

8 September 2023

1725

Norfolk County  
Robinson Administration Building, Suite 100  
185 Robinson Street  
Simcoe, Ontario  
N3Y 5L6

RE: DUCKS LANDING, PHASE 5  
MINOR REDLINE DRAFTPLAN UPDATE SUMMARY  
NORFOLK COUNTY

ATTENTION: MR. MOHAMMAD ALAM, MLP, MUD, RPP, MCIP, SUPERVISOR, DEVELOPMENT PLANNING

Dear Sir:

This letter is to summarize the minor redline updates made to the approved Draft Plan of Subdivision (originally dated 4 July 2005) for the Ducks Landings Subdivision in Port Rowan. The purpose of the Redlined Draft Plan Application is to separate the remaining developable lands so that the Developers existing residence (18 Merganser Trail, Lot 5, Phase 6) could be transferred from the current corporate ownership to a private ownership, for future estate planning. This interim consolidated block is Block 16 (Phase 5) on the Redlined Draft Plan Rev. 21 August 2023.

Since Block 16 (Phase 5) includes the extension of Hunter Drive South, the developer acknowledges that the remaining Phases 7 & 8 lands outside of Block 16 (Phase 5) cannot be sold for development without an agreement for this extension of Hunter Drive South.

We are not anticipating the Redlined Draft Plan changes to affect the current Draft Conditions as they continue to remain applicable and relevant to all lands within the Draft Plan.

As requested by the County, a Reference Plan will be created upon Registration of Phase 5 to grant the Municipality use of the temporary turnaround currently at the east limits of Hunter Drive South and Phase 5.

Assuming real estate markets rebounds, the Developer will bring forward plans to service Phases 7 & 8 within the next 2 to 3 years.

The following digital copies of the supporting files are provided in the FTP link provided in the email:

- Minor Red-Lined Draft Plan Application 20 July 2023 (PDF)
- Red-Lined Draft Plan, Rev. 21 August 2023 (CAD + PDF)
- Proposed M-Plan 10 August 2023 (CAD + PDF)
- 18 Merganser (Lot 5, Phase 6) House Plan (PDF)
- 18 Merganser (Lot 5, Phase 6) Lot Development Plan (PDF)

A cheque in the amount of \$1,226.00 has also been mailed out today for the Minor Redline Draft Plan Update fee.

Fax

Mail

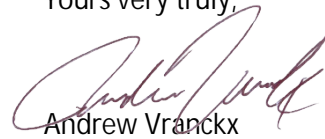
Deliver

Courier

e-mail

If there are any questions, please do not hesitate to contact this office.

Yours very truly,



Andrew Vranckx

ACV/kc

Encl.

cc. Ms. Annette Helmig, Agreement and Development Coordinator, Norfolk County  
Mr. Tim Dickhout, Project Manager, Development Engineering Environmental and  
Infrastructure Services Division, Norfolk County  
Mr. John Wiebe, Ducks Landing  
Mr. Andrew Vranckx, CJDL Consulting Engineers

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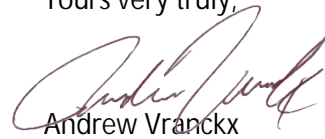
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**For Office Use Only:**

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

**Check the type of planning application(s) you are submitting.**

- Official Plan Amendment
- Zoning By-Law Amendment
- Temporary Use By-law
- Draft Plan of Subdivision/Vacant Land Condominium
- Condominium Exemption
- Site Plan Application
- Extension of a Temporary Use By-law
- Part Lot Control
- Cash-in-Lieu of Parking
- Renewable Energy Project or Radio Communication Tower

MINOR  
RED LINE

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

CREATION OF BLOCK 16 WITH THE REGISTRATION OF DUCKS  
LANDING SUBDIVISION PHASES, TO PERMIT TRANSFER OF BLK 16  
CONTAINING OUR HOME AT 18 MORGANSEY TRAIL (LOT 5, PH 6)  
FROM CORPORATE TO PRIVATE OWNERSHIP IF NECESSARY.

NO CHANGES REQUIRED TO ANY DRAFT CONDITIONS AS THEY  
WILL CONTINUE TO APPLY TO BLK 16 & TO PHASES 7 & 8.

Property Assessment Roll Number: 544-001-02647-0000

**A. Applicant Information**

Name of Owner

DOCKS LANDING (PORT ROWAN) INC.

Address

18 MERGANSER TRAIL

Town and Postal Code

PORT ROWAN, ONT N0E1M0

Phone Number

Cell Number

519 688 5002

Email

jwiebe.royalview@gmail.com

Name of Applicant

AS ABOVE

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent

CJDL (Andrew Vranckx)

Address

261 BROADWAY, Box 460

Town and Postal Code

TILSONBURG, ONT N4G 4H8

Phone Number

519 688 1000

Cell Number

519 983 5533

Email

avranckx@cjdlleng.com

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

NONE



**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PLAN 16B, PT BK 6 RP 37 R 6 20 PT PARTS 1 TO 3

Municipal Civic Address: 18 MORGANSEER TRAIL

Present Official Plan Designation(s): URBAN RESIDENTIAL AND HAZARD LANDS

Present Zoning: R1A AND R1A(H)

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify corresponding number:

3. Present use of the subject lands:

RESIDENTIAL & AGRICULTURAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

18 MORGANSEER TRAIL HOME BUILT 2018, 19; OCCUPIED 2019  
SITE PLAN & HOUSE PLANS INCLUDED

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

NONE

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

NONE

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

AGRICULTURE 20+ YRS, 18 MERGANSER HOME 5 YRS

9. Existing use of abutting properties:

RESIDENTIAL, LONG POINT BAY, BIRD STUDIES CANADA.

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

### C. Purpose of Development Application

**Note: Please complete all that apply.**

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

SEE PG 3

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

N/A

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality?  Yes  No If yes, describe its effect:

\_\_\_\_\_

4. Does the requested amendment remove the subject land from an area of employment?  Yes  No If yes, describe its effect:

\_\_\_\_\_



5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
 Yes  No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Description of land intended to be severed in metric units:

Frontage: SEE ATTACHMENTS

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

7. Description of proposed right-of-way/easement:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed use: \_\_\_\_\_

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

OWNER, APPLICANT

9. Site Information

Zoning

N/A

Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

N/A

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable) *N/A*

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building?  Yes  No

If yes, describe: \_\_\_\_\_

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable) *N/A*

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building?  Yes  No

If yes, describe:

\_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Seating Capacity (for assembly halls or similar): \_\_\_\_\_

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Is open storage required:  Yes  No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

Yes  No If yes please describe:

\_\_\_\_\_  
\_\_\_\_\_

14. Institutional (if applicable) *N/A*

Describe the type of use proposed: \_\_\_\_\_

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. Describe Recreational or Other Use(s) (if applicable) *N/A*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

PERSONAL KNOWLEDGE OVER 20+ YRS.

\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?  Yes  No

If no, please explain:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Wooded area**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Floodplain**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active railway line**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Erosion**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**F. Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

Storm Drainage

- Storm sewers
- Other (describe below)
- Open ditches

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street: HUNTER DRIVE SOUTH

**G. Other Information**

1. Does the application involve a local business?  Yes  No  
If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Architectural Plan
- Buildings Elevation Plan
- Cut and Fill Plan
- Erosion and Sediment Control Plan
- Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- Landscape Plan
- Photometric (Lighting) Plan
- Plan and Profile Drawings
- Site Servicing Plan
- Storm water Management Plan
- Street Sign and Traffic Plan
- Street Tree Planting Plan
- Tree Preservation Plan
- Archaeological Assessment
- Environmental Impact Study

- Functional Servicing Report
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Noise or Vibration Study
- Record of Site Condition
- Storm water Management Report
- Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- Plan of standard condominium (2 paper copies and 1 electronic copy)
- Draft condominium declaration
- Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### **I. Development Agreements**

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.



**J. Transfers, Easements and Postponement of Interest**

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

**K. Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

**L. Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

\_\_\_\_\_  
Owner/Applicant Signature

29 JUNE 2023  
\_\_\_\_\_  
Date

**M. Owner's Authorization**

If the applicant/agent  is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**N. Declaration**

I, JOHN D. WIEBE of DUCKS LAANDING (PORT ROWAN) INC

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

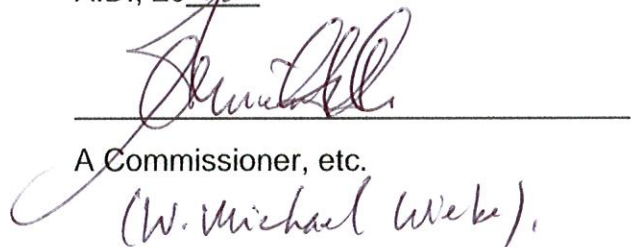
NORFOLK COUNTY.

  
\_\_\_\_\_  
Owner/Applicant Signature

In PORT ROWAN, ONT.

This 29<sup>th</sup> day of JUNE

A.D., 20 23

  
\_\_\_\_\_  
A Commissioner, etc.  
(W. Michael Weke).



**For Office Use Only:**

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
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Property Assessment Roll Number: 544-001-02647-0000

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Name of Owner

DOCKS LANDING (PORT ROWAN) INC.

Address

18 MERGANSER TRAIL

Town and Postal Code

PORT ROWAN, ONT N0E1M0

Phone Number

Cell Number

519 688 5002

Email

jwiebe.royalview@gmail.com

Name of Applicant

AS ABOVE

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent

CJDL (Andrew Vranckx)

Address

261 BROADWAY, Box 460

Town and Postal Code

TILSONBURG, ONT N4G 4H8

Phone Number

519 688 1000

Cell Number

519 983 5533

Email

avranckx@cjdlleng.com

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

Owner

Agent

Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

NONE



**B. Location, Legal Description and Property Information**

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PLAN 16B, PT BK 6 RP 37 R 620 PT PARTS 1 TO 3

Municipal Civic Address: 18 MORGANSEER TRAIL

Present Official Plan Designation(s): URBAN RESIDENTIAL AND HAZARD LANDS

Present Zoning: R1A AND R1A(H)

2. Is there a special provision or site specific zone on the subject lands?

Yes  No If yes, please specify corresponding number:

3. Present use of the subject lands:

RESIDENTIAL & AGRICULTURAL

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

18 MORGANSEER TRAIL HOME BUILT 2018, 19; OCCUPIED 2019  
SITE PLAN & HOUSE PLANS INCLUDED

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

NONE

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

NONE

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes  No

If yes, identify and provide details of the building:

\_\_\_\_\_

8. If known, the length of time the existing uses have continued on the subject lands:

AGRICULTURE 20+ YRS, 18 MERGANSER HOME 5 YRS

9. Existing use of abutting properties:

RESIDENTIAL, LONG POINT BAY, BIRD STUDIES CANADA.

10. Are there any easements or restrictive covenants affecting the subject lands?

Yes  No If yes, describe the easement or restrictive covenant and its effect:

\_\_\_\_\_

### C. Purpose of Development Application

**Note: Please complete all that apply.**

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

SEE PG 3

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

N/A

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality?  Yes  No If yes, describe its effect:

\_\_\_\_\_

4. Does the requested amendment remove the subject land from an area of employment?  Yes  No If yes, describe its effect:

\_\_\_\_\_



5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?  
 Yes  No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. Description of land intended to be severed in metric units:

Frontage: SEE ATTACHMENTS

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Proposed final lot size (if boundary adjustment): \_\_\_\_\_

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: \_\_\_\_\_

\_\_\_\_\_

Description of land intended to be retained in metric units:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Lot Area: \_\_\_\_\_

Present Use: \_\_\_\_\_

Proposed Use: \_\_\_\_\_

Buildings on retained land: \_\_\_\_\_

7. Description of proposed right-of-way/easement:

Frontage: \_\_\_\_\_

Depth: \_\_\_\_\_

Width: \_\_\_\_\_

Area: \_\_\_\_\_

Proposed use: \_\_\_\_\_

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

OWNER, APPLICANT

9. Site Information

Zoning

N/A

Proposed

Please indicate unit of measurement, for example: m, m<sup>2</sup> or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

N/A

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable) *N/A*

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building?  Yes  No

If yes, describe: \_\_\_\_\_

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable) *N/A*

Number of buildings existing: \_\_\_\_\_

Number of buildings proposed: \_\_\_\_\_

Is this a conversion or addition to an existing building?  Yes  No

If yes, describe:

\_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Seating Capacity (for assembly halls or similar): \_\_\_\_\_

Total number of fixed seats: \_\_\_\_\_

Describe the type of business(es) proposed: \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Is open storage required:  Yes  No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

Yes  No If yes please describe:

\_\_\_\_\_  
\_\_\_\_\_

14. Institutional (if applicable) *N/A*

Describe the type of use proposed: \_\_\_\_\_

Seating capacity (if applicable): \_\_\_\_\_

Number of beds (if applicable): \_\_\_\_\_

Total number of staff proposed initially: \_\_\_\_\_

Total number of staff proposed in five years: \_\_\_\_\_

Maximum number of staff on the largest shift: \_\_\_\_\_

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. Describe Recreational or Other Use(s) (if applicable) *N/A*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**D. Previous Use of the Property**

1. Has there been an industrial or commercial use on the subject lands or adjacent lands?  Yes  No  Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

\_\_\_\_\_

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites?  Yes  No  Unknown

3. Provide the information you used to determine the answers to the above questions:

PERSONAL KNOWLEDGE OVER 20+ YRS.

\_\_\_\_\_

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached?  Yes  No

**E. Provincial Policy**

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*?  Yes  No

If no, please explain:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7?  Yes  No

If no, please explain:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection?  Yes  No

If no, please explain:

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Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

**Livestock facility or stockyard** (submit MDS Calculation with application)

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Wooded area**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Municipal Landfill**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Sewage treatment plant or waste stabilization plant**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Provincially significant wetland (class 1, 2 or 3) or other environmental feature**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Floodplain**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Rehabilitated mine site**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Non-operating mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active mine site within one kilometre**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Industrial or commercial use (specify the use(s))**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Active railway line**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Seasonal wetness of lands**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Erosion**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**Abandoned gas wells**

On the subject lands or  within 500 meters – distance \_\_\_\_\_

**F. Servicing and Access**

1. Indicate what services are available or proposed:

Water Supply

- Municipal piped water
- Individual wells
- Communal wells
- Other (describe below)

Sewage Treatment

- Municipal sewers
- Septic tank and tile bed in good working order
- Communal system
- Other (describe below)

Storm Drainage

- Storm sewers
- Other (describe below)
- Open ditches

2. Existing or proposed access to subject lands:

- Municipal road
- Unopened road
- Provincial highway
- Other (describe below)

Name of road/street: HUNTER DRIVE SOUTH

**G. Other Information**

1. Does the application involve a local business?  Yes  No  
If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

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## H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- Zoning Deficiency Form
- On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- Architectural Plan
- Buildings Elevation Plan
- Cut and Fill Plan
- Erosion and Sediment Control Plan
- Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- Landscape Plan
- Photometric (Lighting) Plan
- Plan and Profile Drawings
- Site Servicing Plan
- Storm water Management Plan
- Street Sign and Traffic Plan
- Street Tree Planting Plan
- Tree Preservation Plan
- Archaeological Assessment
- Environmental Impact Study

- Functional Servicing Report
- Geotechnical Study / Hydrogeological Review
- Minimum Distance Separation Schedule
- Noise or Vibration Study
- Record of Site Condition
- Storm water Management Report
- Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- Plan of standard condominium (2 paper copies and 1 electronic copy)
- Draft condominium declaration
- Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

**All final plans must include the owner's signature as well as the engineer's signature and seal.**

### **I. Development Agreements**

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.



