below)

Sewage Treatment

- Municipal sewers
- Communal system
- Septic tank and tile bed
- Other (describe below)

Storm Drainage

- Storm sewers
- Open ditches
- Other (describe below)

If other, describe:

Have you consulted with Public Works & Environmental Services concerning stormwater management?

- Yes
- No

Has the existing drainage on the subject lands been altered?

- Yes
- No

Does a legal and adequate outlet for storm drainage exist?

- Yes
- No
- Unknown

Existing or proposed access to subject lands:

- Unopened road
- Municipal road
- Provincial highway
- Other (describe below)

If other, describe:

Name of road/street:

CORNER OF QUEEN ST. AND DRIFTWOOD DRIVE



Zoning Deficiency

Norfolk CityView Web

Roll Number 33-10-402-010-046-68-0000

IMPORTANT: THIS FORM IS NOT COMPLETE UNLESS IT IS ACCOMPANIED BY AN ATTACHED "LOT DIAGRAM PLAN" INDICATING ALL APPLICABLE SITE CONDITIONS.

Property Information

Issue Date:

Owner: 400023 ONTARIO LTD INC.
1391570

Civic Address: 2 DRIFTWOOD DR

Legal Description: PLAN 37M15 LOT 35

Zoning: R-1 B.9

By-law: E1-1999

Property Lot: 35

Block:

Part:

Concession:

Former Municipality: Simcoe

Plan: 37M-15

Reference Plan:

Extension to a Non-conforming use?

Current Use of Property: Vacant

Proposed Use of Property: SFD

Township: Simcoe

Zoning Deficiency

DEVELOPMENT STANDARDS	Required (Meters/Feet)		Proposed		Deficiency	
a) Lot Area						
b) Lot Frontage						
c) Front Yard Setback						
d) Exterior Side Yard	<u>6M</u>	<u>19.68'</u>	<u>3M</u>	<u>9.84'</u>	<u>3M</u>	<u>9.84'</u>
e) Interior Side Yard (Rt)						
f) Interior Side Yard (Lt)						
g) Rear Yard						
h) Dwelling Unit Area						
i) % Lot Coverage						
j) Height of Building						
k) Accessory Building						
Accessory Building Comments	<u></u>					
l) Parking						
m) Other						
Other Clause:	<u></u>		Other Description:	<u></u>		
	<u></u>			<u></u>		
	<u></u>			<u></u>		
	<u></u>			<u></u>		
	<u></u>			<u></u>		

The "PROPOSED" information and any supporting documents have been provided by the owner/applicant. The above information is only in respect to "Zoning" (Minor Variance, Zone Change, etc.) and does not relieve the applicant/owner from obtaining all other permits and/or approvals, such as Health Approval, entrance Permits, Building Permit, etc.

I, the Owner/Applicant take full responsibility for the accuracy of the "PROPOSED" information provided on this form.

Signatures:

[Signature]
Owner/Applicant

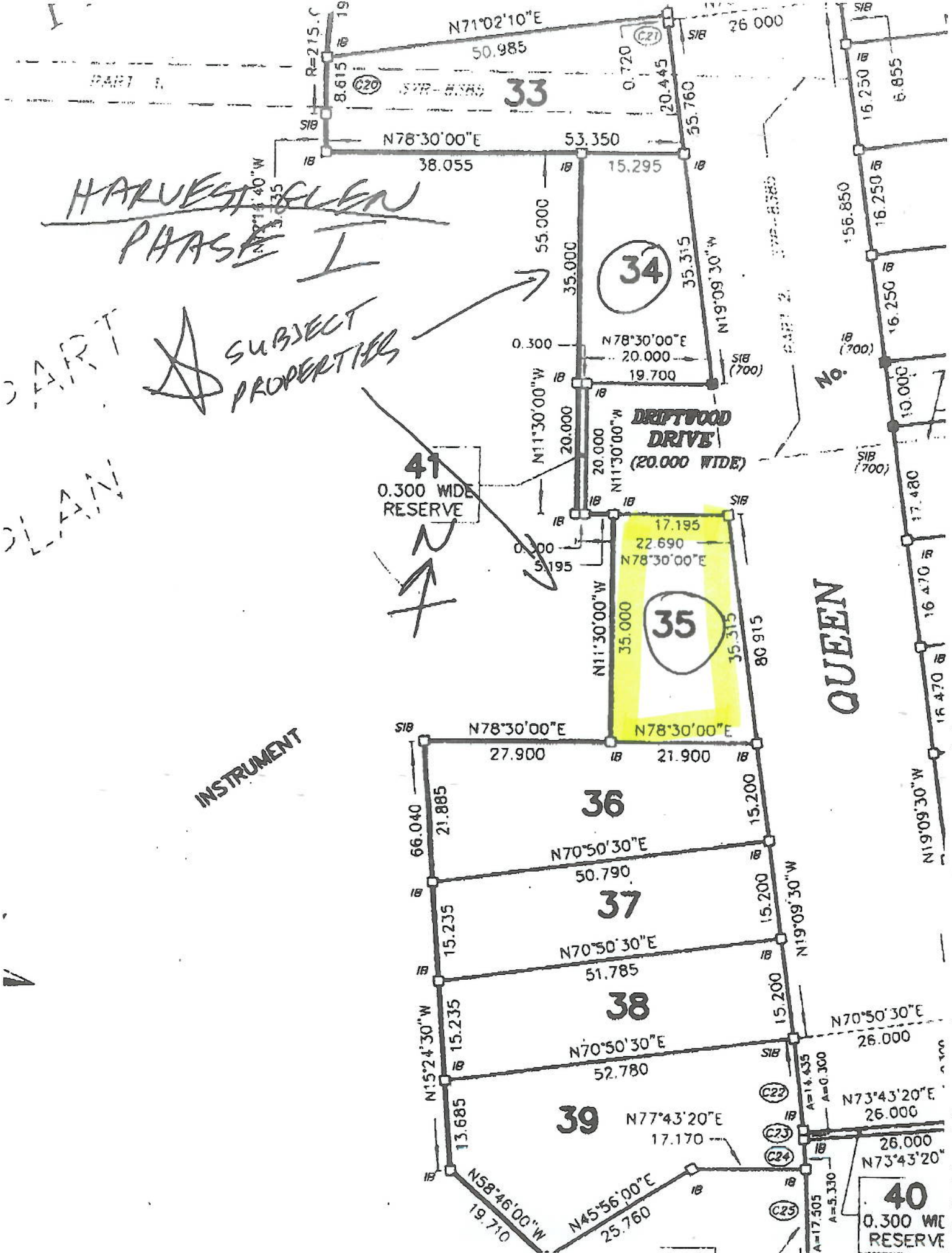
[Signature] July 19/07
Building Inspector