**J. Transfers, Easements and Postponement of Interest**

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

**K. Permission to Enter Subject Lands**

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

**L. Freedom of Information**

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

\_\_\_\_\_  
Owner/Applicant Signature

29 JUNE 2023  
\_\_\_\_\_  
Date

**M. Owner's Authorization**

If the applicant/agent  is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We \_\_\_\_\_ am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize \_\_\_\_\_ to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

**N. Declaration**

I, JOHN D. WIEBE of DUCKS LAANDING (PORT ROWAN) INC

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

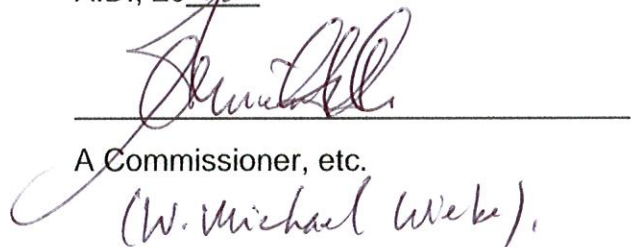
NORFOLK COUNTY.

  
\_\_\_\_\_  
Owner/Applicant Signature

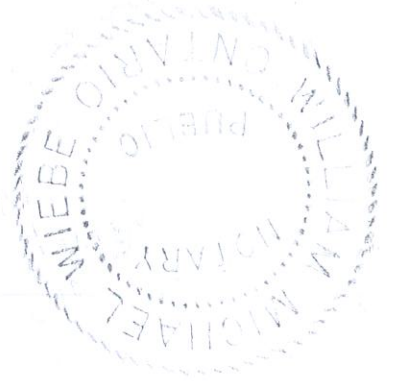
In PORT ROWAN, ONT.

This 29<sup>th</sup> day of JUNE

A.D., 2023

  
\_\_\_\_\_  
A Commissioner, etc.  
(W. Michael Weke).





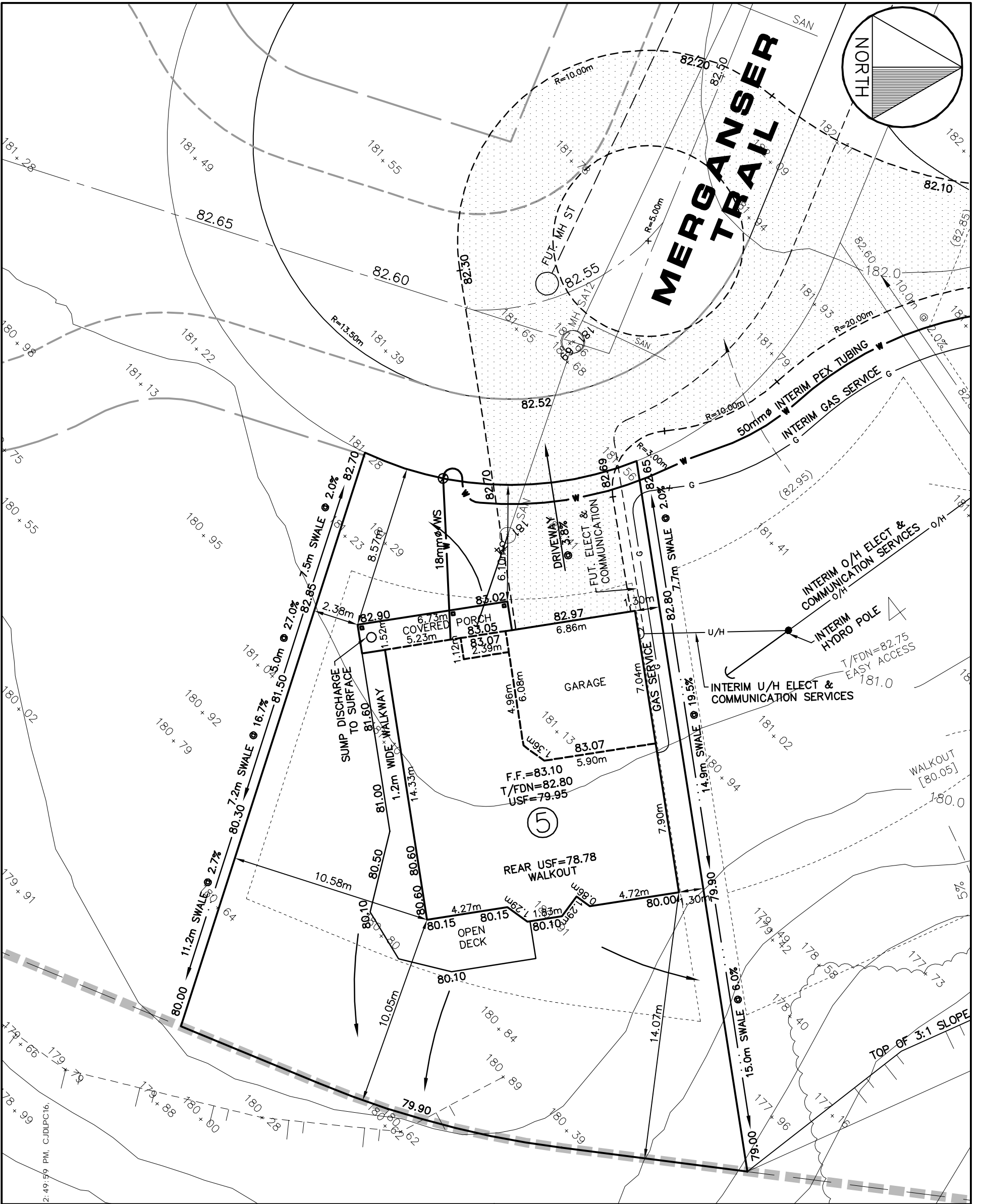
*William Michael Wiebe*

(W. MICHAEL WIEBE)

(BARRISTER, SOLICITOR +  
NOTARY PUBLIC)

*Sept. 19/23.*





**CAUTION:** THIS PLAN REPRESENTS A PROPOSED HOUSE LOCATION. IT SHOULD NOT BE RELIED UPON AS CERTIFICATION THAT THE HOUSE WAS ACTUALLY ERECTED AS SHOWN.

## LOT DEVELOPMENT PLAN PORT ROWAN, NORFOLK COUNTY

<p>11/04/18 2:49:59 PM, CJD/PC16, 1:25.4</p> <p>ORIGINAL GROUND ELEVATION, AS CONSTRUCTED ELEVATION</p> <p>PROPOSED FINAL GROUND ELEVATION</p> <p>BURIED HYDRO, BELL, CABLE TV</p> <p>BELL, CABLE TV PEDESTALS</p>	<p>MANHOLE, CATCHBASINS</p> <p>HYDRANT, LIGHT STANDARD</p> <p>TREE</p> <p>CURBSTOP</p> <p>PROPOSED SWALE</p>	<p>180.0 ORIGINAL CONTOURS</p> <p>DIRECTION OF SURFACE RUNOFF</p> <p>BANK</p> <p>PROPERTY LINE</p> <p>ADD 100.00 TO PROPOSED ELEVATIONS TO OBTAIN GEODETIC DATUM</p>
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SUBDIVISION: **DUCKS LANDING**

BUILDER: **DUCKS LANDING**

MUNICIPAL ADDRESS: **18 MERGANSER TRAIL**

LOT No.: \_\_\_\_\_ R.P. No.: \_\_\_\_\_

PREPARED BY: **CYRIL J. DEMEYERE LIMITED**

BENNY REMPEL \_\_\_\_\_

DATE: \_\_\_\_\_

APPROVED BY: **CYRIL J. DEMEYERE LIMITED**

DEREN LYLE P. ENG. \_\_\_\_\_

DATE: \_\_\_\_\_

No.	REVISION	BY	DATE:

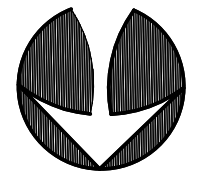
DRAWN BY: **BDR** SCALE: **1:200**

CHECKED BY: **JDW** DATE: **4 APRIL 2018**

JOB No: **1625**

**CYRIL J. DEMEYERE LIMITED**  
 CONSULTING ENGINEERS  
 TILLSONBURG, ONTARIO  
 PHONE (519) 688 1000  
 FAX (519) 842 3235





CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED. THESE DRAWINGS ARE THE PROPERTY OF T-HAMM DESIGN AND DRAFTING SERVICE.

DESIGN LOADS:

GROUND SNOW LOAD  
1.5kPa (0.135psf), S<sub>r</sub> 0.40kPa (0.35psf)  
ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING  
WIND LOADS  
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)  
MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. # 1&2 LINTELS  
UP TO 1.5 KPA - ROOF/CEILING/1 STOREY

NON-STRUCT. SHEATHING STRUCTURAL SHEATHING  
(2) 2x4 - 3'-1 1/2" (2) 2x4 - 3'-7"  
(2) 2x6 - 4'-5 1/2" (2) 2x6 - 5'-2"  
(2) 2x6 - 5'-5 1/2" (2) 2x8 - 6'-3 1/2"  
(2) 2x10 - 6'-8" (2) 2x10 - 7'-8"  
(2) 2x12 - 7'-9 1/2" (2) 2x12 - 8'-10 1/2"

S.P.F. # 1&2 ROOF RAFTERS  
UP TO 1.5 KPA - MAXIMUM SPANS

12" o/c 16" o/c 24" o/c  
2x4 5'-11" 8'-1" 7'-1"  
2x6 14'-0" 12'-9" 11'-5.5"  
2x8 18'-5" 16'-9" 14'-5.5"  
2x10 23'-6.5" 21'-4.5" 17'-8"  
2x12 28'-8" 25'-1.5" 20'-6"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION, BEARING WALLS OR BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.712)

INTER-CONNECTED SMOKE & C.O. DETECTOR C/W STROBE - TYPICAL. INSTALL AS PER MANUFACTURERS SPECIFICATIONS. ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACK-UP THAT IS CAPABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM.

ENERGY EFFICIENCY DESIGN AS PER CBC 2012 S8-12:  
ALL INSULATION VALUES AS PER CBC S8-12 TABLE 3.1.1.2.A (P) (SENTENCE 3.1.1.2.1)  
ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH 64% S<sub>95</sub>  
COMPLIANCE PACKAGE 'A5' (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.  
CEILING WITHOUT ATTIC SPACE - R31 MIN.  
EXPOSED FLOOR - R15 MIN.  
WALLS ABOVE GRADE - R5 C.I. R19 MIN.  
BASEMENT WALLS - R12.5 C.I. MIN.  
EDGE OF BELOW GRADE SLAB - R24" BELOW GRADE - R10 MIN.  
HEATED SLAB ON GRADE - R24" BELOW GRADE - R10 MIN.  
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25 SKYLIGHTS MAX. U-0.49 SPACE HEATING EQUIPMENT MIN AFUE - 94% HRV MIN. EFFICIENCY 70% D.H.W. HEATER MIN. EF - 0.80

GROSS WALL AREA - 2727 Sqft  
GROSS WINDOWS, GLASS AREA ETC. - 447 Sqft  
RATIO - 16.4 %

STEEL LINTELS: UP TO 90mm BRICK

UP TO 2.47m (8'-1") - 89x89x4mm  
UP TO 2.46m (8'-0") - 102x89x4mm  
UP TO 3.31m (10'-7") - 127x89x7.9mm

STEEL LINTELS: UP TO 100mm STONE

UP TO 2.47m (8'-1") - 102x89x4mm  
UP TO 3.77m (12'-4") - 152x89x13mm

Revision table with columns for Revision, By, and Date. Includes revisions for preliminary review, permit and construction, and general revision.

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.2.4 of Division C, of the Building Code, I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374  
Travis Hamm 23275  
B.C.I.N.

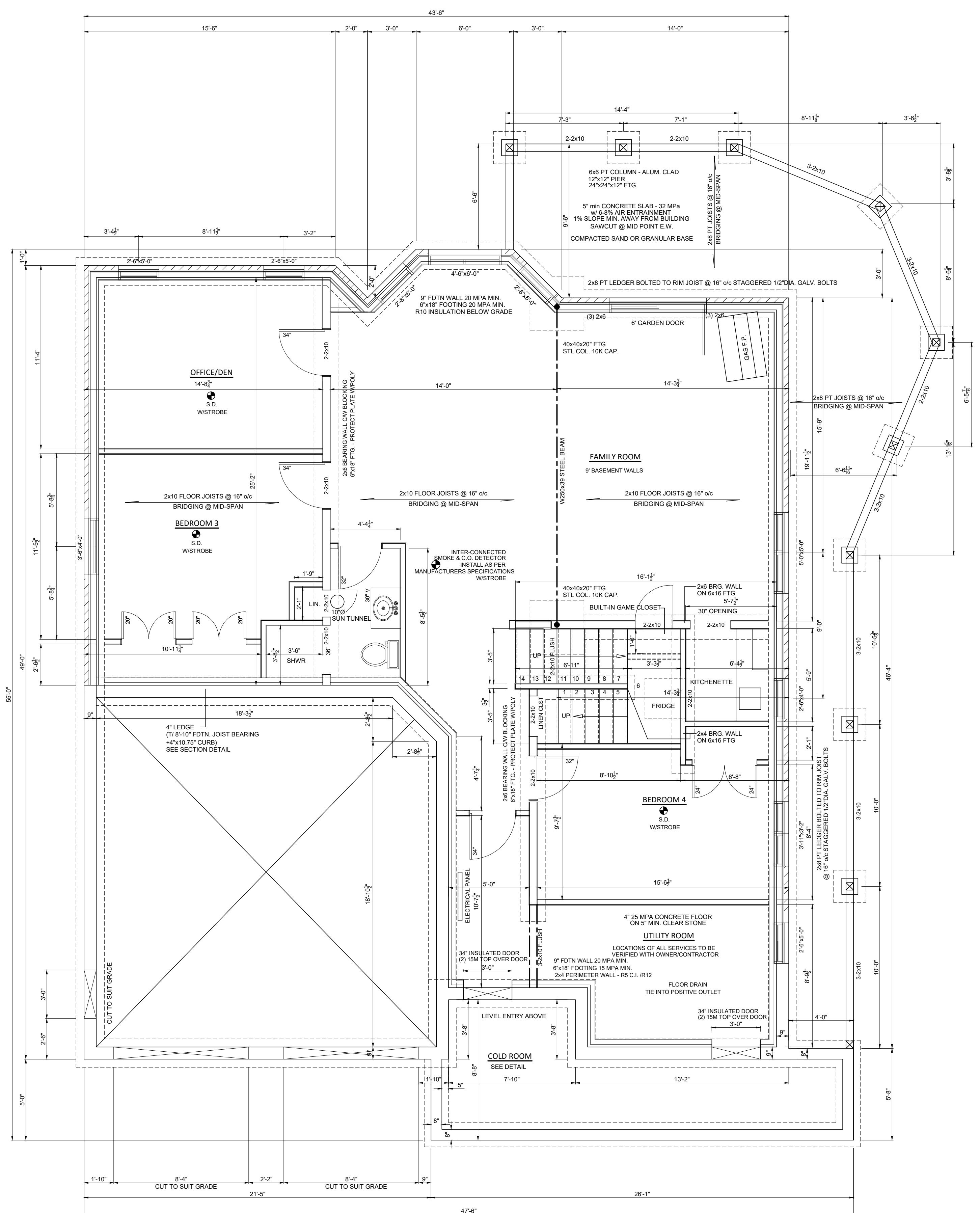
T Hamm Design & Drafting Service  
Residential and Small Building Design  
320 6th Concession  
R.R. # 1 Walsingham, Ontario  
N0E 1X0  
Tel: 519-586-3440  
Email: th.drafting@hotmail.com

Ducks Landing  
(Port Rowan) Inc.

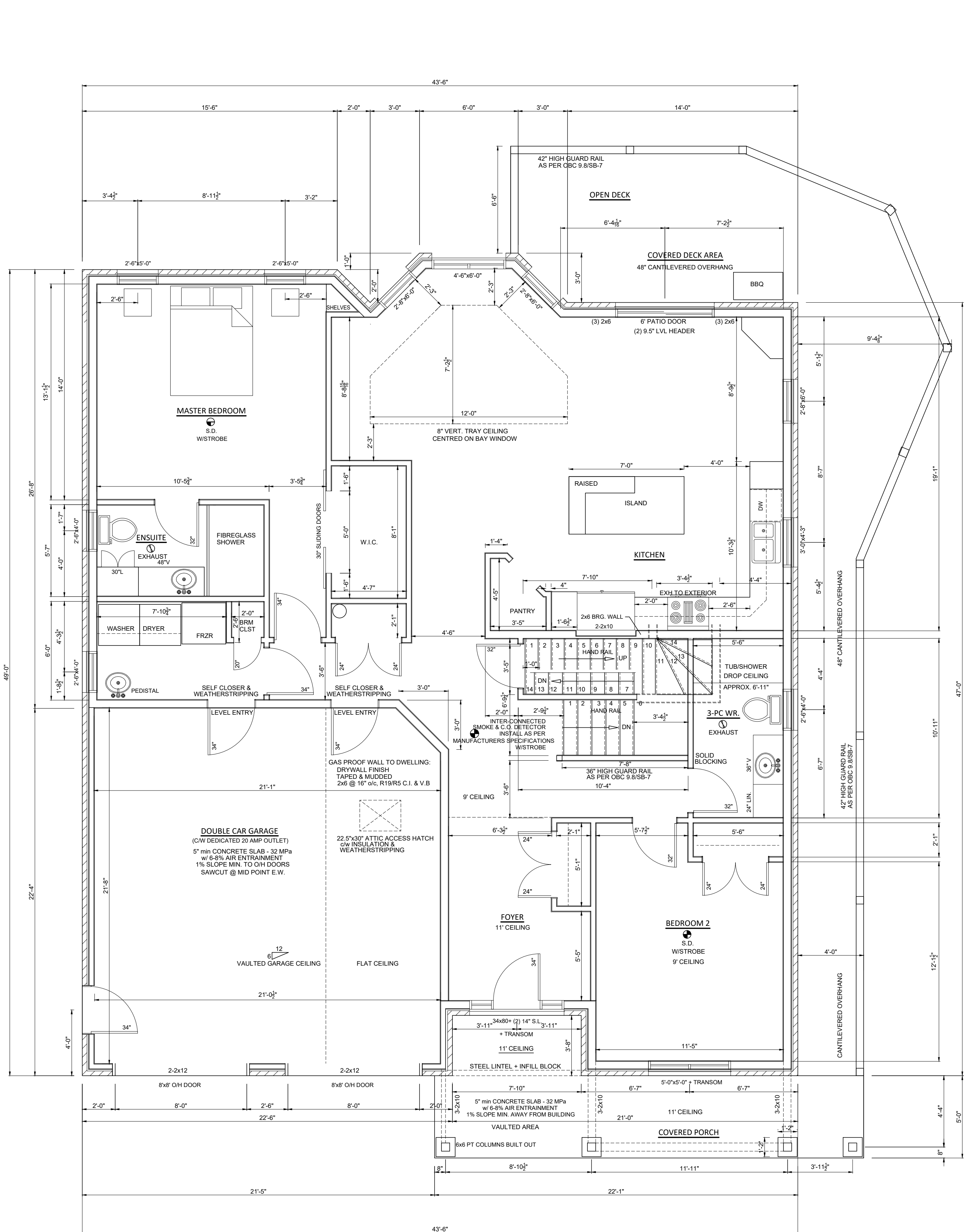
Proposed Residence  
18 Merganser Trail  
Port Rowan, Ont.  
Foundation & Main Floor Plan

Project information table including Scale (1/4" = 1'-0"), Date (June 2023), Drawing By (TH), Designed By (TH), Checked By (TH), and Project No. (2016-56).

A1

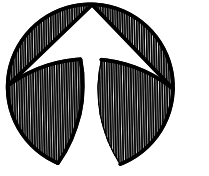


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

MAIN FLOOR - 1590.94 sq ft  
GARAGE - 484.84 sq ft  
FRONT PORCH - 159 sq ft



**CONSTRUCTION NORTH**

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED. THESE DRAWINGS ARE THE PROPERTY OF T. HAMM DESIGN AND DRAFTING SERVICE

**DESIGN LOADS:**

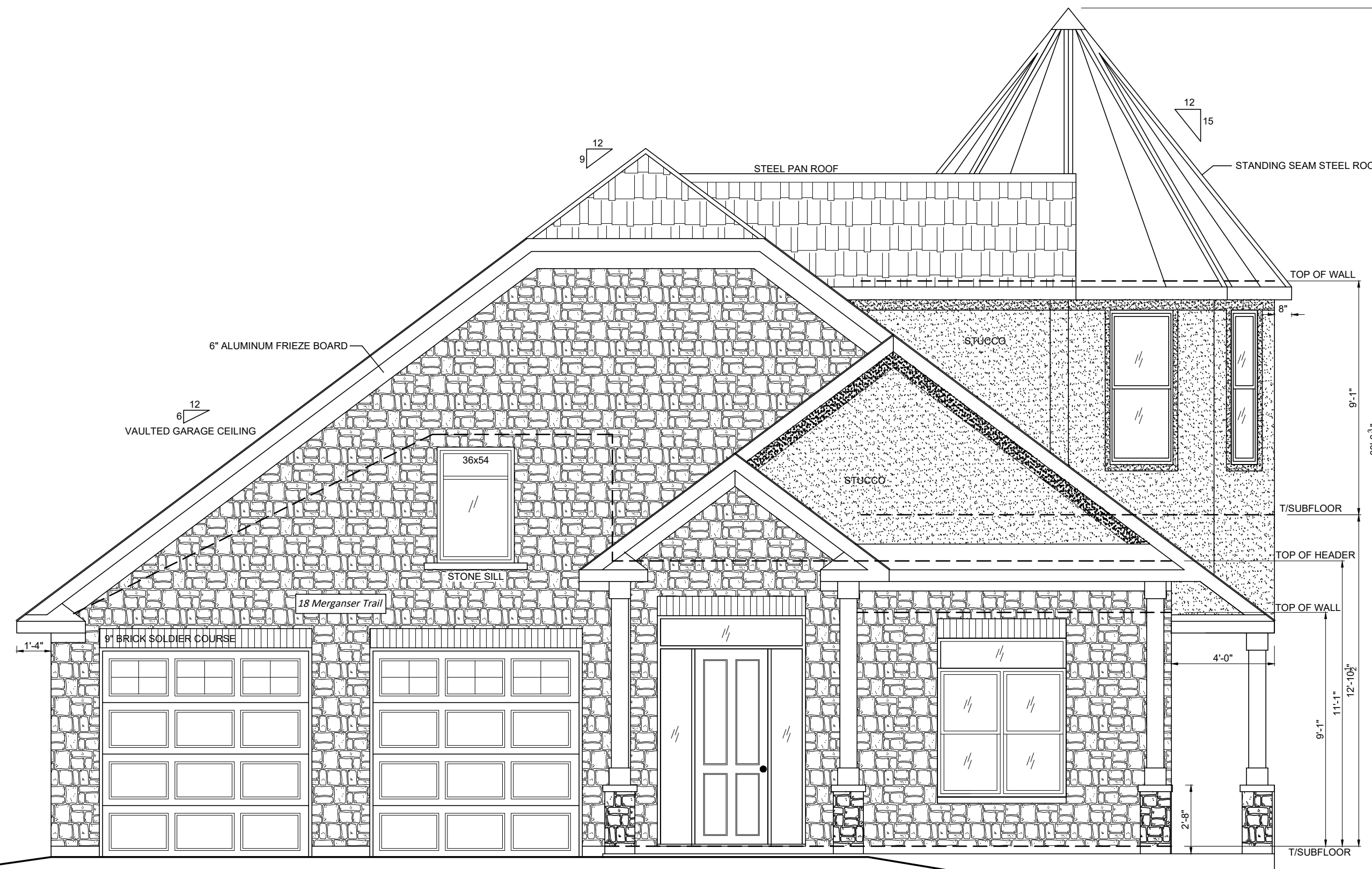
GROUND SNOW LOAD  
1.5kPa (0.135psf), Sr 0.40kPa (0.35psf)  
ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING  
WIND LOADS  
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)  
MIN. SOIL BEARING CAPACITY - 75 kPa

**STEEL LINTELS: UP TO 90mm BRICK**

UP TO 2.47m (8'-1") - 89x89x6.4mm  
UP TO 2.66m (8'-8") - 102x89x6.4mm  
UP TO 3.31m (10'-10") - 127x89x7.9mm

**STEEL LINTELS: UP TO 100mm STONE**

UP TO 2.47m (8'-1") - 102x89x6.4mm  
UP TO 3.77m (12'-4") - 152x89x13mm



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

- ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12.
- MINIMUM FROST COVER TO BE 4'-0" TO UNDERSIDE OF FOOTING.
- BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL.
- EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL.
- ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT.
- FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. 2012 SECTION 9.15.
- ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA (1570 psf).
- VERTICAL RISE FOR STEPPED FOOTINGS TO BE 23.5" MAXIMUM.
- HORIZONTAL DISTANCES BETWEEN RISERS SHALL NOT BE LESS THAN 23.5".
- SLABS ON GROUND TO COMPLY WITH O.B.C. 2012 SECTION 9.16.
- COLUMNS TO COMPLY WITH O.B.C. 2012 9.17.
- ALL COLUMNS TO BE CENTRED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER TO PREVENT LATERAL MOVEMENT.

Revision:	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TH MARCH 20/18
2	ISSUED FOR PERMIT AND CONSTRUCTION	TH MARCH 27/18
3	GENERAL REVISION	TH MAY 18/18

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.2.4 of Division C, of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374  
B.C.I.N.  
23275  
Travis Hamm B.C.I.N.

**T Hamm Design & Drafting Service**

Residential and Small Building Design  
220 6th Concession  
R.R. # 1 Walsingham, Ontario  
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Tel: 519-586-3440  
Email: th.drafting@hotmail.com

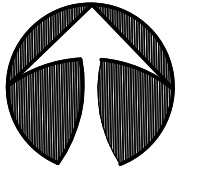
**Ducks Landing**  
(Part Rowan) Inc.

Proposed Residence  
18 Merganser Trail  
Port Rowan, Ont.

**ELEVATIONS**

SCALE:	1/4" = 1'-0"
DATE:	
DRAWING BY:	TH
DESIGNED BY:	TH
CHECKED BY:	TH
PROJECT NO.:	

**A2**



**CONSTRUCTION NORTH**

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**DESIGN LOADS:**

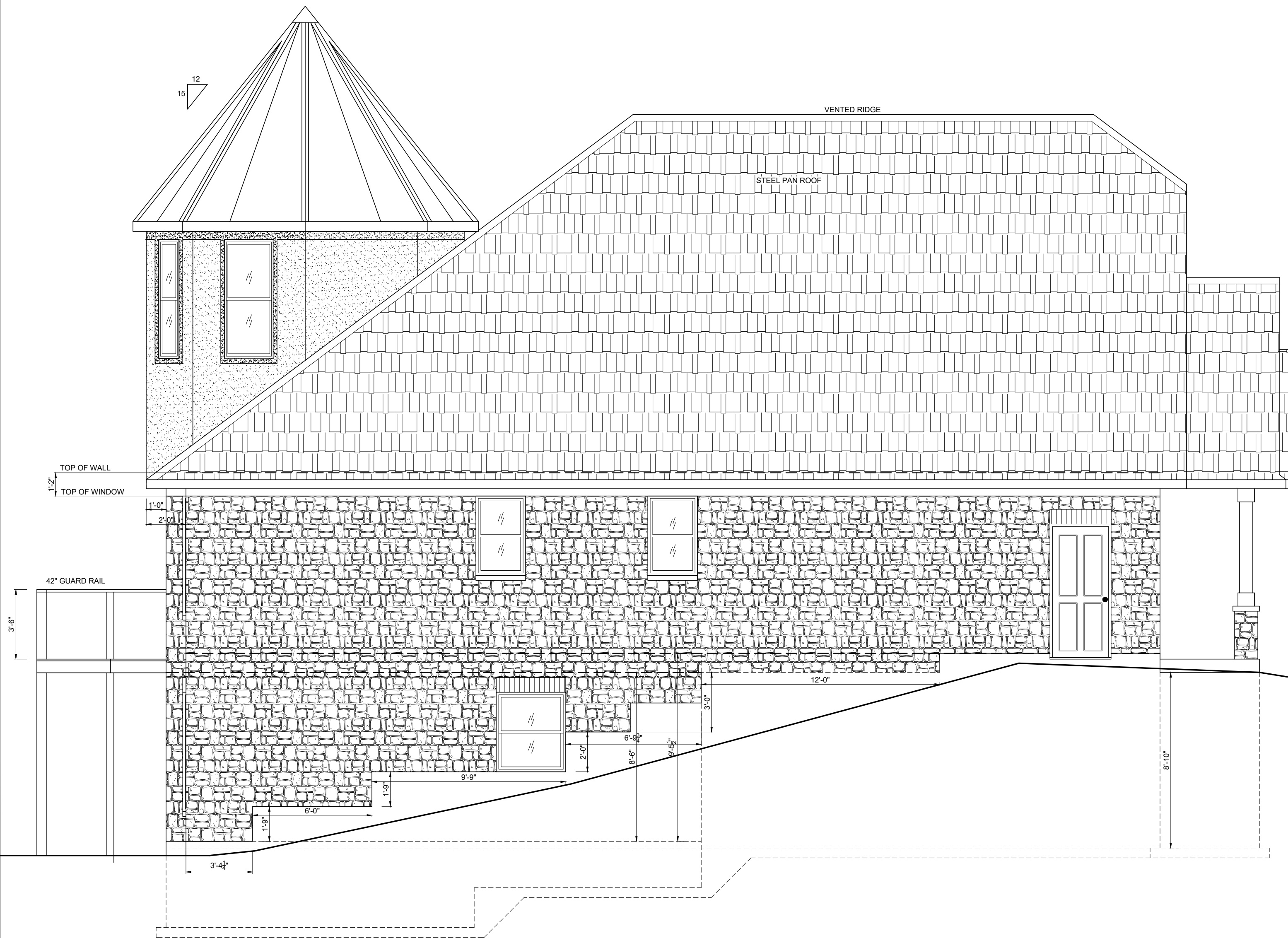
GROUND SNOW LOAD  
1.5kPa (31.35psf), Sr 0.40kPa (8.35psf)  
ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING  
WIND LOADS  
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)  
MIN. SOIL BEARING CAPACITY - 75 kPa