Instructions:

1. Owner/Applicant to complete unshaded areas.
2. Building Inspector to complete shaded areas.
3. The Owner/Applicant to submit completed form to the Area regional Planner or the secretary to Committee of Adjustment. Your contact in this regard is:

CESARE BONARDI
Name

122 PLEASANT RIDGE ROAD
Address



**HARVEST GLEN
PHASE I**

**SUBJECT
PROPERTIES**

**41
0.300 WIDE
RESERVE**

QUEEN

INSTRUMENT

**40
0.300 WIDE
RESERVE**

(Faint handwritten notes)

(Handwritten arrows pointing to lot 35)

(Faint handwritten notes)

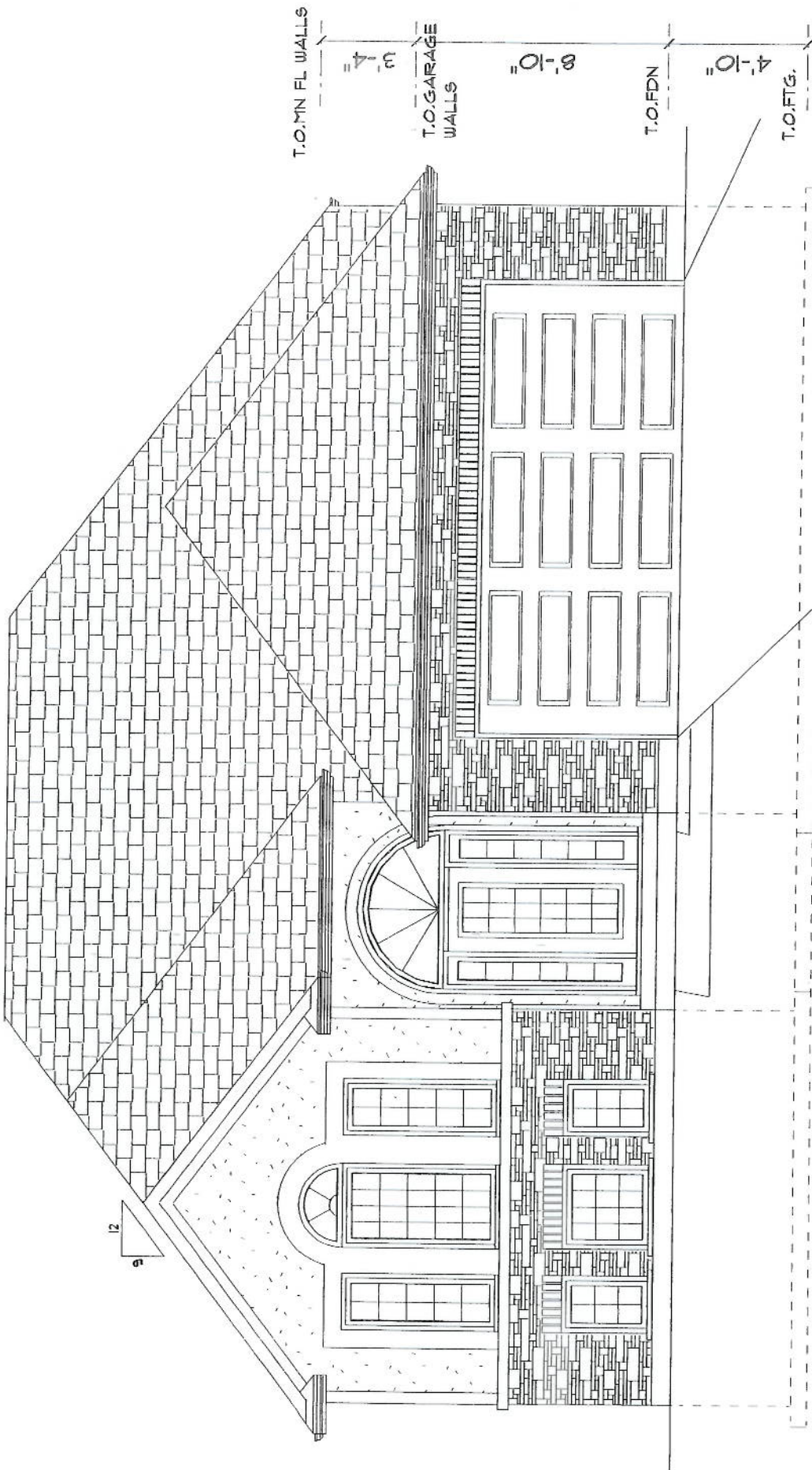
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(Faint handwritten notes)



I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories: Individual BCIN: 26179 Firm BCIN: 31398 Date: 05/16/07 Signature of Designer: *[Signature]*

FRONT ELEVATION 'B'

designer **IDEA designs** 905-730-IDEA
 builder **BERARDI CONSTRUCTION**

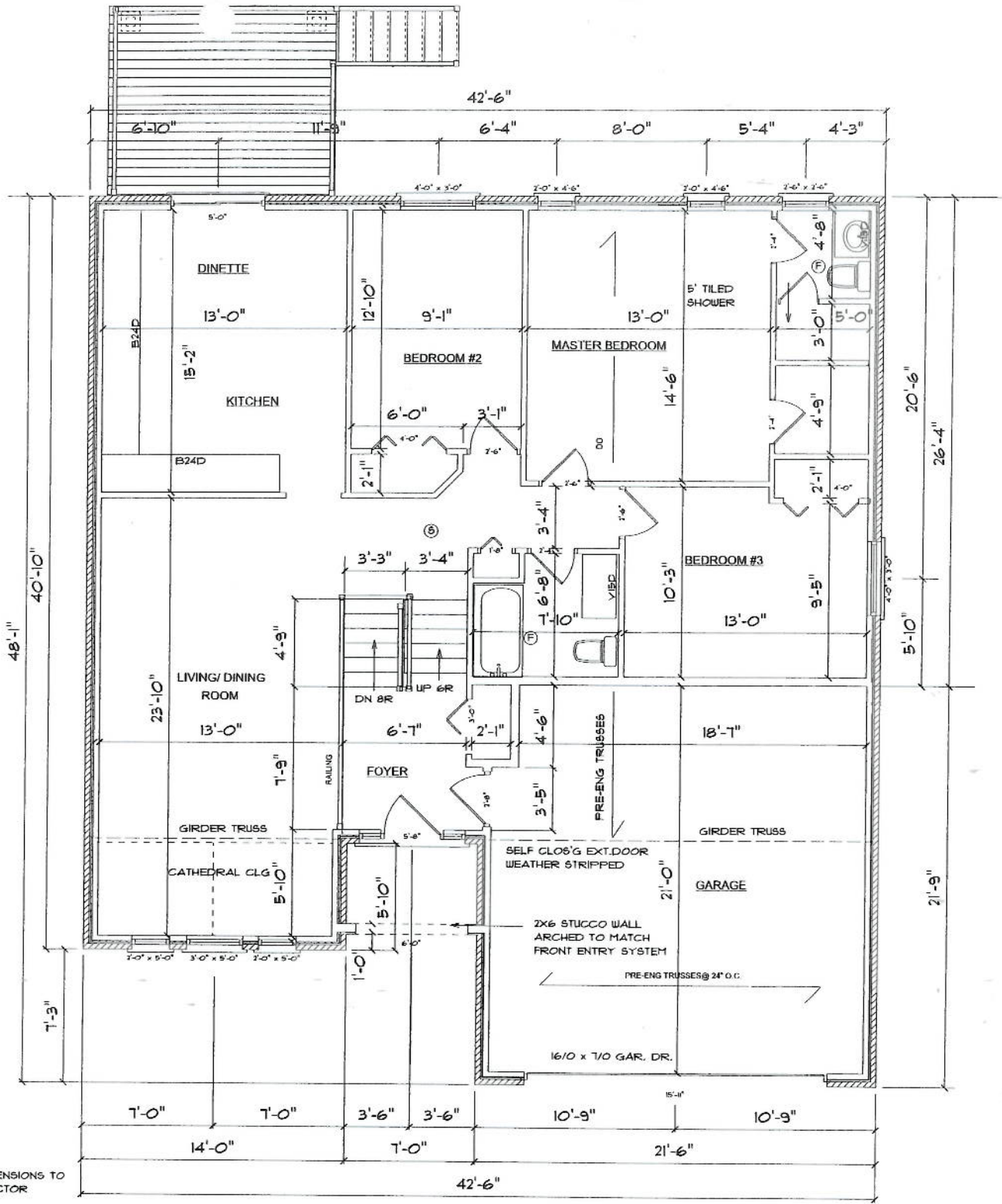
DISCLAIMER/COPYRIGHT
 ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS. DESIGNER AND ARE PROTECTED BY COPYRIGHT.
 THE DRAWINGS AND DOCUMENTS ARE TO BE USED SOLELY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED.
 THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.

GENERAL NOTES:
 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL MEASUREMENTS
 2) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (PART 9).
 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.

plan no. 03-06	date MAY 17, 2007	project address
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I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 26179 Firm BCIN: 31308
 Date: 05/26/07 Signature of Designer: *[Signature]*



MAIN FLOOR PLAN 1395 SF

SCALE 3/16" = 1'-0"

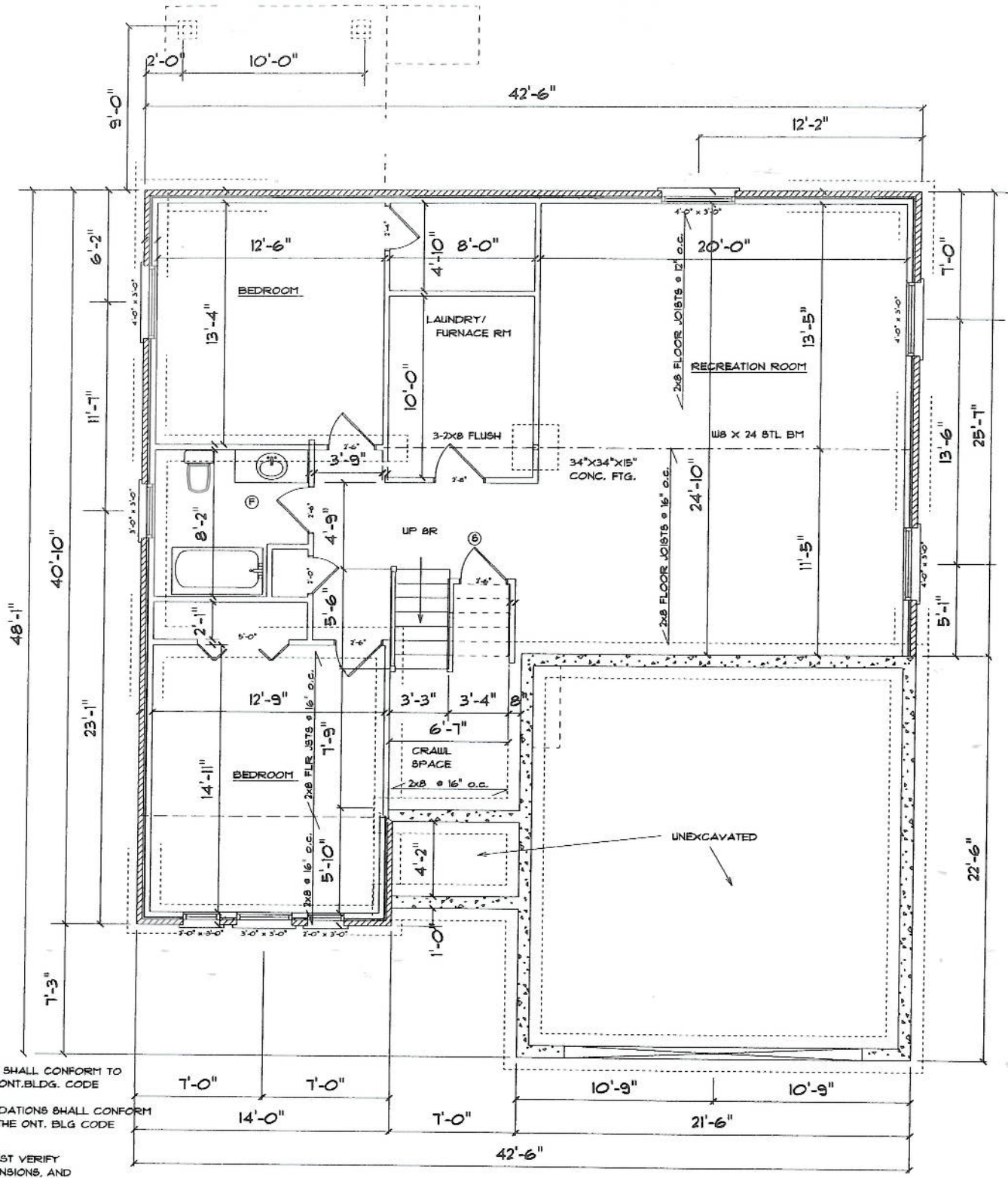
NOTE: WINDOW STYLES AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR

TRUSS LOCATION AND DIRECTION TO BE VERIFIED BY TRUSS MANUFAC.