**STEEL LINTELS: UP TO 90mm BRICK**

UP TO 2.47m (8'-1") - 89x89x6.4mm  
UP TO 2.66m (8'-8") - 102x89x6.4mm  
UP TO 3.31m (10'-10") - 127x89x7.9mm

**STEEL LINTELS: UP TO 100mm STONE**

UP TO 2.47m (8'-1") - 102x89x6.4mm  
UP TO 3.77m (12'-4") - 152x89x13mm



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

- ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12.
- MINIMUM FROST COVER TO BE 4'-0" TO UNDERSIDE OF FOOTING.
- BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL.
- EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL.
- ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT.
- FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. 2012 SECTION 9.15.
- ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA (1570 psf).
- VERTICAL RISE FOR STEPPED FOOTINGS TO BE 23.5" MAXIMUM.
- HORIZONTAL DISTANCES BETWEEN RISERS SHALL NOT BE LESS THAN 23.5".
- SLABS ON GROUND TO COMPLY WITH O.B.C. 2012 SECTION 9.16.
- COLUMNS TO COMPLY WITH O.B.C. 2012 9.17.
- ALL COLUMNS TO BE CENTRED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER TO PREVENT LATERAL MOVEMENT.

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3	GENERAL REVISION	TH MAY 18/18

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T. HAMM DESIGN AND DRAFTING SERVICE 45374

B.C.I.N.

Travis Hamm 23275

B.C.I.N.

**T Hamm Design & Drafting Service**

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Tel: 519-586-3440  
Email: th.drafting@hotmail.com

**Ducks Landing**

Proposed Residence  
18 Merganser Trail  
Port Rowan, Ont.

**ELEVATIONS**

SCALE:	1/4" = 1'-0"
DATE:	
DRAWING BY:	TH
DESIGNED BY:	TH
CHECKED BY:	TH
PROJECT NO.:	

**A3**



**GENERAL NOTES:**

- ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE (O.B.C.) 2012 PART 9.
- CONTRACTOR TO REFER TO APPLICABLE CODES LISTED FOR MINIMUM CONSTRUCTION REQUIREMENTS, PROJECT SITE CONDITIONS, AND APPLICABLE PROJECT DESIGN.

**WALLS:**

- WOOD FRAME CONSTRUCTION TO COMPLY WITH O.B.C. 2012 9.23.
- WOOD FRAMING SPANS AND SIZES TO CONFORM TO TABLES A-1 - A-16, INCLUDING ALL APPLICABLE FOOTNOTES.
- 1 1/2" MINIMUM REQUIRED END BEARING OF JOISTS AND RAFTERS.
- HEAT TRANSFER, AIR LEAKAGE, AND CONDENSATION CONTROL TO COMPLY WITH O.B.C. 2012 9.25.
- ALL SIDING TO COMPLY WITH O.B.C. 2012 9.27.
- EXTERIOR WALLS TO HAVE A MINIMUM OF R22 INSULATION.
- ALL VAPOUR BARRIER TO BE 6mm POLYETHYLENE (CGSB-51.34) AIR AND VAPOUR BARRIER - SEALED AS PER O.B.C. 2012 9.25.
- DOORS AND WINDOWS TO COMPLY WITH FORCED ENTRY REQUIREMENTS AS PER O.B.C. 2012 9.6.8.
- FLOOR LEVELS CONTAINING BEDROOMS ARE TO HAVE ONE OPENING WINDOW WITH AN UNOBSTRUCTED AREA OF 3.80 m<sup>2</sup> MINIMUM - WITH NO DIMENSION LESS THAN 15".
- ALL ATTACHED GARAGES ARE TO HAVE GAS-PROOF WALLS WITH A MINIMUM OF R-22 INSULATION.

**FLOORS:**

- ALL FLOORS EXPOSED TO UNHEATED SPACES TO HAVE MINIMUM R31 INSULATION.
- PROVIDE DAMPPROOFING UNDER BASEMENT CONCRETE SLABS IF CONCRETE IS LESS THAN 65 MPA.
- PROVIDE A MOISTURE BARRIER BETWEEN ALL WOOD IN CONTACT WITH CONCRETE.
- PROVIDE A FOAM GASKET OR CAULKING UNDER ALL SILLS AND FLOOR WALL PLATES.
- PROVIDE 1/2" DIAMETERS ANCHOR BOLTS AT 7'-0" MINIMUM - CAST 4" MINIMUM INTO TOP OF FOUNDATION WALL.

**ROOF:**

- ROOF CONSTRUCTION AND FLASHING TO COMPLY WITH O.B.C. 2012 9.26.
- ROOF SPACES TO COMPLY WITH O.B.C. 2012 9.19.
- UNOBSTRUCTED VENT AREA TO BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- MINIMUM ATTIC ACCESS TO BE 20"x28" - FITTED WITH A COVER COMPLETE WITH WEATHERSTRIPPING AND RIGID INSULATION.

**PLUMBING:**

- ALL PLUMBING FACILITIES AS PER O.B.C. 9.31.

**VENTILATION:**

- ALL VENTILATION AS PER O.B.C. 9.32.

**HEATING & AIR CONDITIONING:**

- ALL HEATING AND AIR CONDITIONING AS PER O.B.C. 9.33.

**ELECTRICAL FACILITIES:**

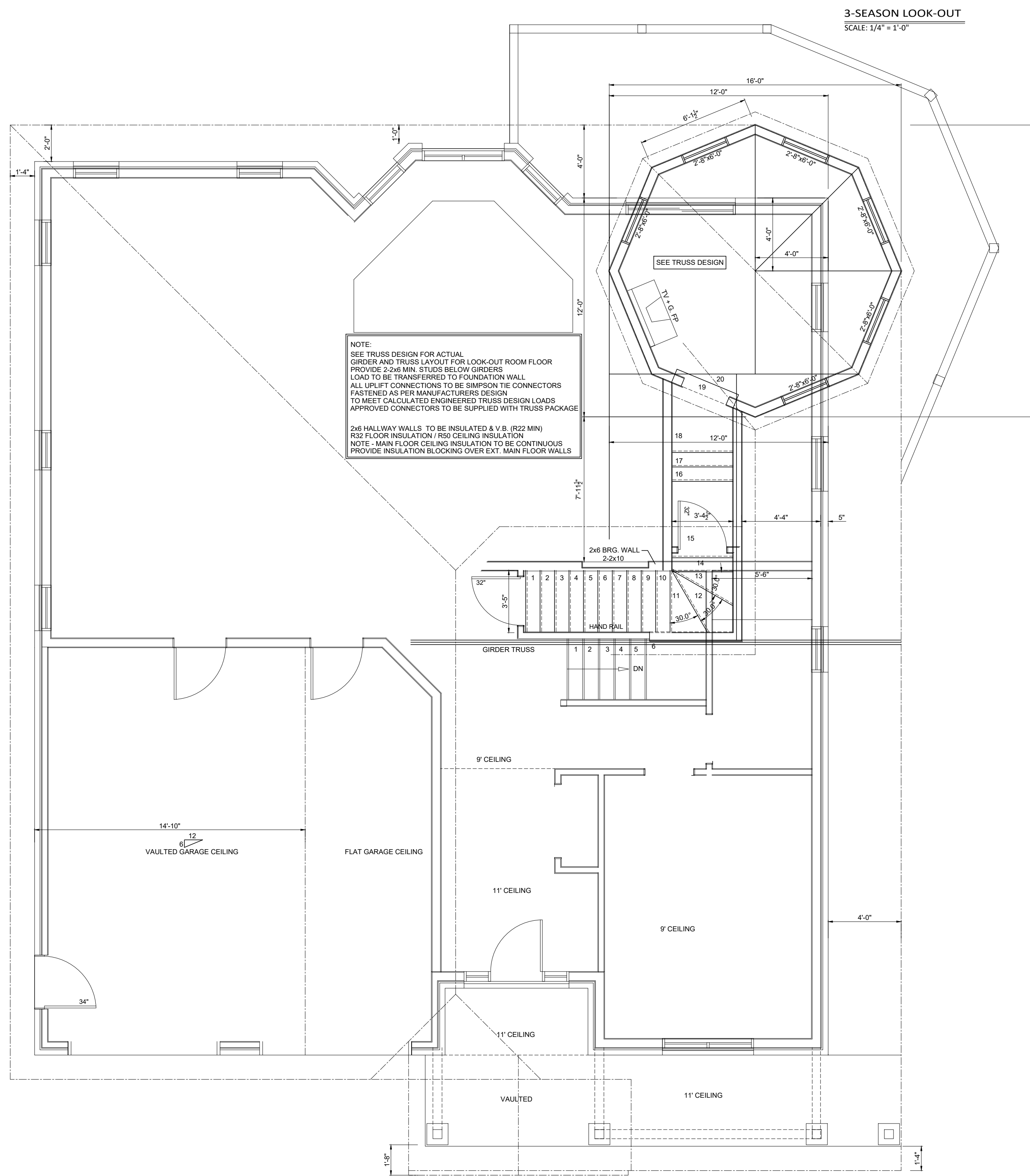
- ALL ELECTRICAL FACILITIES AS PER O.B.C. 9.34 AND CURRENT ESSA CODES.

**CONSTRUCTION NOTES:**

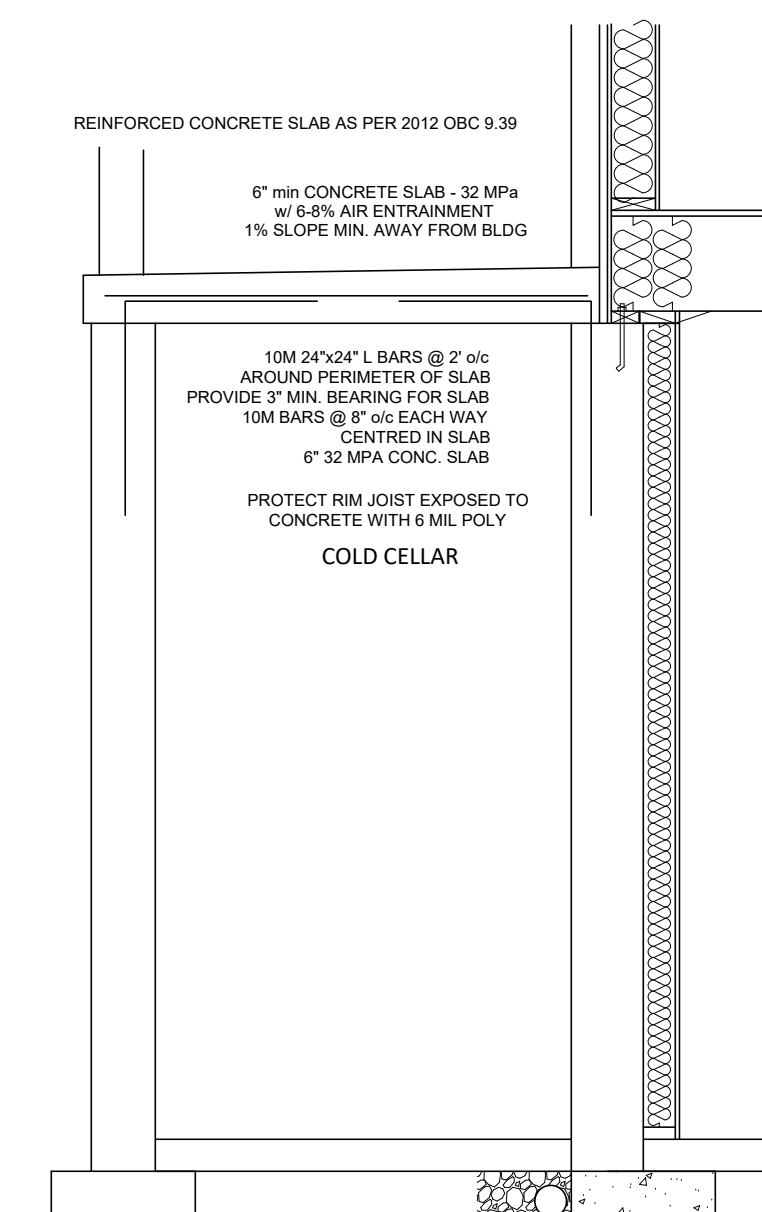
- ALL EXCAVATION & BACKFILL WORKS TO COMPLY WITH O.B.C. 2012 SECTION 9.12.
- MINIMUM FROST COVER TO BE 4'-0" UNDERSIDE OF FOOTING.
- BOTTOM OF EXCAVATION TO BE FREE OF ALL ORGANIC MATERIAL.
- EXCAVATION SHALL EXTEND TO UNDISTURBED SOIL.
- ALL ENGINEERED FILL TO BE DESIGNED AND APPROVED BY A CERTIFIED SOIL CONSULTANT.
- DAMPPROOFING, WATERPROOFING, AND SOIL GAS CONTROL TO COMPLY WITH O.B.C. 2012 SECTION 9.13.
- ALL DRAINAGE WORK, APPLICATION AND DISPOSAL OF TO COMPLY WITH O.B.C. 2012 SECTION 9.14.
- FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. 2012 SECTION 9.15.
- ALLOWABLE BEARING PRESSURE TO BE GREATER THAN 75 KPA (1570 psf).
- VERTICAL RISE FOR STEPPED FOOTINGS TO BE 23.5" MAXIMUM.
- HORIZONTAL DISTANCES BETWEEN RISERS SHALL NOT BE LESS THAN 23.5".
- SLABS ON GROUND TO COMPLY WITH O.B.C. 2012 SECTION 9.16.
- COLUMNS TO COMPLY WITH O.B.C. 2012 9.17.
- ALL COLUMNS TO BE CENTRED ON FOOTINGS AND FASTENED TO SUPPORTED MEMBER TO PREVENT LATERAL MOVEMENT.
- STEEL COLUMNS TO BE MINIMUM 3" OUTSIDE DIAMETER WITH 3/16" WALLS.
- END BEARING PLATES TO BE MINIMUM 4"x4"x1/4" TOP AND BOTTOM.
- TOP PLATES SUPPORTING WOOD BEAMS ARE TO BE FULL WIDTH OF BEAM.
- WOOD COLUMNS IN CONTACT WITH CONCRETE ARE TO BE SEPARATED BY 6mm POLYETHYLENE.
- ALL CRAWL SPACES TO COMPLY WITH O.B.C. 2012 9.18.
- GENERAL CONSTRUCTION TO CONFORM TO O.B.C. 2012 PART 12 - RESOURCE CONSERVATION.
- ALL DOORS AND WINDOWS TO MEET THE STANDARD OF ENERGY EFFICIENCY FOR ALL BUILDINGS AND CONSTRUCTION WITHIN THE SCOPE OF O.B.C. PART 9 - SECTION 12.3.
- ABOVE GRADE MASONRY TO COMPLY WITH O.B.C. 2012 9.20.
- ALL STEEL LINTELS TO HAVE 6" MINIMUM BEARING AT END SUPPORTS AND SHALL BE PRIMED.
- ALL BRICK TO BEAR ON CONCRETE OR STEEL. BRICK TIES TO BE CORROSION RESISTANT, MIN BRICK TIES TO BE CORROSION RESISTANT, MINIMUM 600 THICK, 7/8" WIDE, AND SHARED TO PROVIDE A KEY WITH THE MORTAR.
- BRICK TIES TO HAVE VERTICAL SPACINGS OF 24" ON CENTER, HORIZONTAL SPACINGS OF 16" ON CENTER, AND BE FASTENED THROUGH SHEATHING INTO WOOD STUDS.
- WEEP HOLES TO BE AT 31" ON CENTER MAXIMUM.

**STAIRS:**

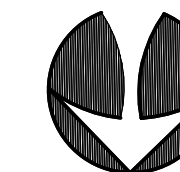
- TYPICAL UNLESS NOTED OTHERWISE.
- RISE - 7 7/8" MAXIMUM
- RUN - 8 1/4" MINIMUM
- TREAD - 9 1/4" MINIMUM TO 14" MAXIMUM
- NOSING - 1" MINIMUM
- HEADROOM - 6'-5" MINIMUM
- HANDRAILS - 32" MINIMUM TO 38" MAXIMUM
- GUARDS - 30" MINIMUM TO 42" MAXIMUM
- PICKETS - 4" MAXIMUM SPACE BETWEEN
- OPEN HAND RAILS AND ALL ATTACHMENT OF GUARDS AND RAILS AS PER SUPPLEMENTARY GUIDE LINES TO O.B.C. 2012 SECTION SB-7.
- ALL STAIRS AND LANDINGS TO CONFORM TO OBC 2012 SECTION 9.8



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**COLD CELLAR DETAIL**  
SCALE: 1/2" = 1'-0"



**CONSTRUCTION NORTH**

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**DESIGN LOADS:**

- GROUND SNOW LOAD  
1.5kPa (0.35psf), Sr 0.40kPa (0.35psf)
- ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING
- WIND LOADS  
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)
- MIN. SOIL BEARING CAPACITY - 75 kPa

**S.P.F. # 1&2 LINTELS UP TO 1.5 KPA - ROOF/CEILING/1 STOREY**

NON-STRUCT. SHEATHING STRUCTURAL SHEATHING	
(2) 2x4 - 3'-1 1/2"	(2) 2x4 - 3'-7"
(2) 2x6 - 4'-5 1/2"	(2) 2x6 - 5'-2"
(2) 2x6 - 5'-5 1/2"	(2) 2x8 - 6'-3 1/2"
(2) 2x10 - 6'-8"	(2) 2x10 - 7'-8"
(2) 2x12 - 7'-9 1/2"	(2) 2x12 - 8'-10 1/2"

**S.P.F. # 1&2 ROOF RAFTERS UP TO 1.5 KPA - MAXIMUM SPANS**

12" o/c	16" o/c	24" o/c
2x4 8'-11"	8'-1"	7'-1"
2x6 14'-0"	12'-9"	11'-5.5"
2x8 18'-5"	16'-9"	14'-5.5"
2x10 23'-6.5"	21'-4.5"	17'-8"
2x12 28'-9"	25'-1.5"	20'-6"

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION, BEARING WALLS OR BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TBLE A-34.35 (9.23.10.712)

INTER-CONNECTED SMOKE & C.O. DETECTOR C/W STROBE - TYPICAL INSTALL AS PER MANUFACTURERS SPECIFICATIONS. ALL SMOKE & C.O. DETECTORS MUST BE PROVIDED WITH A BATTERY BACK-UP THAT IS CAPABLE OF SUPPLYING POWER FOR AT LEAST 7 DAYS AND IS FOLLOWED BY A 4 MINUTE ALARM.

**ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:**

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (SENTENCE 3.1.1.2.1.1)

ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH 64% U<sub>FA</sub>

COMPLIANCE PACKAGE 'A' (UNLESS OTHERWISE NOTED)

- CEILING WITH ATTIC SPACE - R50 MIN.
- CEILING WITHOUT ATTIC SPACE - R31 MIN.
- EXPOSED FLOOR - R15 MIN.
- WALLS ABOVE GRADE - R5 C1-R19 MIN.
- BASEMENT WALLS - R12.5 C1 MIN.
- EDGE OF BELOW GRADE SLAB - R24" BELOW GRADE - R10 MIN.
- HEATED SLAB ON SLAB - R24" BELOW GRADE - R10 MIN.
- WINDOWS AND SLIDING GLASS DOORS MAX. U=0.26, ER 25
- SKYLIGHTS MAX. U=0.49
- SPACE HEATING EQUIPMENT MIN AFUE - 94%
- HRV MIN. EFFICIENCY 70%
- D.H.W. HEATER MIN EF - 0.80

**STEEL LINTELS: UP TO 90mm BRICK**

- UP TO 2.47m (8'-1") - 89x89x6.4mm
- UP TO 2.46m (8'-0") - 102x89x6.4mm
- UP TO 3.31m (10'-10") - 127x89x7.9mm

**STEEL LINTELS: UP TO 100mm STONE**

- UP TO 2.47m (8'-1") - 102x89x6.4mm
- UP TO 3.77m (12'-4") - 152x89x13mm

Revision:	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TH FEB 28/18
2	ISSUED FOR PERMIT AND CONSTRUCTION	TH MARCH 27/18
3	GENERAL REVISION	TH MAY 18/18

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.2.8 of Division C, of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374

B.C.I.N.

Travis Hamm 23275

B.C.I.N.

T Hamm Design & Drafting Service

Residential and Small Building Design

220 6th Concession R.R. # 1 Walsingham, Ontario N0E 1X0

Tel: 519-586-3440 Email: th.drafting@hotmail.com

Ducks Landing (Port Rowan) Inc.

Proposed Residence 18 Merganser Trail Port Rowan, Ont.

SECTION / LOOK OUT / ROOF PLAN

SCALE: 1/4" = 1'-0"

DATE:

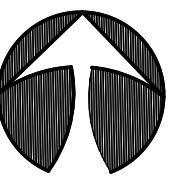
DRAWING BY: TH

DESIGNED BY: TH

CHECKED BY: TH

PROJECT NO:

A4



### CONSTRUCTION NORTH

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#### DESIGN LOADS:

GROUND SNOW LOAD  
1.5kPa (31.35psf), Sr 0.40kPa (8.35psf)  
ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING  
WIND LOADS  
1/50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)  
MIN. SOIL BEARING CAPACITY - 75 kPa

#### S.P.F. # 1&2 LINTELS UP TO 1.5 KPA - ROOF/CEILING/1 STOREY

#### NON-STRUCT. SHEATHING STRUCTURAL SHEATHING

(2) 2x4 - 3'-1 1/2"	(2) 2x4 - 3'-7"
(2) 2x6 - 4'-5 1/2"	(2) 2x6 - 5'-2"
(2) 2x8 - 5'-5 1/2"	(2) 2x8 - 6'-3 1/2"
(2) 2x10 - 6'-8"	(2) 2x10 - 7'-8"
(2) 2x12 - 7'-9 1/2"	(2) 2x12 - 8'-10 1/2"

#### S.P.F. # 1&2 ROOF RAFTERS UP TO 1.5 KPA - MAXIMUM SPANS

	12" o/c	16" o/c	24" o/c
2x4	8'-11"	8'-1"	7'-1"
2x6	14'-0"	12'-9"	11'-1.5"
2x8	18'-5"	16'-9"	14'-5.5"
2x10	23'-6.5"	21'-4.5"	17'-8"
2x12	28'-8"	25'-1.5"	20'-6"

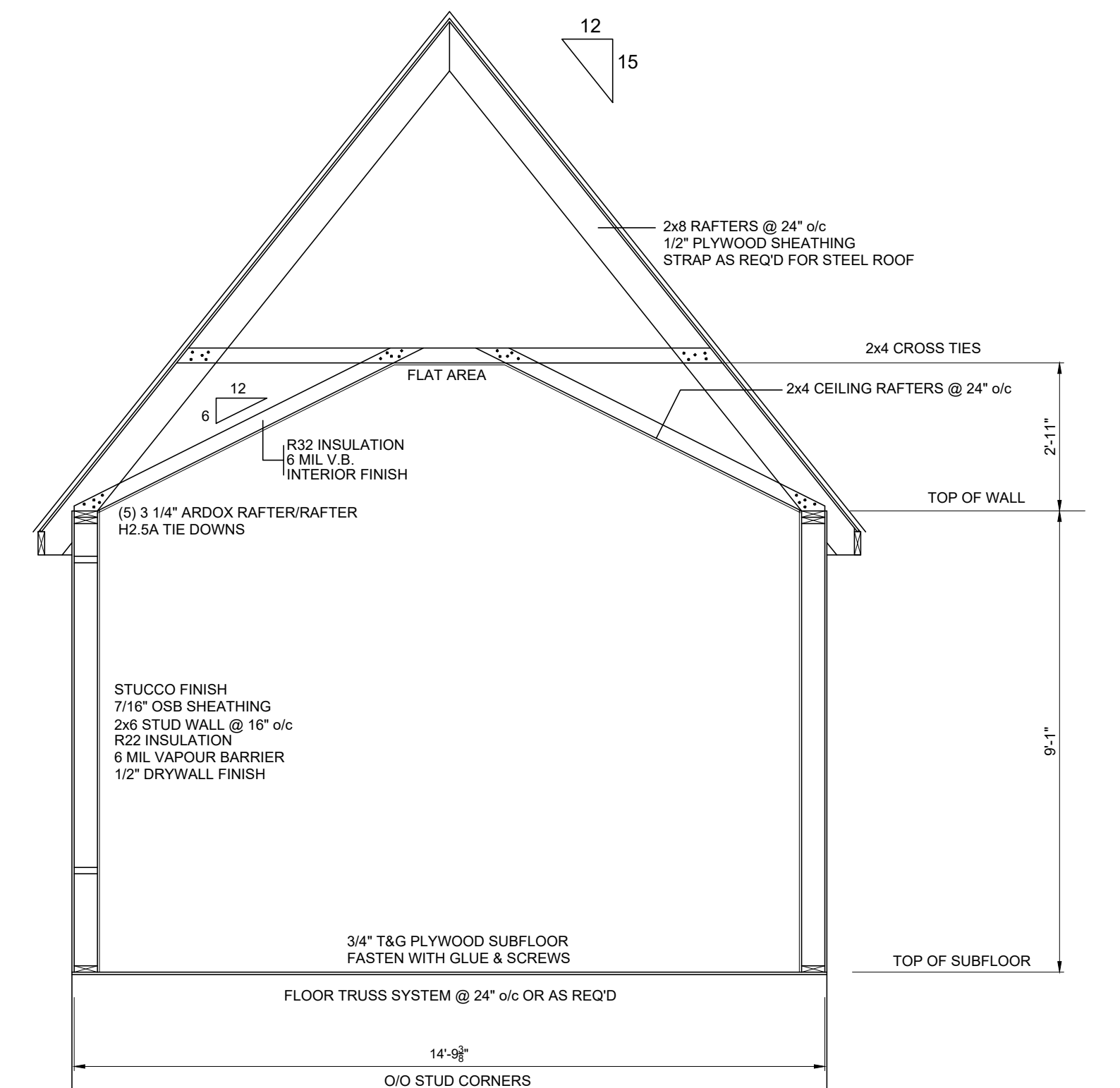
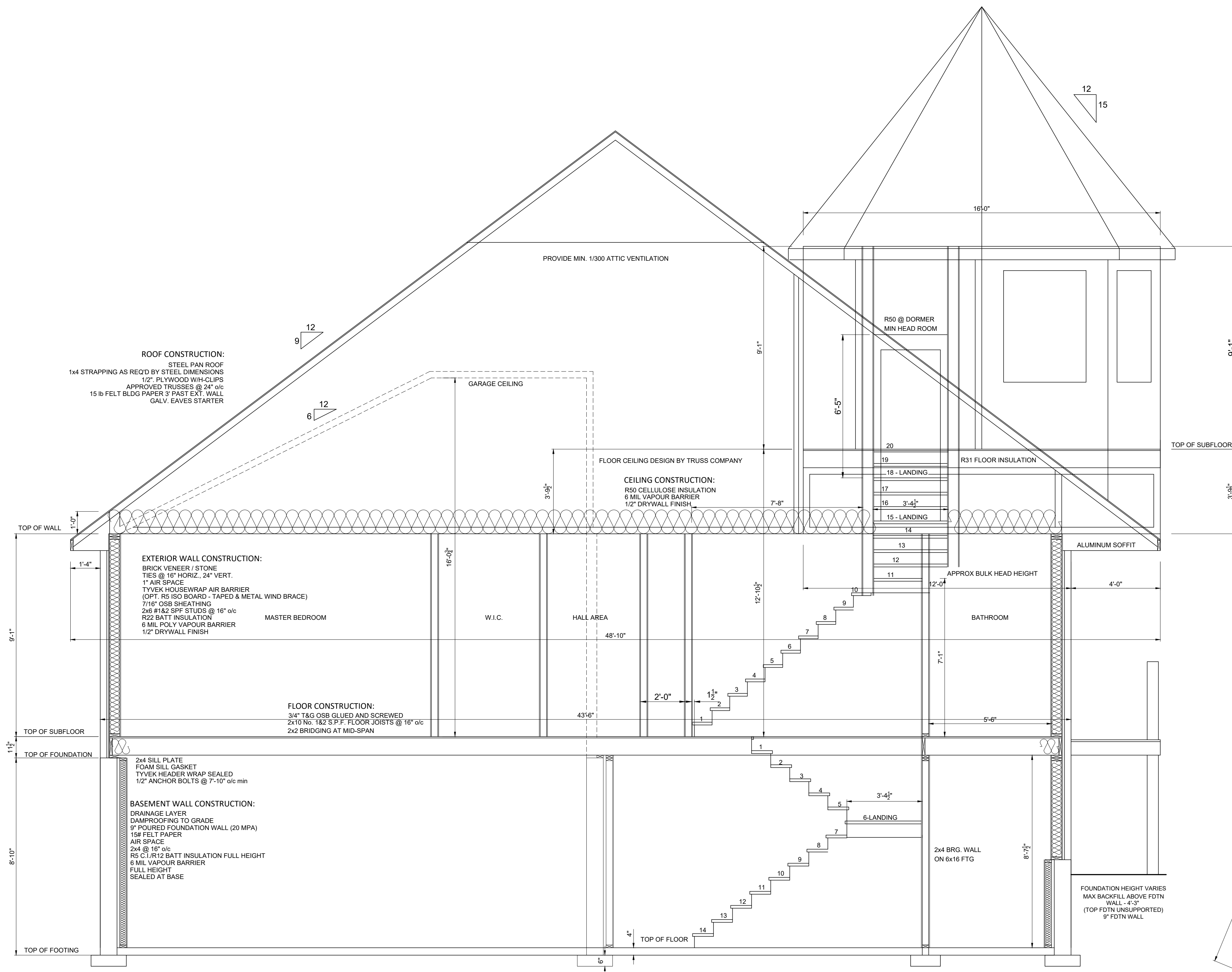
ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION, BEARING WALLS OR BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TBL E-A-34.35 (9.23.10.72)

#### ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) SENTENCE 3.1.1.2.11  
ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AFUE ≥ 92%

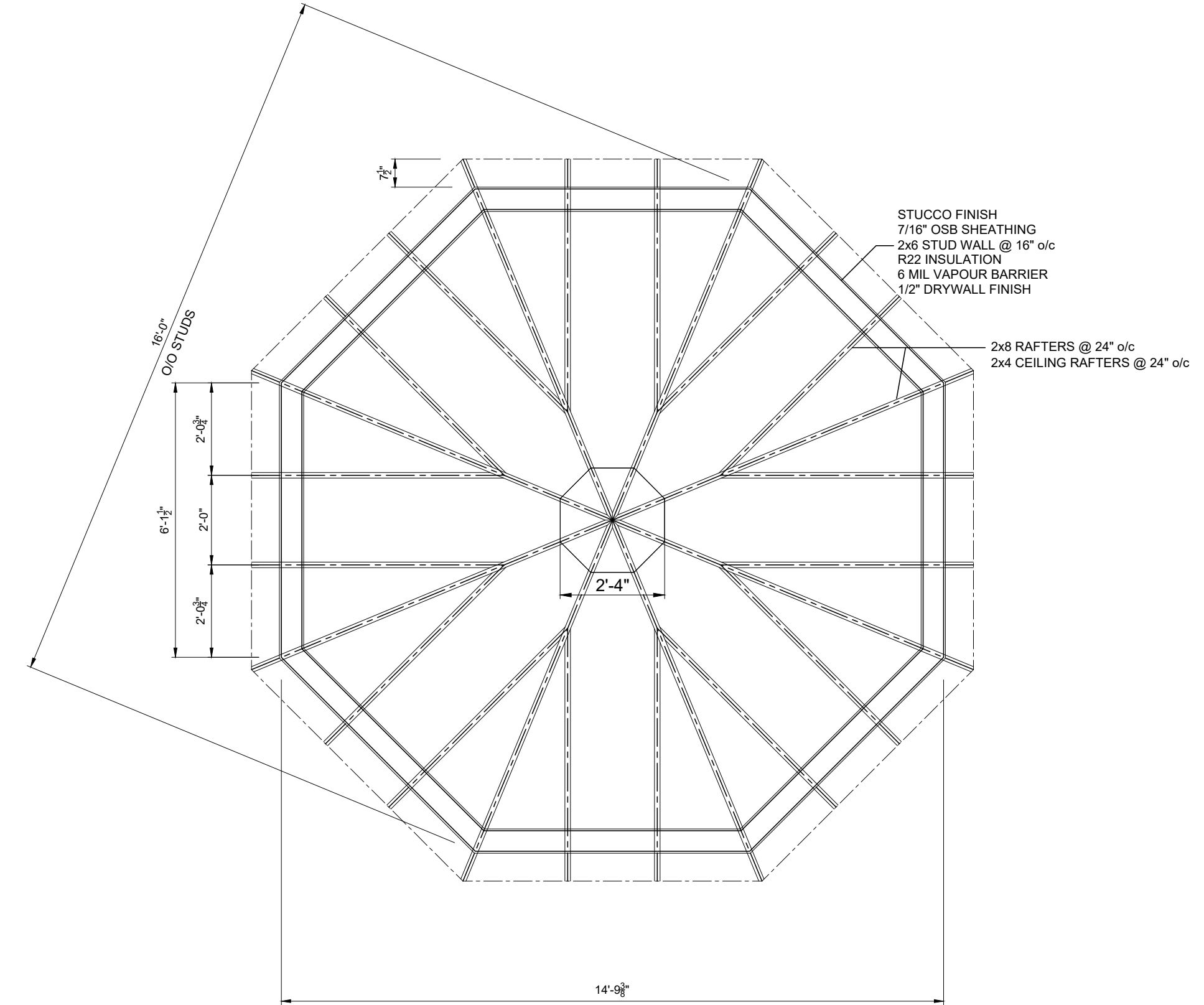
#### COMPLIANCE PACKAGE 'AS' (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.  
CEILING WITHOUT ATTIC SPACE - R31 MIN.  
EXPOSED FLOOR - R35 MIN.  
WALLS ABOVE GRADE - R19 + AS C.I. MIN.  
BASEMENT WALLS - R12 + 5 C.I. MIN. (GHT R20 C.I.)  
EDGE OF BELOW GRADE SLAB - S1" BELOW GRADE - R10 MIN.  
HEATED SLAB OR SLAB ≥ 24" BELOW GRADE - R10 MIN.  
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25  
SKYLIGHTS MAX. U-0.49  
SPACE HEATING EQUIPMENT MIN AFUE - 94%  
HRV MIN. EFFICIENCY 70%  
D.H.W. HEATER MIN EF - 0.80



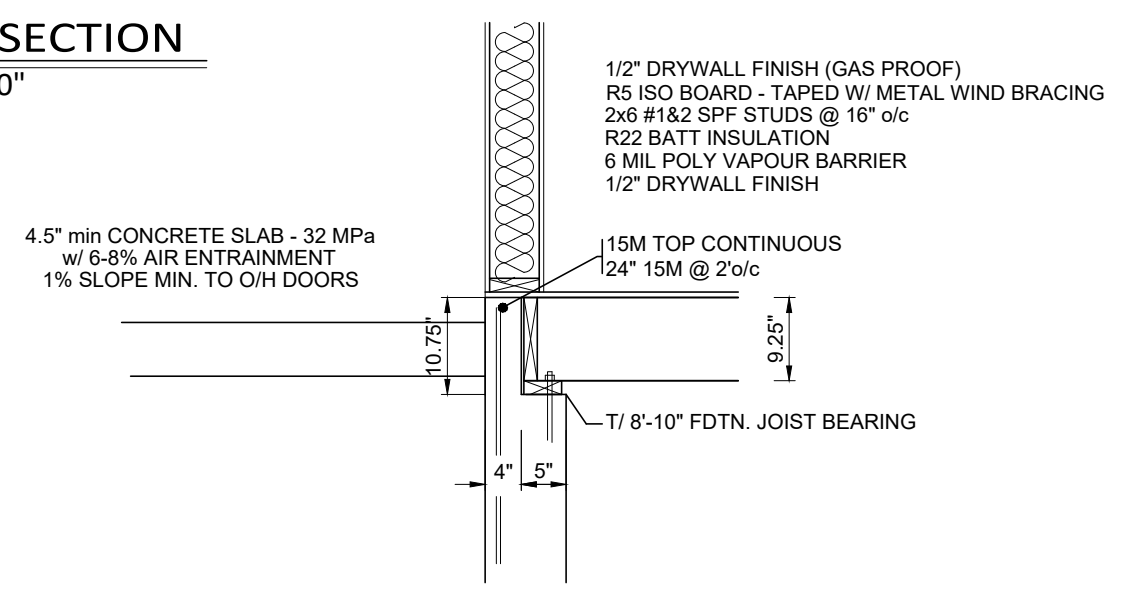
NOTE:  
SEE TRUSS DESIGN FOR ACTUAL GIRDER AND TRUSS LAYOUT FOR LOOK-OUT ROOM FLOOR. PROVIDE 2-2x6 MIN. STUDS BELOW GIRDERS. LOAD TO BE TRANSFERRED TO FOUNDATION WALL. ALL UPLIFT CONNECTIONS TO BE SIMPSON TIE CONNECTORS FASTENED AS PER MANUFACTURERS DESIGN TO MEET CALCULATED ENGINEERED TRUSS DESIGN LOADS. APPROVED CONNECTORS TO BE SUPPLIED WITH TRUSS PACKAGE.

2x6 HALLWAY WALLS TO BE INSULATED & V.B. (R22 MIN)  
R32 FLOOR INSULATION / R50 CEILING INSULATION  
NOTE - MAIN FLOOR CEILING INSULATION TO BE CONTINUOUS PROVIDE INSULATION BLOCKING OVER EXT. MAIN FLOOR WALLS.



LOOK-OUT ROOF PLAN  
SCALE: 3/8" = 1'-0"

#### BUILDING SECTION SCALE: 3/8" = 1'-0"



FDTN WALL DETAIL - GARAGE  
N.T.S.

No.	Revision	By:	Date:
1	ISSUED FOR PRELIMINARY REVIEW	TH	MARCH/18
2	ISSUED FOR PERMIT AND CONSTRUCTION	TH	MARCH 27/18
3	GENERAL REVISION	TH	MAY 18/18

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.2.8 of Division C, of the Building Code, I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374  
B.C.I.N.  
23275  
Travis Hamm  
B.C.I.N.

T Hamm Design & Drafting Service  
Residential and Small Building Design  
220 6th Concession  
R.R. # 1 Walsingham, Ontario  
N0E 1X0  
Tel: 519-586-3440  
Email: th.drafting@hotmail.com

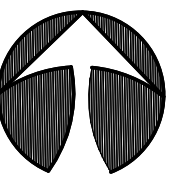
#### Ducks Landing (Port Rowan) Inc.

#### Proposed Residence 18 Merganser Trail Port Rowan, Ont.

#### BUILDING SECTION & NOTES

SCALE:	3/8"=1'-0"
DATE:	March 2018
DRAWING BY:	TH
DESIGNED BY:	TH
CHECKED BY:	TH
PROJECT NO.:	

A5



CONSTRUCTION NORTH

BOTH THE CLIENT AND THE CONTRACTOR, INCLUDING ALL SUB-TRADES, SHALL REVIEW ALL DRAWINGS AND VERIFY ALL DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THESE DRAWINGS ARE TO BE READ AND NOT TO BE SCALED. THESE DRAWINGS ARE THE PROPERTY OF THAMM DESIGN AND DRAFTING SERVICE

DESIGN LOADS:

GROUND SNOW LOAD  
1.5kPa (31.35psf), Sr 0.40kPa (8.35psf)  
ROOF DEAD LOAD  
0.53 kPa (11.07psf), INCLUDES TOP & BOTTOM CHORD TRUSS LOADING  
WIND LOADS  
1.50 - 0.44kPa (9.19psf), 1/10 FOR DEFLECTION - 0.34kPa (7.10psf)  
MIN. SOIL BEARING CAPACITY - 75 kPa

S.P.F. # 1&2 LINTELS UP TO 1.5 KPA - ROOF/CEILING/1 STOREY

NON-STRUCT. SHEATHING STRUCTURAL SHEATHING

Table with 2 columns: (2) 2x4 - 3'-1 1/2", (2) 2x4 - 3'-7", (2) 2x6 - 4'-5 1/2", (2) 2x6 - 5'-2", (2) 2x8 - 5'-5 1/2", (2) 2x8 - 6'-3 1/2", (2) 2x10 - 6'-8", (2) 2x10 - 7'-8", (2) 2x12 - 7'-9 1/2", (2) 2x12 - 8'-10 1/2"

S.P.F. # 1&2 ROOF RAFTERS UP TO 1.5 KPA - MAXIMUM SPANS

Table with 3 columns: 12" o/c, 16" o/c, 24" o/c. Rows include 2x4, 2x6, 2x8, 2x10, 2x12 with corresponding spans.

ALL POINT LOADS FROM GIRDER TRUSSES TO BE TRANSFERRED THROUGH MAIN FLOOR TO FOUNDATION, BEARING WALLS OR BEAMS AND FOOTINGS BELOW. BEARING STUDS AS PER TABLE A-34.35 (9.23.10.72)

ENERGY EFFICIENCY DESIGN AS PER OBC 2012 SB-12:

ALL INSULATION VALUES AS PER OBC SB-12 TABLE 3.1.1.2.A (IP) (SENTENCE 3.1.1.2.11)  
ZONE 1 - COMPLIANCE PACKAGE FOR SPACE HEATING EQUIPMENT WITH AFUE ≥ 92%

COMPLIANCE PACKAGE 'AS' (UNLESS OTHERWISE NOTED)

CEILING WITH ATTIC SPACE - R50 MIN.  
CEILING WITHOUT ATTIC SPACE - R33 MIN.  
EXPOSED FLOOR - R35 MIN.  
WALLS ABOVE GRADE - R19 + 45 C.I. MIN.  
BASEMENT WALLS - R12 + 5 C.I. MIN. (opt R20 C.I.)  
EDGE OF BELOW GRADE SLAB - 2" BELOW GRADE - R10 MIN.  
HEATED SLAB OR SLAB ≥ 24" BELOW GRADE - R10 MIN.  
WINDOWS AND SLIDING GLASS DOORS MAX. U-0.28, ER 25  
SKYLIGHTS MAX. U-0.49  
SPACE HEATING EQUIPMENT MIN AFUE - 94%  
HRV MIN. EFFICIENCY 70%  
D.H.W. HEATER MIN EF - 0.80

NOTE: ALL DECK COMPONENTS TO COMPLY WITH SB-7 SECTION 2 EXTERIOR GUARDS AND OBC 2012 SECTION 9.8 STAIRS, RAMPS, HANDRAILS AND GUARDS

Revision table with columns: No., Revision, By, Date. Includes revisions for preliminary review and permit/construction.

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.2.4 of Division C, of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.