PROVIDE ATTIC ACCESS IN ACCORDANCE WITH SUBSECTION 9.19.2 OF THE ONT. BLDG CODE.

<p>designer IDEA designs 905-130-IDEA</p> <p>builder BERARDI CONSTRUCTION</p>	<p>DISCLAIMER/COPYRIGHT ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS (DESIGNER) AND ARE PROTECTED BY COPYRIGHT.</p> <p>THE DRAWINGS AND DOCUMENTS ARE TO BE USED SOLELY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED.</p> <p>THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO THE RELEVANT BUILDING CODE (PART 9). PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK. 	<p>date MAY 17 2007</p> <p>plan no. 03-06</p> <p>project address</p>
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I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 26179 Firm BCIN: 31308
 Date: 05/24/07 Signature of Designer: *[Signature]*



BASEMENT PLAN 'B'

SCALE: 1/8" = 1'-0"

NOTE: POURED CONCRETE SHALL CONFORM TO SECTION 9.3 OF THE ONT. BLDG. CODE

FOOTINGS AND FOUNDATIONS SHALL CONFORM TO SECTION 9.15 OF THE ONT. BLDG. CODE

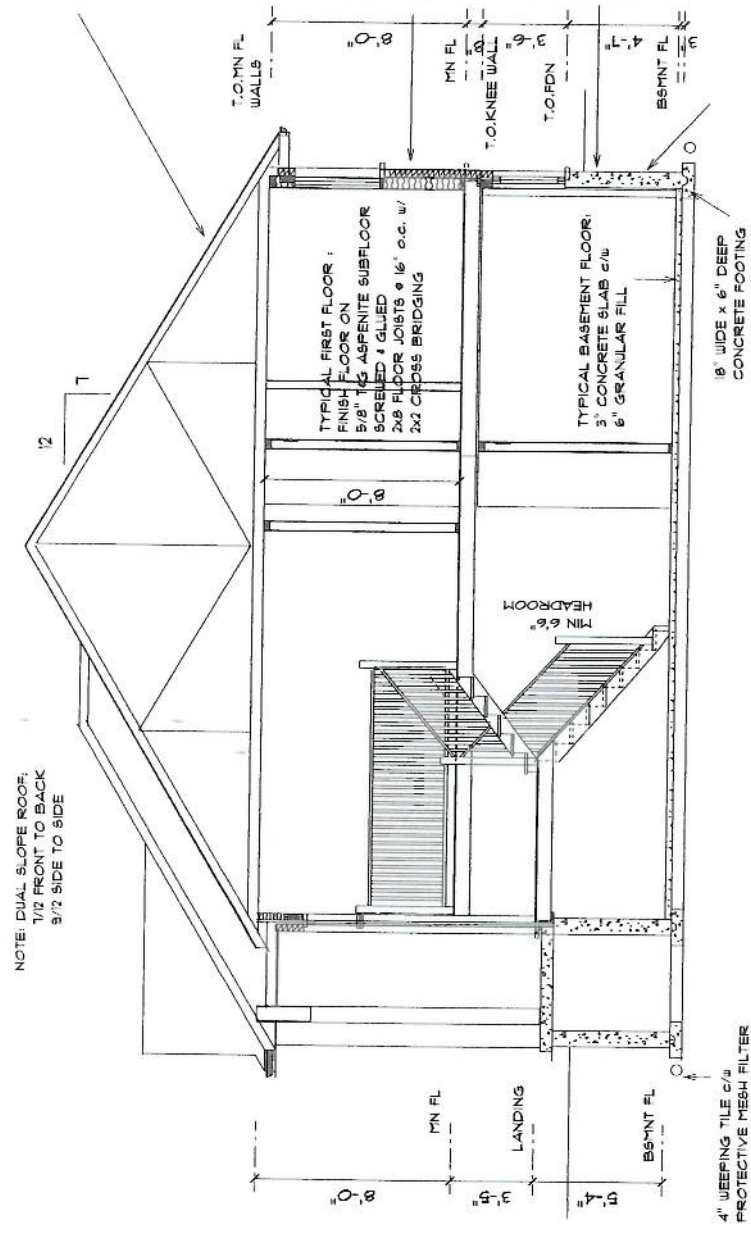
THE CONTRACTOR MUST VERIFY WINDOW STYLES, DIMENSIONS, AND LOCATIONS BEFORE CONSTRUCTION COMMENCES.

designer IDEA designs 905-300-IDEA builder BERARDI CONSTRUCTION	DISCLAIMER/COPYRIGHT ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS (DESIGNER) AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND DOCUMENTS ARE TO BE USED SOLELY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED. THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.	GENERAL NOTES: 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL REQUIREMENTS. 2) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE (PART 9). 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.	date MAY 17 2001	plan no. 03-06
	project address			

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Date: 05/01/07 Firm BCIN: 31308
 Signature of Designer: [Signature]

NOTE:
 VENTILATE ROOF TO 1/300TH OF INSULATED CEILING AREA

NOTE: DUAL SLOPE ROOF;
 1/2 FRONT TO BACK
 3/2 SIDE TO SIDE




- TYPICAL TRUSS ROOF:
 20 YR ASPHALT SHINGLES
 1/2" ROOFING ASPHENITE c/w
 1" CLIPS
 2x4 BLOCKING AT PEAK
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 2x4 TRUSS BRACING
 R40 BATT INSULATION
 6 MIL POLY V.B.
 1/2" CD CEILING BOARD
 TAPED & SANDED
- TYPICAL 2x4 BRICK EXTERIOR WALL:
 FACE BRICK
 7 GAUGE CORRUGATED
 GALVANIZED METAL BRICK TIES
 1" AIR SPACE
 R5 CODE BD LIND BRACING
 2x4 STUDS @ 16" o.c.
 R13 BATT INSULATION
 6 MIL POLY V.B.
 1/2" DRYWALL
 TAPED AND SANDED
- TYPICAL 8" BASEMENT WALL:
 1/2" DRYWALL
 6 MIL POLY VAPOR BARRIER
 2x4 STUDS @ 24" o.c.
 R12 BATT INSULATION
 8" CONCRETE FOUNDATION WALL
 ASPHALT DAMPROOFING

NOTES:
 THE CONTRACTOR MUST CHECK ALL DIMENSIONS AND DETAILS AND CORRECT IF NECESSARY AND BE RESPONSIBLE FOR SAME OR CONTACT THE DESIGNER OF THESE PLANS BEFORE CONSTRUCTION. BEGINS ALL WOOD LINTELS TO BE 2X10 UNLESS NOTED OTHERWISE
 ALL CONSTRUCTION MUST CONFORM TO THE LATEST EDITION OF THE O.B.C.

CROSS SECTION A-A

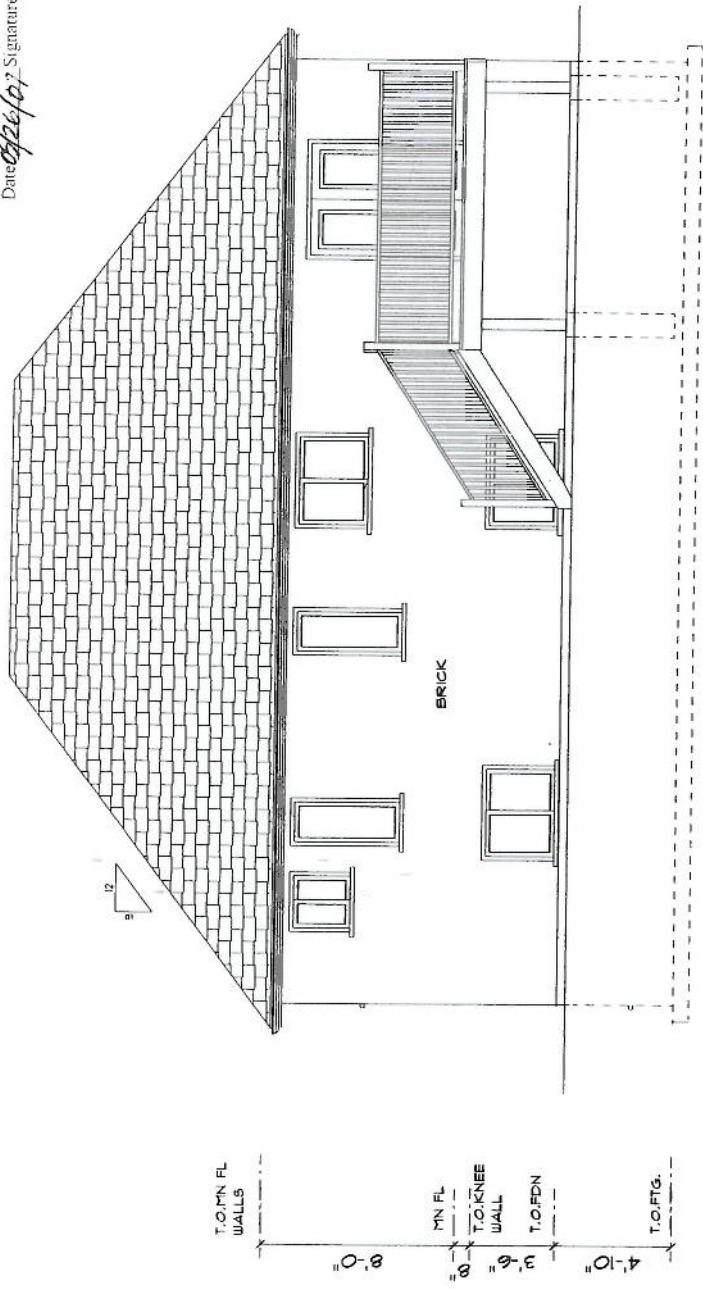
SCALE: 3/16" = 1'-0"

 IDEA designs 905-730-IDEA BUILDER BERARDI CONSTRUCTION	GENERAL NOTES: 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR ALL DIMENSIONS AND DETAILS. 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE (PART 3). 3) PLANS ARE TO BE REVISED BEFORE PROCEEDING ANY WORK.	DATE: MAY 11 2007 PROJECT ADDRESS:	PLAN NO.: 03-06
	ALL DIMENSIONS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS. THE DRAWINGS AND DOCUMENTS ARE TO BE USED SOLELY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED. THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED IS IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.		