T. HAMM DESIGN AND DRAFTING SERVICE 45374  
Travis Hamm 23275  
B.C.I.N.  
B.C.I.N.

T Hamm Design & Drafting Service  
Residential and Small Building Design  
220 6th Concession  
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Tel: 519-586-3440  
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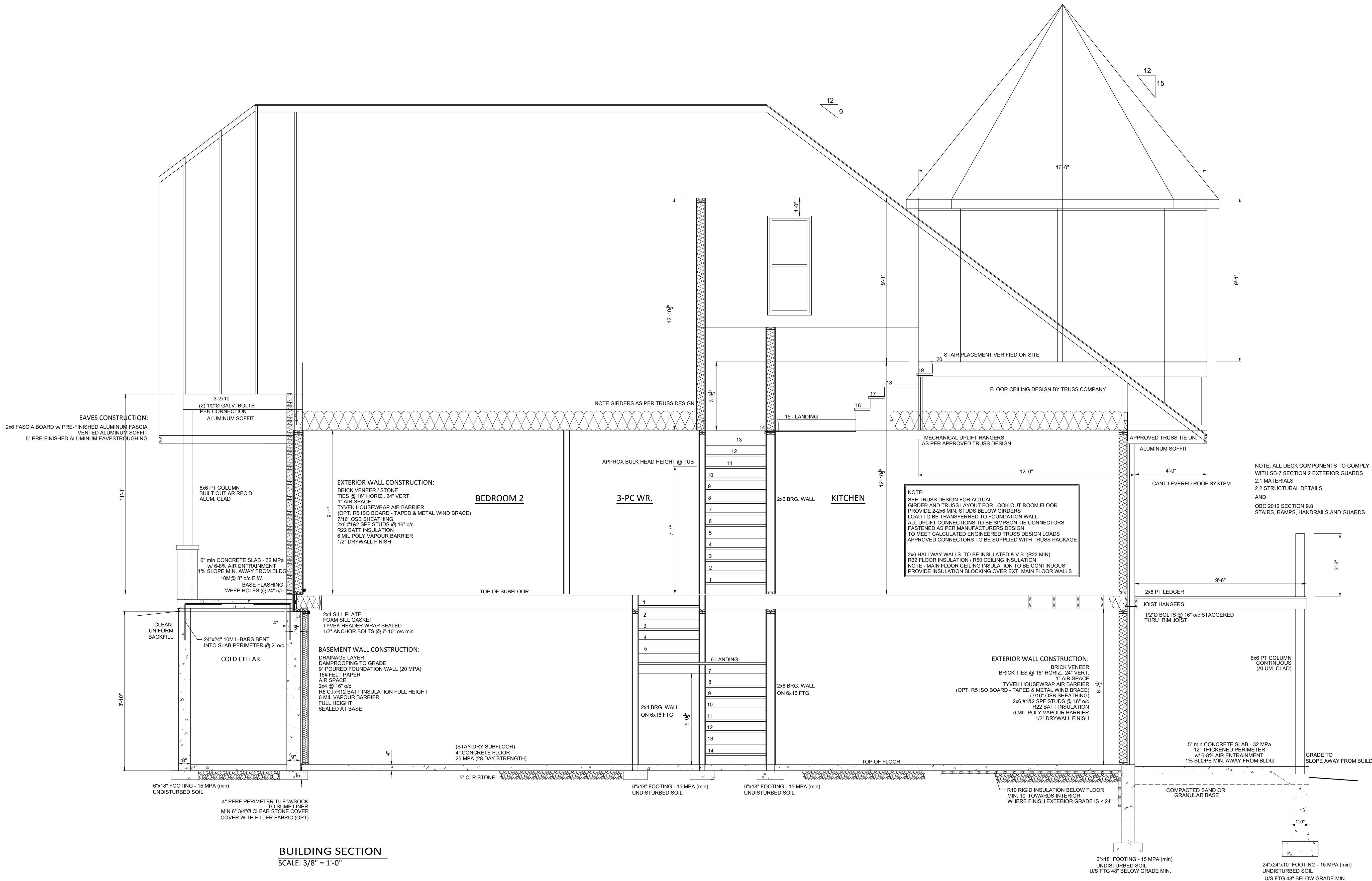
Ducks Landing  
(Port Rowan) Inc.

Proposed Residence  
18 Merganser Trail  
Port Rowan, Ont.

BUILDING SECTION & NOTES

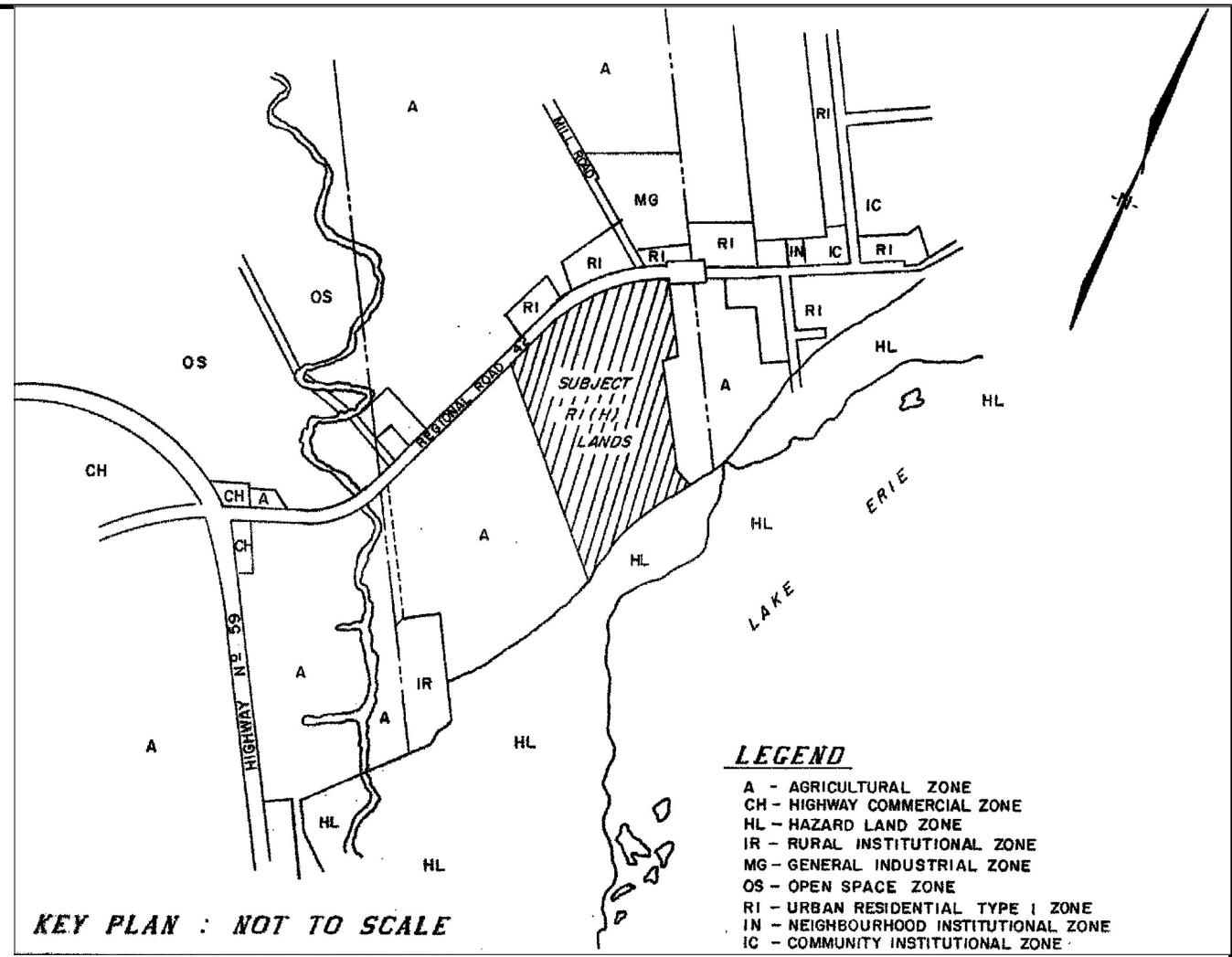
Table with columns: SCALE, DATE, DRAWING BY, DESIGNED BY, CHECKED BY, PROJECT NO. Includes values for scale (3/8"=1'-0"), date (March 2018), and drawing by (TH).

A6



BUILDING SECTION  
SCALE: 3/8" = 1'-0"





**DRAFT PLAN OF SUBDIVISION  
OF PART VI  
REGISTERED PLAN 16-B  
IN THE  
VILLAGE OF PORT ROWAN  
IN THE GEOGRAPHIC  
TOWNSHIP OF SOUTH WALSHINGHAM  
IN THE  
COUNTY OF NORFOLK**

SCALE 1 : 1000 METRIC  
(1" = 83.3')

- INFORMATION REQUIRED UNDER SECTION 51(17)  
OF THE PLANNING ACT RSO 1990
- (A) ON PLAN
  - (B) ON PLAN
  - (C) ON PLAN
  - (D) PHASE 2 - LOTS 4 TO 15 - SINGLE DETACHED RESIDENTIAL  
LOTS 1 TO 3, 16 - SEMI-DETACHED RESIDENTIAL  
LOT 17 - TOWNHOUSE RESIDENTIAL
  - PHASE 3 - LOTS 1 TO 10 - SINGLE DETACHED RESIDENTIAL  
BLOCK 11 - TEMPORARY TURNING CIRCLE  
BLOCK 12 - HUNTER DRIVE ROAD ALLOWANCE  
BLOCK 13 - SANITARY SEWER PUMPING STATION
  - PHASE 4 - LOT 1 - SINGLE DETACHED RESIDENTIAL  
LOTS 2, 3, 4 & 6 - SEMI-DETACHED RESIDENTIAL  
LOT 5 - TOWNHOUSE RESIDENTIAL
  - PHASE 5 - LOTS 1 TO 13 - SINGLE DETACHED RESIDENTIAL,  
BLOCK 14 & 15 - SWM  
BLOCK 16 - INTERIM BLOCK FOR EXISTING SINGLE  
DETACHED HOUSE ON LOT 5 (PHASE 6)
  - PHASE 6 - LOTS 1 TO 5 - SINGLE DETACHED RESIDENTIAL,  
BLOCK 6 - COUNTRY INN  
BLOCK 7 - HAZARDOUS LAND
  - PHASE 7 - LOTS 1 TO 20, 25 & 26 - SINGLE DETACHED  
RESIDENTIAL, LOTS 21 TO 24 - SEMI-DETACHED  
RESIDENTIAL
  - PHASE 8 - LOTS 3 TO 6 - SINGLE DETACHED RESIDENTIAL,  
LOTS 1, 2 & 7 TO 10 - SEMI-DETACHED RESIDENTIAL,  
LOT 11 - TOWNHOUSE RESIDENTIAL

- (E) SEE KEY PLAN FOR ADJACENT LAND USE
- (F) ON PLAN
- (G) ON PLAN
- (H) NORFOLK COUNTY WATER AVAILABLE
- (I) SILTY CLAY LOAM
- (J) ON PLAN
- (K) STORM SEWERS, SANITARY SEWERS, ELECTRICAL, TELEPHONE,  
GAS, TV CABLE
- (L) NORFOLK COUNTY OFFICIAL PLAN AND ZONING BY-LAWS

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**OWNER'S CERTIFICATE**

I HEREBY AUTHORIZE THE FIRM OF CYRIL J. DEMEYERE LIMITED  
TO SUBMIT THIS PLAN OF SUBDIVISION.

DATED 4 JULY 2005  
ROYAL VIEW HOLDINGS INC.

JOHN D. WEBB  
I HAVE THE AUTHORITY  
TO BIND THE CORPORATION

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE  
SUBDIVIDED (OUTER BROKEN HEAVY LINES HEREOF) AND THEIR  
RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND  
CORRECTLY SHOWN ON THIS PLAN.

DATED 4 JULY 2005  
JEWETT AND DIXON LTD.

R.C. DIXON  
ONTARIO LAND SURVEYOR

**CYRIL J. DEMEYERE LIMITED**  
CONSULTING ENGINEERS  
TILLSONBURG, ONTARIO

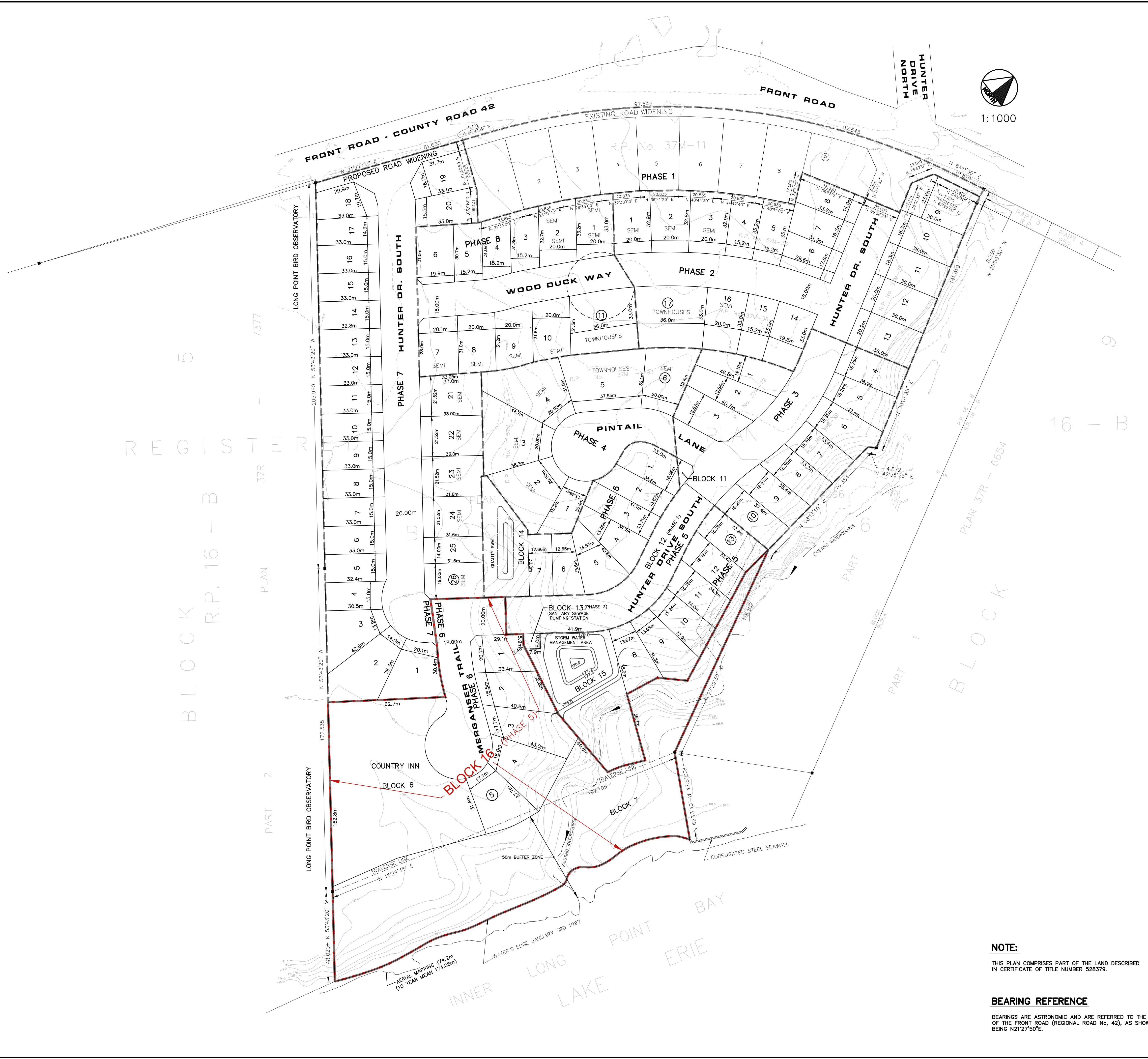
0525	4 JULY 2005
0925	REV. 10 JAN 2013
	REV. 12 NOV 2013
	REV. 23 OCT 2014
	REV. 25 JUN 2015
1725	REV. 21 AUG 2023

**NOTE:**

THIS PLAN COMPRISES PART OF THE LAND DESCRIBED  
IN CERTIFICATE OF TITLE NUMBER 528379.