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 26179 Firm BCIN: 31308

Date: 05/26/17 Signature of Designer: *[Signature]*

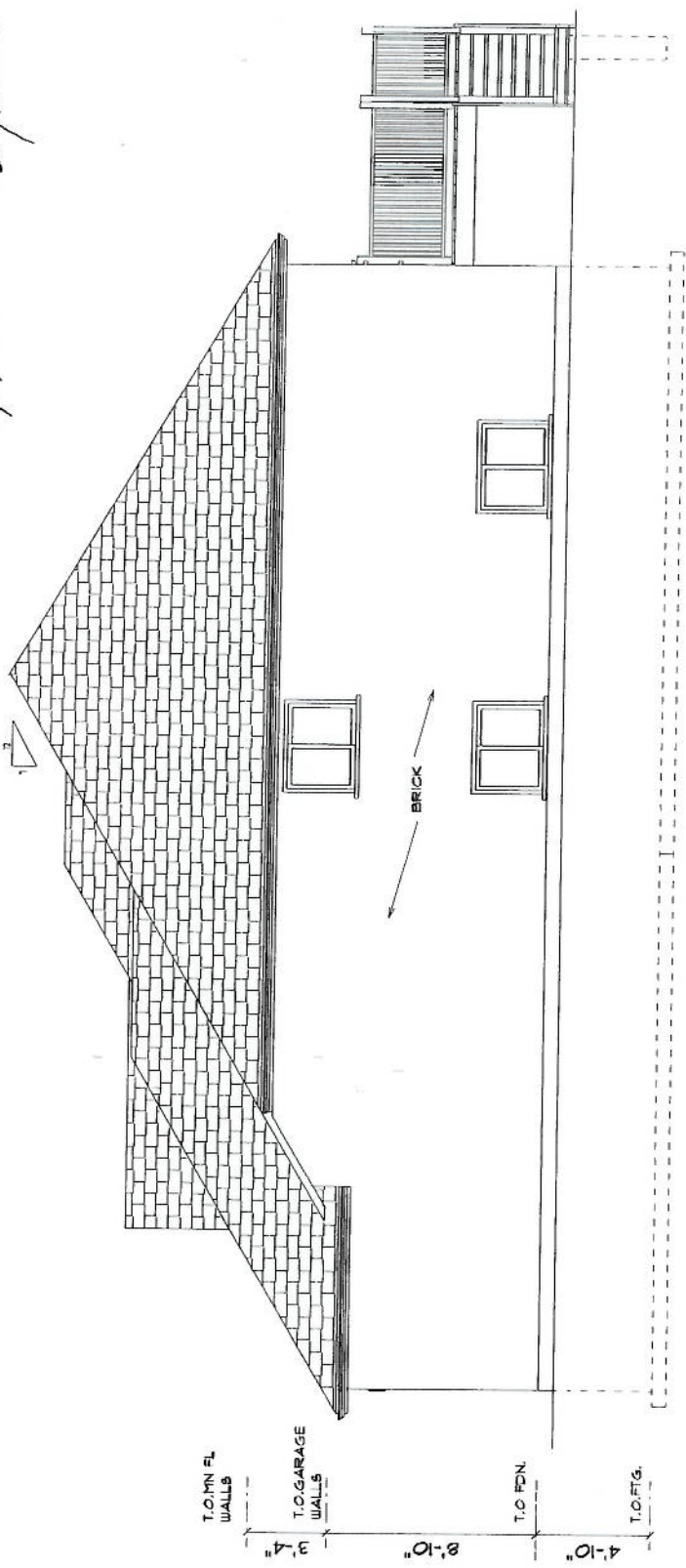


REAR ELEVATION

<p>designer IDEA designs 905-730-IDEA builder BERARDI CONSTRUCTION</p>	<p>DISCLAIMER/COPYRIGHT ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS (DESIGNER) AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND COMMENTS ARE TO BE USED ONLY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED. THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH THE PERMITS AND ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>GENERAL NOTES: 1) OWNER AND/OR CONTRACTOR TO BE RESPONSIBLE FOR ORDERING AND CONFORMING TO ALL APPLICABLE CODES AND REGULATIONS. 2) ALL CONSTRUCTION SHALL CONFORM TO THE CHANGED PERMITS. 3) PLANS ARE TO BE REVIEWED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING ANY WORK.</p>	<p>plan no. 03-06</p>
		<p>date MAY 17, 2007</p>	<p>project address</p>

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 26179 Firm BCIN: 31308
 Date: 05/26/07 Signature of Designer: *[Signature]*



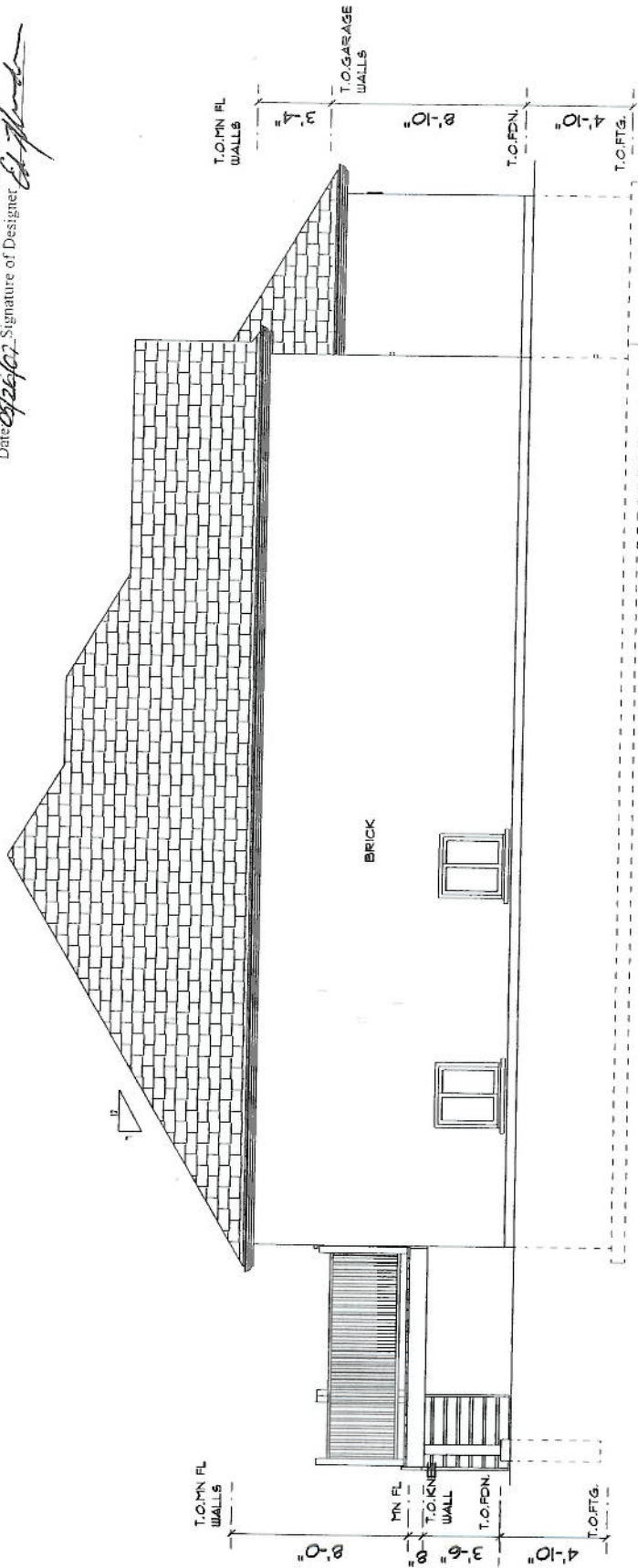
RIGHT ELEVATION

<p>designer IDEA designs 905-730-1054</p>	<p>plan no. 03-06</p>
<p>builder BERARDI CONSTRUCTION</p>	<p>date MAY 11 2007</p>
<p>GENERAL NOTES: 1) OWNER SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. RESPONSIBILITY FOR OBTAINING PERMITS SHALL BE THE CONTRACTOR'S WITHOUT THE WRITTEN CONSENT OF THE DESIGNER & STRICTLY PROHIBITED. 2) THE CONTRACTOR AND/OR SUBCONTRACTOR MUST ENSURE THAT ALL WORK PERFORMED MUST BE IN ACCORDANCE WITH THE BUILDING CODE AND ALL APPLICABLE REGULATIONS. ANY DISCREPANCIES BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.</p>	
<p>project address</p>	


I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 26179 Firm BCIN: 31308

Date: 05/26/07 Signature of Designer: *[Signature]*



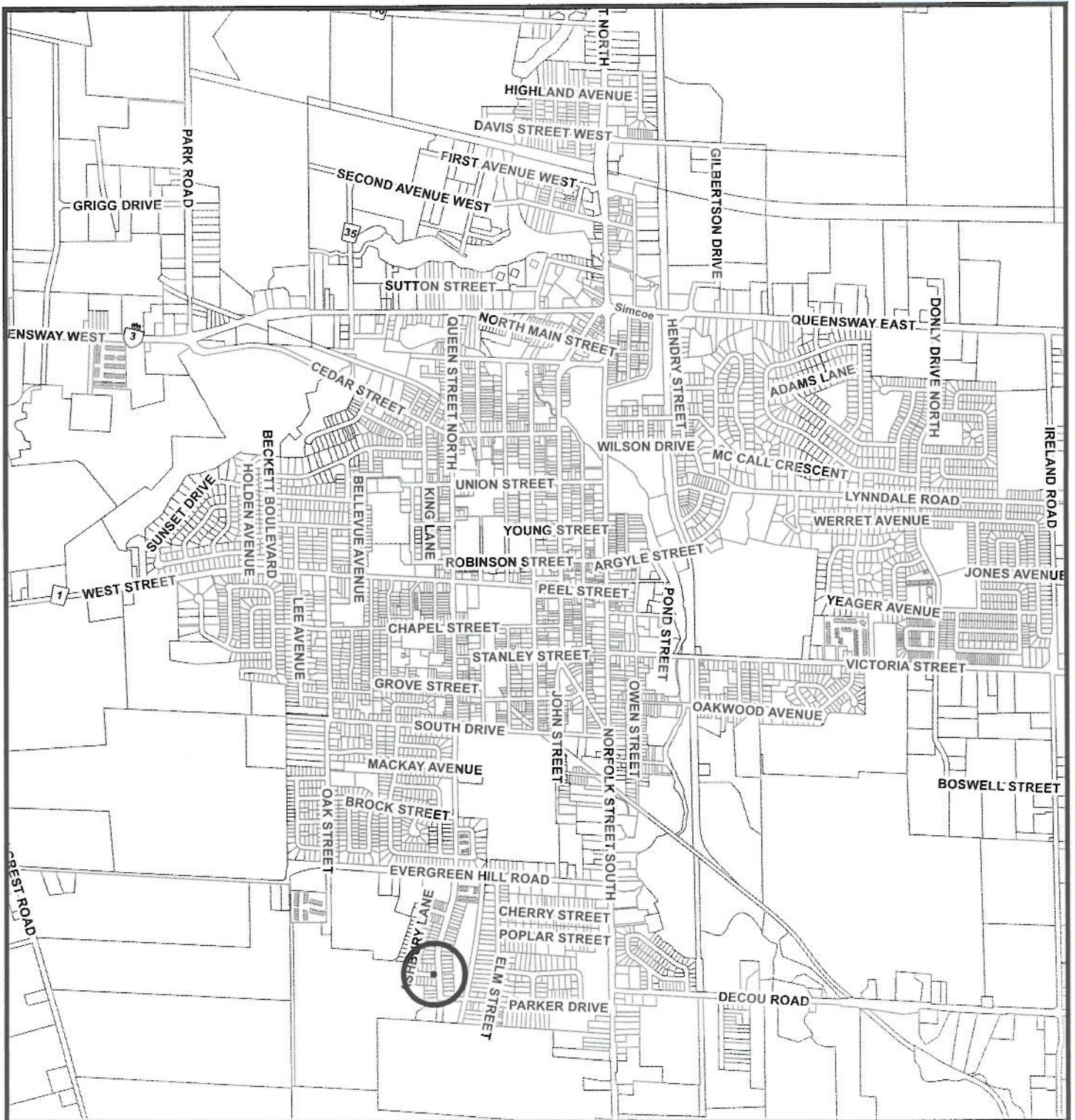
LEFT ELEVATION

 <p>IDEA designs 905-730-1024 builder</p>	<p>DISCLAIMER/COPYRIGHT: ALL DESIGNS AND ANY DRAWINGS ASSOCIATED WITH THEM ARE THE PROPERTY OF IDEA DESIGNS (DESIGNER) AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT TO WHICH SUCH PERMITS HAVE BEEN ISSUED. REPRODUCTION IN WHOLE OR IN PART FOR ANY OTHER THAN SAID PROJECT WITHOUT THE WRITTEN CONSENT OF IDEA DESIGNS IS STRICTLY PROHIBITED. THE CONTRACTOR AND/OR SUBCONTRACTOR HAS AGREED THAT ALL WORK DESCRIBED MUST BE IN ACCORDANCE WITH PART 4 OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BE REFERRED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.</p>	<p>GENERAL NOTES: 1) OWNER ASSUMES RESPONSIBILITY FOR ALL PERMITS, INSURANCE, ETC. 2) TO BE RESPONSIBLE FOR ALL CHECKS AND CORRECTIONS. 3) ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE. 4) ALL PLANS ARE TO BE REVEALED BY THE LOCAL BUILDING DEPT. BEFORE PROCEEDING WITH WORK.</p>	<p>date MAY 17, 2007</p>	<p>plan no. 05-06</p>
	<p>project address</p>			