**BEARING REFERENCE**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT  
OF THE FRONT ROAD (REGIONAL ROAD No. 42), AS SHOWN ON PLAN 37R-7620  
BEING N21°27'50"E.



REGISTERED PLAN 37R-7377

BLOCK R.P. 16-B

BLOCK 5

PART 2

PART 3

PART 4

PART 5

PLAN 37R-6654

BLOCK 1

BLOCK 2

BLOCK 3

BLOCK 4

16-B

INNER LONG LAKE POINT BAY ERIE

COUNTRY INN  
BLOCK 6

MERGERS PHASE 6  
BLOCK 16

BLOCK 7

BLOCK 8

BLOCK 9

BLOCK 10

BLOCK 11

BLOCK 12

BLOCK 13

BLOCK 14

BLOCK 15

LONG POINT BIRD OBSERVATORY

LONG POINT BIRD OBSERVATORY

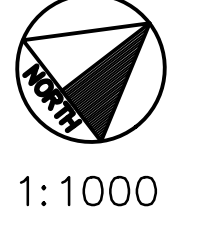
LONG POINT BIRD OBSERVATORY

LONG POINT BIRD OBSERVATORY

LONG POINT BIRD OBSERVATORY

LONG POINT BIRD OBSERVATORY

LONG POINT BIRD OBSERVATORY



1:1000

1:1000

1:1000

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1:1000

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1:1000



# MAP A

28TPL2023304

## CONTEXT MAP

Urban Area of PORT ROWAN



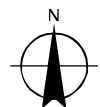
**SUBJECT LANDS**

### Legend

-  Subject Lands
-  Lands Owned

2020 Air Photo

10/3/2023

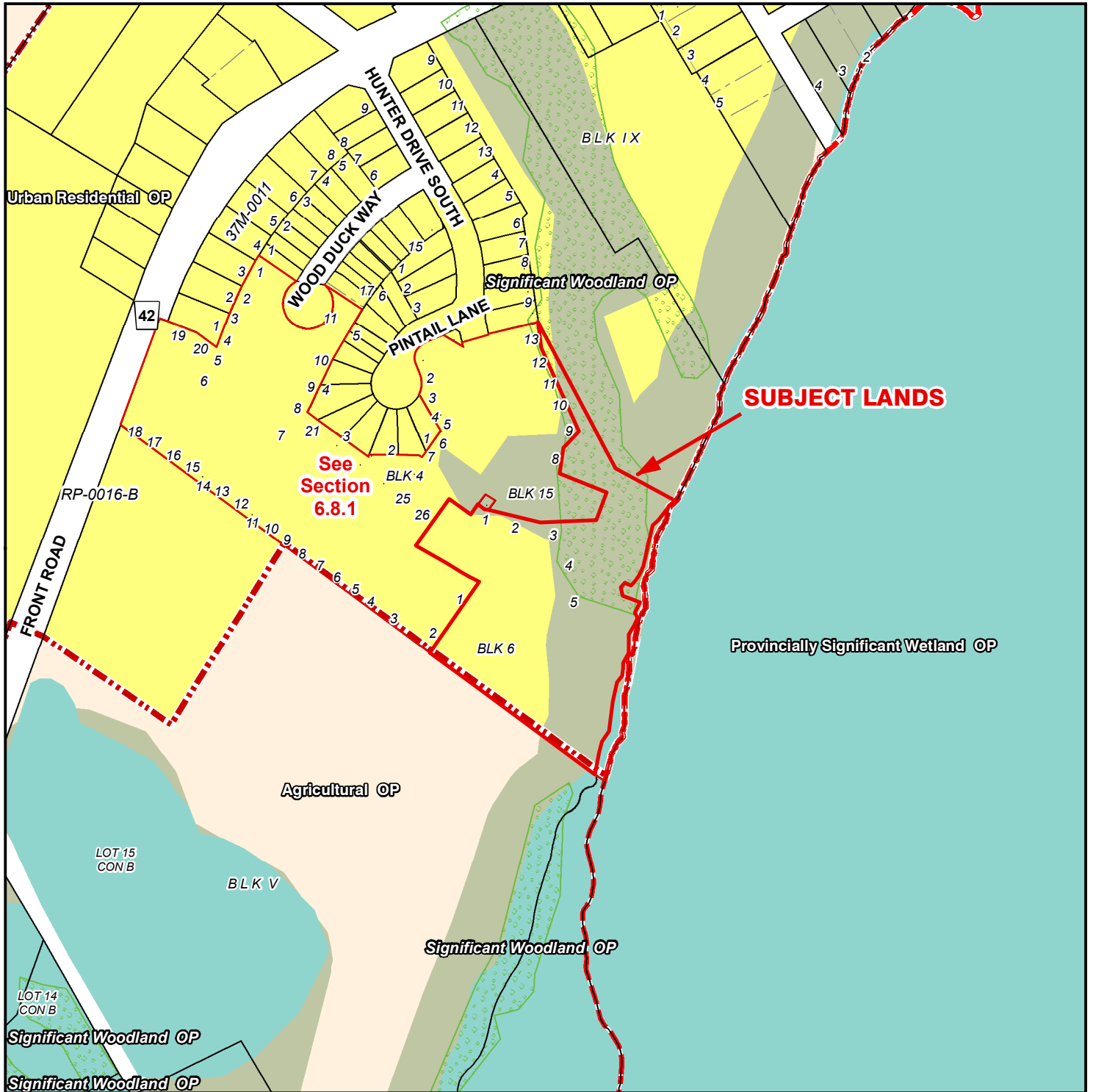


50 25 0 50 100 150 200 Meters



OFFICIAL PLAN MAP

Urban Area of PORT ROWAN



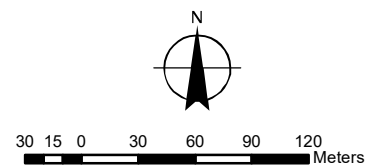
Legend

- Subject Lands
- Lands Owned

Official Plan Designations

- Agricultural
- Significant Woodland
- Provincially Significant Wetland
- Urban Residential
- Special Policy Area
- Urban Area Boundary

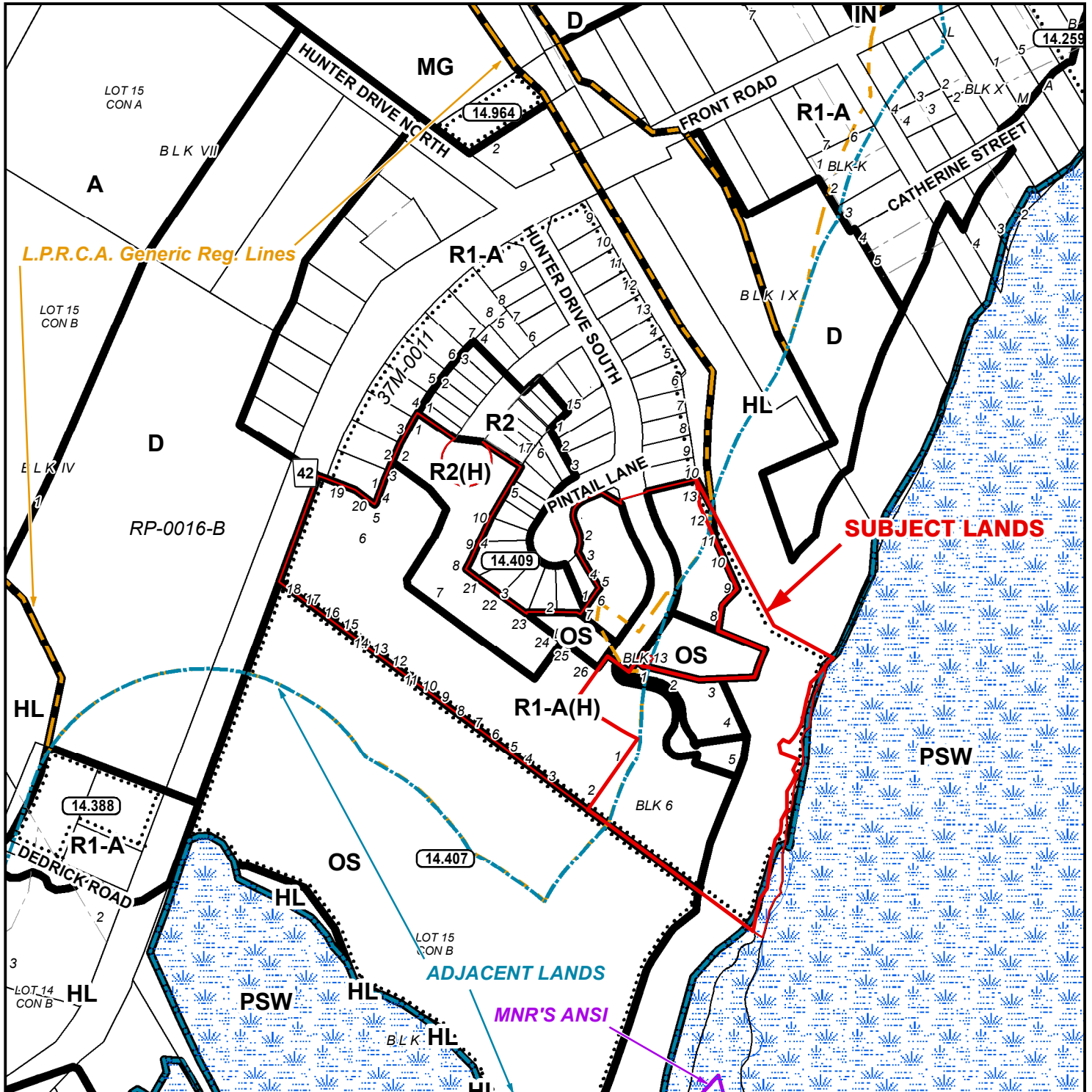
10/3/2023





**MAP C**  
**ZONING BY-LAW MAP**  
 Urban Area of PORT ROWAN

28TPL2023304



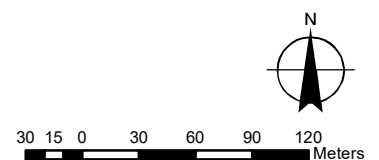
ZONING BY-LAW 1-Z-2014

10/3/2023

**LEGEND**

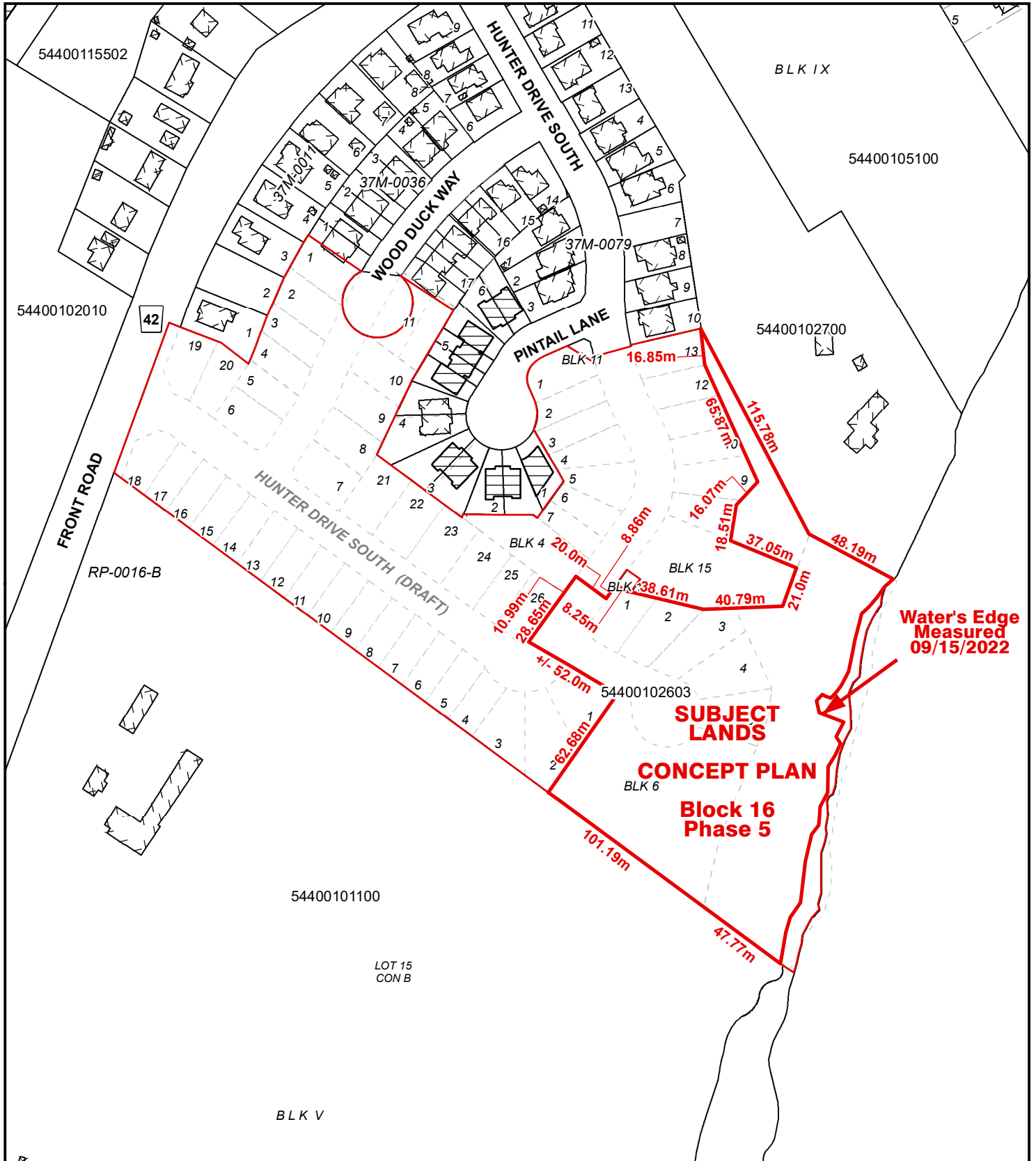
- Subject Lands
- Lands Owned
- Adjacent Lands
- Wetland
- MNR ANSI
- LPRCA Generic RegLines

- (H) - Holding
- A - Agricultural Zone
- D - Development Zone
- MG - General Industrial Zone
- HL - Hazard Land Zone
- IN - Neighbourhood Institutional Zone
- OS - Open Space Zone
- PSW - Provincially Significant Wetland Zone
- R1-A - Residential R1-A Zone
- R2 - Residential R2 Zone



CONCEPTUAL PLAN

Urban Area of PORT ROWAN



Legend

- Subject Lands
- Lands Owned

10/3/2023