MAP 1

File Number: AN-039/2007 & AN-040/2007

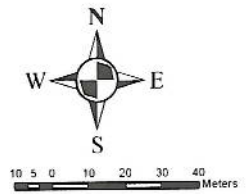
Urban Area of SIMCOE



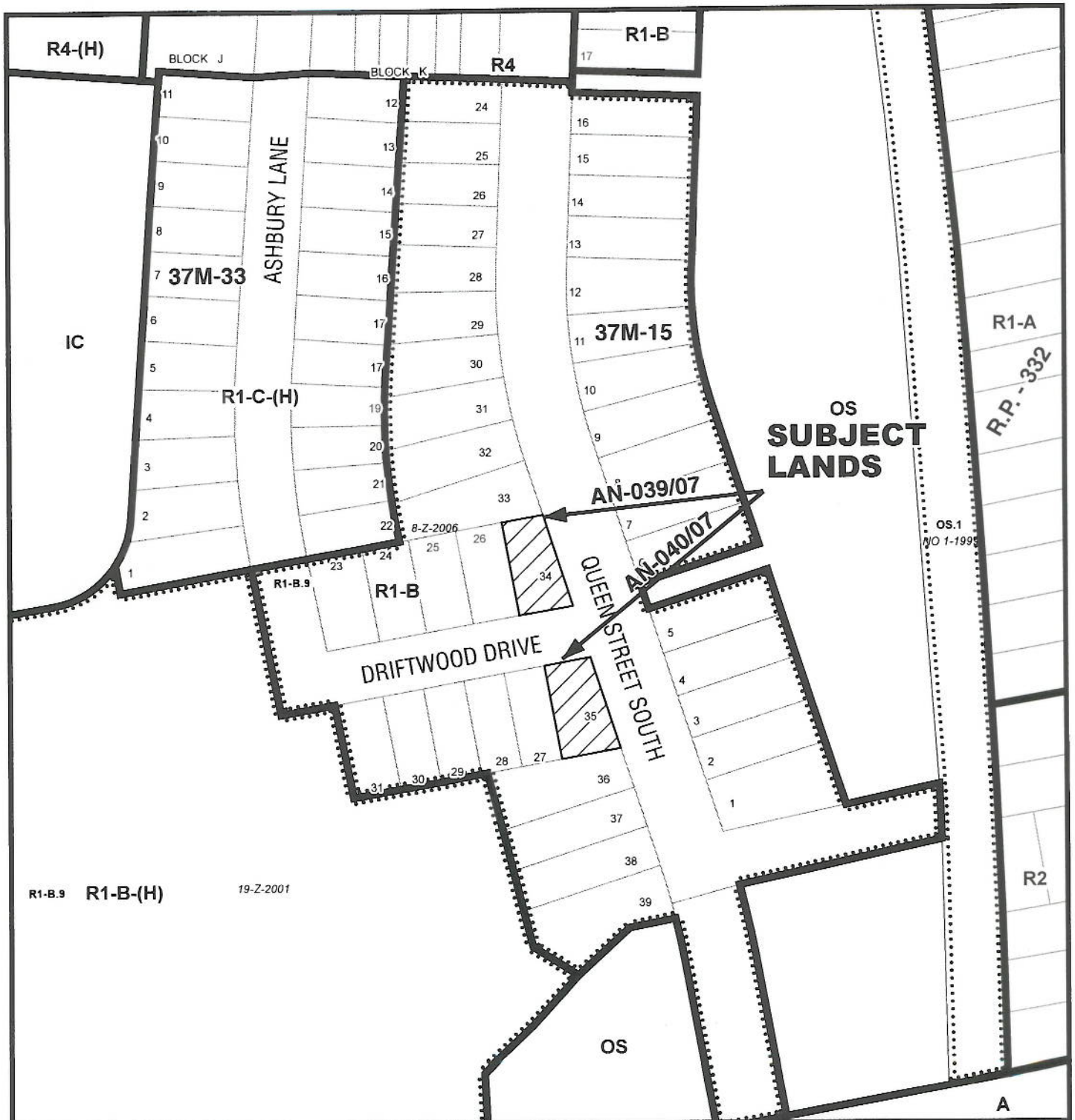
MAP 2

File Number: AN-039/2007 & AN-040/2007

Urban Area of SIMCOE



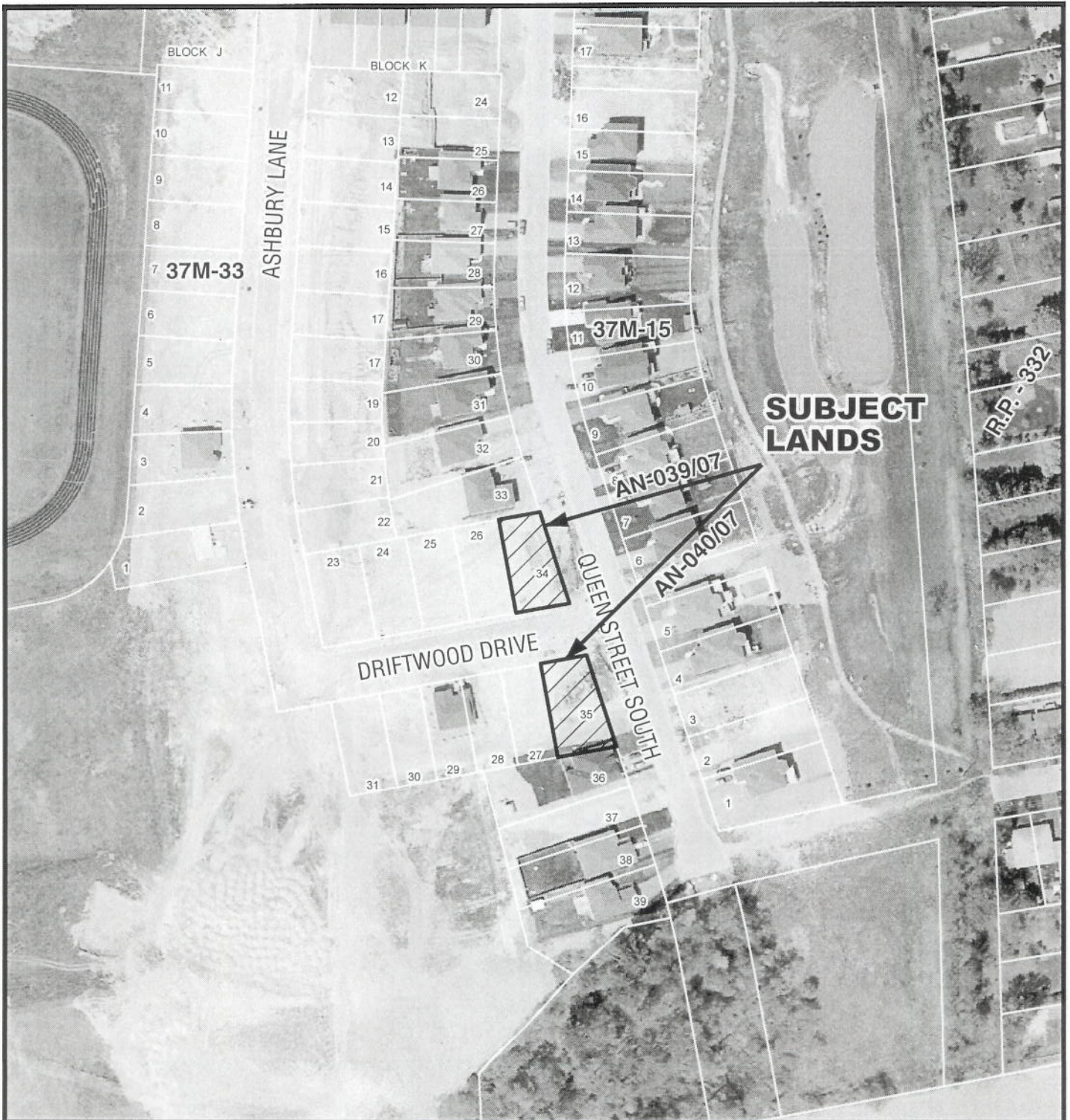
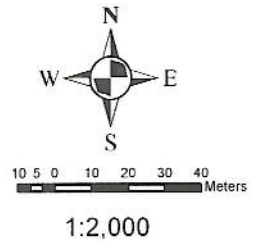
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MAP 3

File Number: AN-039/2007 & AN-040/2007

Urban Area of SIMCOE



MAP 4

File Number: AN-039/2007 & AN-040/2007

Urban Area of SIMCOE



1:500

